

GWINNETT COUNTY  
DEPARTMENT OF PLANNING AND DEVELOPMENT

**Applicant:** Mareis, LLC  
2445 Cove Circle  
Brookhaven, GA 30319

**Owner:** Mareis, LLC  
2445 Cove Circle  
Brookhaven, GA 30319

**Contact:** Alex Cuica

**Contact Phone:** 810.459.9755

## Zoning History

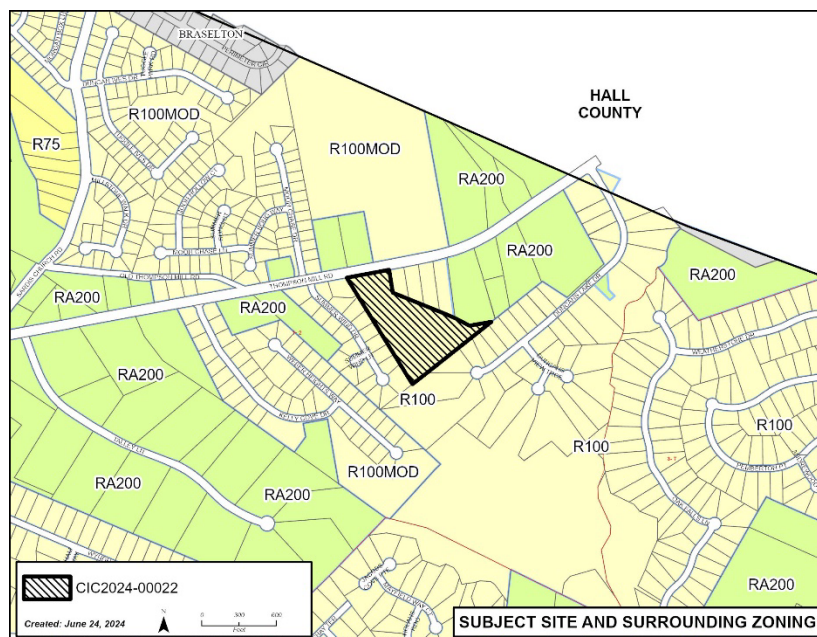
The subject property is zoned R-100 (Single-Family Residence District). A rezoning from RA-200 (Agriculture-Residence District) was approved in 2024, pursuant to RZR2024-00007.

## Existing Site Condition

The subject property is a 9.48-acre parcel located on the south side of Thompson Mill Road between Sardis Church Road and the Hall County line. The property is irregularly shaped, narrowing substantially at the front setback line before widening towards the rear of the property. The site is undeveloped and contains mature tree cover. The topography slopes gently from the frontage down towards the rear southeast corner by approximately 38 feet. There is no curb cut or sidewalks along the Thompson Mill Road frontage. Overhead utilities span the length of the property frontage. The nearest Gwinnett County Transit stop is located 8.3 miles from the subject site.

## Surrounding Use and Zoning

The subject site is surrounded by single-family detached residences within subdivisions to the south and west, and on large lots to the north and east. The 30-acre wooded lot directly across Thompson Mill Road was rezoned for a 66-lot single-family detached subdivision, pursuant to RZR-07-004, but construction hasn't commenced. The following is a summary of surrounding uses and zoning:



| Location | Land Use                  | Zoning   | Density             |
|----------|---------------------------|----------|---------------------|
| Proposed | Single-Family Residential | R-100    | 0.74 units per acre |
| North    | Single-Family Residential | R-100MOD | 0.03 units per acre |
|          | Single-Family Residential | RA-200   | 0.50 units per acre |
| East     | Single-Family Residential | R-100    | 1.10 units per acre |
|          | Single-Family Residential | RA-200   | 0.27 units per acre |
| South    | Single-Family Residential | R-100    | 1.24 units per acre |
| West     | Single-Family Residential | R-100    | 2.14 units per acre |

## Project Summary

The applicant requests a change in conditions to amend conditions 1 and 2 of RZR2024-00007, to increase the number of lots from 3 to 7 lots as shown on the revised site plan. The proposal includes:

- Seven single-family residences on lots ranging from 0.95 to 1.8 acres, yielding a density of 0.74 units per acre.
- Two-story residences with a minimum heated floor area of 3,000 square feet, each with a side-entry two-car garage and a front-entry one-car garage.
- Exterior building materials of brick, stone, fiber-cement siding, board and batten, and shake.
- A 20-foot-wide shared private driveway within a 40-foot-wide common access and utility easement providing access to all seven lots from Thompson Mill Road, maintained by a Homeowner's Association.
- A 40-foot-wide setback and 10-foot-wide landscape strip along Thompson Mill Road.
- Lots to be served by private septic systems.

## Zoning and Development Standards

The applicant is requesting a change in conditions for a single-family detached subdivision. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

| Standard           | Required                   | Proposed            | Meets Standard? |
|--------------------|----------------------------|---------------------|-----------------|
| Lot Size           | Minimum 15,000 square feet | >15,000 square feet | YES             |
| Lot Width          | Minimum 100'               | >100'               | YES             |
| Lot Coverage       | Maximum 45%                | <45%                | YES             |
| Front Yard Setback | Minimum 25'                | >25'                | YES             |
| Side Yard Setback  | Minimum 10'                | >10'                | YES             |
| Rear Yard Setback  | Minimum 30'                | >30'                | YES             |
| Street Frontage    | Minimum 40'                | 40'                 | YES             |
| Setback            | 10' wide landscape strip   | 10'                 | YES             |
| Building Height    | Maximum 35'                | <35'                | YES             |

## Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit H). Standard site and infrastructure improvements will also be required related to stormwater, transportation, water, and sewer utilities. Recommended improvements not already required by the

UDO have been added as staff recommended conditions.

## **Staff Analysis**

**Change in Conditions Analysis:** According to the UDO, if a proposed amendment is for rezoning property and involves a change in zoning classification, the Department shall evaluate the request and make a recommendation with respect to standards governing exercise of zoning power as defined in Section 270-20.6. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The proposal would maintain a density and lot sizes compatible to surrounding properties, making it suitable in view of the use and development of adjacent and nearby property.

**B. Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property.**

The proposed development is consistent with surrounding residential uses and meets all dimensional requirements of the R-100 zoning district. The proposed change in conditions would not adversely affect the existing use or usability of adjacent or nearby property.

**C. Whether the property to be affected by a proposed change in conditions has a reasonable economic use as currently zoned.**

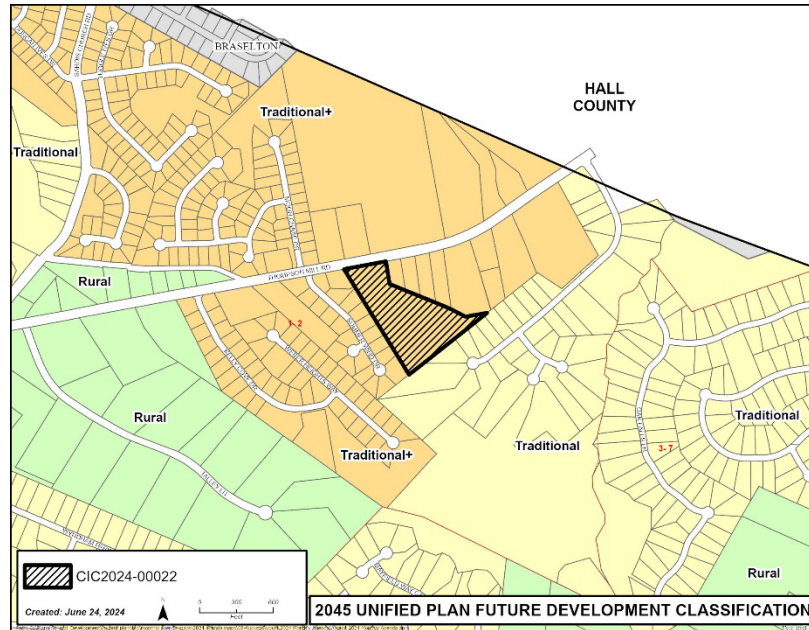
The property has reasonable economic use as currently zoned.

**D. Whether the proposed change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

A minimal increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, and stormwater runoff; however, these impacts would be mitigated with appropriate conditions, site development requirements, and planning. A minimal impact is anticipated on school enrollment. Agency review comments related to any potential improvements concerning this rezoning request are attached (Exhibit H).

**E. Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map.**

The Unified Plan's Future Development Map indicates "Neighborhood Traditional+" for the subject property. The goal for this future development type is to encourage gentle density in predominantly single-family residential areas. The proposal to increase the number of lots from three to seven would gently increase the density, and the proposal is in conformity with the policy and intent of the Unified Plan and Future Development Map.



**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions.**

There are no other conditions giving support for approval or disapproval of the proposal.

**Staff Recommendation**

Based on staff's evaluation of the request and the standards governing the exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

**Planning Commission Recommendation**

Based on staff's evaluation of the request, information presented at the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the change in conditions request.

**Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)**

Approval as R-100 (Single-Family Residence District) for development of a single-family detached subdivision, subject to the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B, Site Plan dated received ~~December 12, 2023~~ **June 17, 2024**, and Exhibit C: Elevations dated received **June 17, 2024**.

2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed ~~three~~ **seven** lots.
3. All dwellings shall have a minimum of a two-car garage.
4. The minimum heated floor area of dwellings shall be 3,000 square feet.
5. Natural vegetation shall remain on each individual lot until the issuance of a building permit for said lot. The area within the ~~20-25~~-foot-wide common access easement may be cleared with the issuance of the first building permit.
6. The site shall be limited to a single, shared entrance from Thompson Mill Road.
7. No accessory dwelling units shall be allowed.
8. Each property shall have a residential drainage plan.
9. ~~Each lot shall be owned fee simple.~~ **The developer shall establish a mandatory property owners association with bylaws which shall include the following:**
  - a. **Automatic mandatory membership of all purchasers of lots therein and their successors.**
  - b. **Responsibility for maintenance of common areas, utility easements, or other required easements.**
  - c. **Equitable sharing of the cost of maintenance with shares defined by the association bylaws.**
  - d. **Authority to place liens on the real property of members who fail to pay their dues and assessments.**
10. **Development shall be limited to a maximum of one rental unit. The restrictions shall be included in the covenants and shall be managed by a mandatory homeowners association.**
11. **A performance bond or maintenance bond shall be submitted by the subdivider and held by the homeowners or property owners association, or the subdivider shall pay an amount of money as recommended by the Director in an escrow account or other suitable account for the construction, maintenance, and/or repair of private streets and/or stormwater management improvements to be drawn from by the homeowners or property owners association as the need may arise.**
12. **A shared interior drive shall be constructed with a minimum of 25-foot-wide common access easement to be owned and maintained by the property owners association developed in accordance with the standards:**
  - a. **The minimum pavement width shall be 16 feet.**
  - b. **The driveway and pavement composition shall be in accordance with the standard for local streets, private streets, or the Unified Development Ordinance.**

- 13. Natural vegetation shall remain on the property until the issuance of a development permit. The area within the 25-foot-wide common access easement may be cleared with the issuance of the first building permit.**
- 14. A minimum of 25-foot-wide landscape strip shall be provided around the perimeter of the property. Minimum disturbance and screening shall be the goal of this landscape strip. The landscape strip shall include an 8-foot-high solid wood privacy fence along the common property line of the southwestern boundary, between this property and The Reserve at Summer Haven beginning at parcel R1002 298 and end at R1002A 183 as well as along the northeast boundary along parcels R1002A 438 to parcel R1002 440. Where screening is sparse a minimum of 4- to- 5-foot-tall, planted arborvitae or similar privacy screening of durable evergreen trees shall be planted along the interior of the fence where existing screening does not exist. The fence and trees shall be maintained by the HOA. Final landscaping plans shall be subject to the review and approval of the Director of Planning and Development.**

**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Floorplans
- E. Previously Adopted Resolution (RZR2024-00007) and Site Plan
- F. Letter of Intent and Applicant's Response to Standards
- G. Application and Disclosure of Campaign Contributions
- H. Internal and External Agency Review Comments
- I. Maps

## Exhibit A: Site Visit Photos



View facing property from front of property



View facing property from subdivision to the west



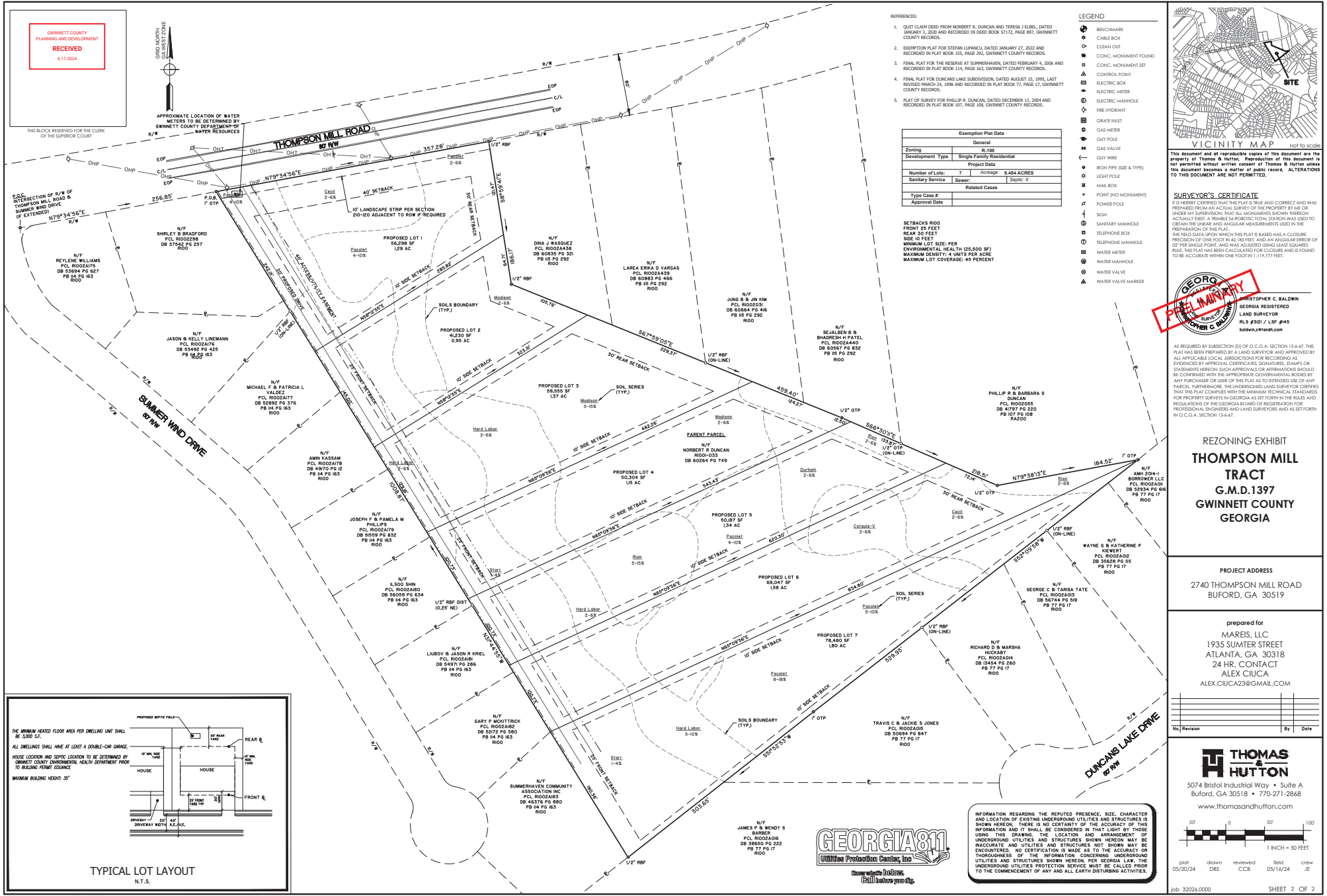
View from Thompson Mill Road facing East



View from Thompson Mill Road facing West

**Exhibit B: Site Plan**

**[attached]**



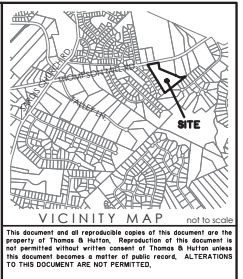
REFERENCES:

- QUIT CLAIM DEED FROM NORBERT S. DUNCAN AND TERESA J. EISEL, DATED JANUARY 3, 2002 AND RECORDED IN DEED BOOK 37172, PAGE 897, GWINNETT COUNTY RECORDS.
- EXEMPTION PLAT FOR STERNA LIPANCIU, DATED JANUARY 27, 2002 AND RECORDED IN PLAT BOOK 155, PAGE 293, GWINNETT COUNTY RECORDS.
- FINAL PLAT FOR THE RESERVE AT SUMMERHAVEN, DATED FEBRUARY 4, 2006 AND RECORDED IN PLAT BOOK 114, PAGE 163, GWINNETT COUNTY RECORDS.
- FINAL PLAT FOR DUNCAN LAKE SUBDIVISION, DATED AUGUST 15, 1995, LAST REVISED MARCH 24, 1998 AND RECORDED IN PLAT BOOK 77, PAGE 127, GWINNETT COUNTY RECORDS.
- PLAT OF SURVEY FOR PHILIP R. DUNCAN, DATED DECEMBER 13, 2004 AND RECORDED IN PLAT BOOK 157, PAGE 108, GWINNETT COUNTY RECORDS.

| Exemption Plat Data |                           |
|---------------------|---------------------------|
| General             |                           |
| Zoning              | R-100                     |
| Development Type    | Single Family Residential |
| Project Data        |                           |
| Number of Lots      | 7                         |
| Acres               | 9.484 ACRES               |
| Sanitary Service    | Sanitary                  |
| Septic              | Septic X                  |
| Related Cases       |                           |
| Type Case #         |                           |
| Approval Date       |                           |

SETBACKS: R.O.D. FRONT 30 FEET, REAR 30 FEET, MINIMUM LOT SIZE: PER ENVIRONMENTAL HEALTH (25,000 SF) MINIMUM DENSITY: 4 UNITS PER ACRE, MAXIMUM LOT COVERAGE: 45 PERCENT

- LEGEND
- BENCHMARK
  - CABLE BOX
  - CLEAN OUT
  - CONC. MONUMENT FOUND
  - CONC. MONUMENT SET
  - CONTROL POINT
  - ELECTRIC BOX
  - ELECTRIC METER
  - ELECTRIC MANHOLE
  - FIRE HYDRANT
  - GRATE INLET
  - GAS METER
  - GUY POLE
  - GAS VALVE
  - GUY WIRE
  - IRON PIPE (S&E TYPE)
  - LIGHT POLE
  - MAIL BOX
  - POINT (NO MONUMENT)
  - POWER POLE
  - SDN
  - SANITARY MANHOLE
  - TELEPHONE BOX
  - TELEPHONE MANHOLE
  - WATER METER
  - WATER MANHOLE
  - WATER VALVE
  - WATER VALVE MARKER



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION. THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST. A TRIMBLE 5400 RTK TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 42,180 FEET AND AN ANGULAR ERROR OF 0.27 PER SINGLE POINT AND WAS ADJUSTED USING LEAST SQUARES. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 11,977 FEET.

**GEORGE C. BALDWIN**  
GEORGIA REGISTERED LAND SURVEYOR  
P.L.S. #300 / L.S.F. #445  
baldwin@earthlink.net

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 13-6-47, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATE SIGNATURES, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFORMED WITH THE APPROPRIATE GOVERNING LAWS OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 13-6-47.

REZONING EXHIBIT

**THOMPSON MILL TRACT**  
**G.M.D. 1397**  
**GWINNETT COUNTY**  
**GEORGIA**

PROJECT ADDRESS

2740 THOMPSON MILL ROAD  
BUFORD, GA 30519

prepared for

MAREIS, LLC  
1935 SUMTER STREET  
ATLANTA, GA 30318  
24 HR. CONTACT  
ALEX CIUCA  
ALEX.CIUCA23@GMAIL.COM

|     |          |    |      |
|-----|----------|----|------|
| No. | Revision | By | Date |
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |



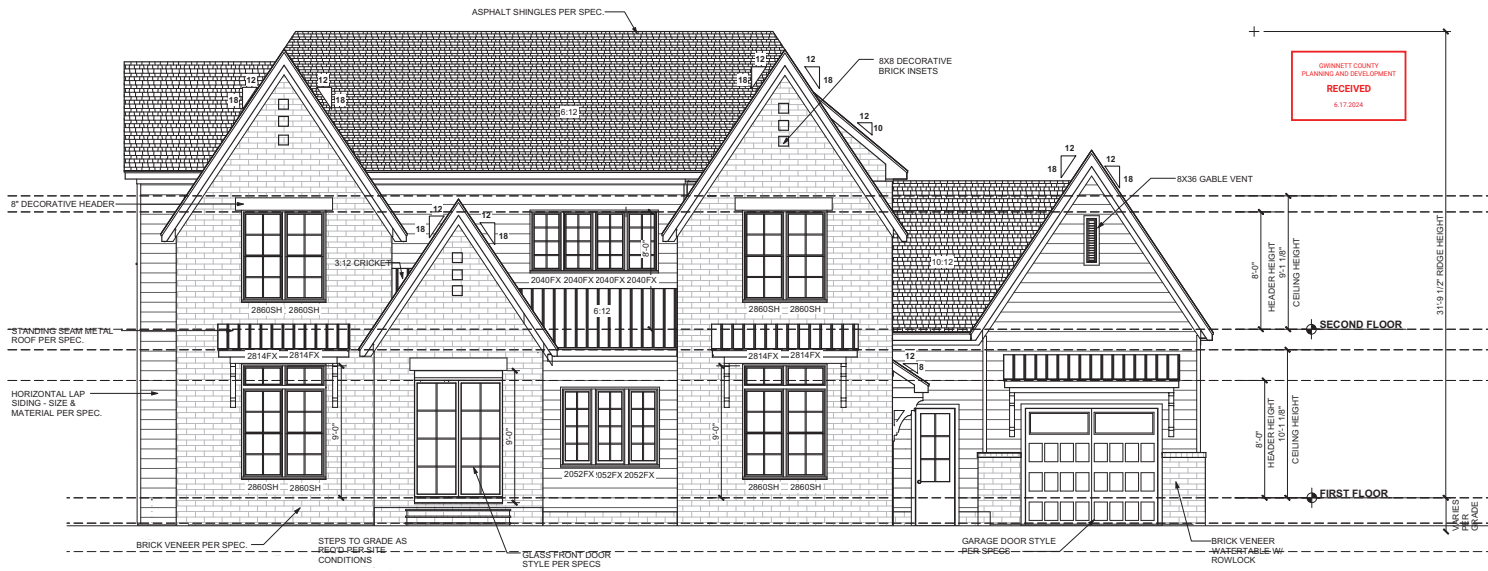
|                 |      |          |          |              |
|-----------------|------|----------|----------|--------------|
| plot            | down | reviewed | field    | crew         |
| 05/20/24        | DBS  | CCB      | 05/14/24 | JE           |
| job: 32024.0000 |      |          |          | SHEET 2 OF 2 |

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED THAT LIGHT BY THOSE USING THIS DRAWING, THE LOCATION AND ARRANGEMENT OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. PER GEORGIA LAW, THE UNDERGROUND UTILITIES PROTECTION SERVICE MUST BE CALLED PRIOR TO THE COMMENCEMENT OF ANY AND ALL EARTH DISTURBING ACTIVITIES.

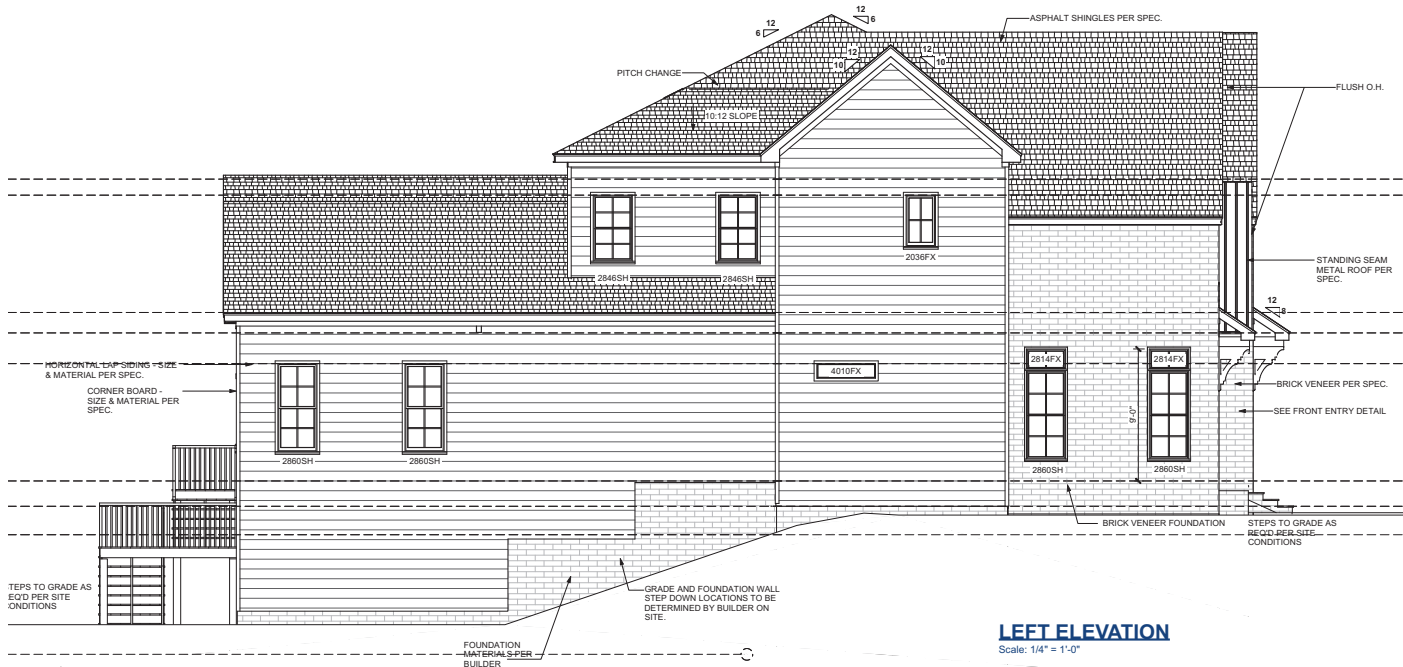


## **Exhibit C: Building Elevations**

**[attached]**



**FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



**LEFT ELEVATION**  
Scale: 1/4" = 1'-0"

### ELEVATION NOTES

**BUILDING CODES**  
THIS PLAN HAS BEEN DESIGNED UNDER THE IRC, 2018 RESIDENTIAL EDITION. BUILDER TO VERIFY PLANS MEET 2018 IRC WITH GEORGIA AMENDMENTS (2020).

**ICE GUARDS:**  
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12 OR GREATER). FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

### VENTING CALCULATIONS

**ATTIC VENTILATION**  
800 SQ. FT. OF ATTIC / 300 = 2.67. 80. FT. OF INLET AND OUTLET VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 2'-0" ABOVE THE CORNICE VENTS.

### MATERIAL LEGEND

- ASPHALT SHINGLES
- STANDING SEAM METAL ROOF
- HORIZONTAL LAP SIDING (Fiber cement type)
- BOARD & BATTEN SIDING @ 16" O. C.
- SHAKE SIDING
- BRICK VENEER
- SYNTHETIC STONE VENEER
- PARGED BLOCK FOUNDATION

**McMillan Design**  
847 Wake Forest Business Park, Suite 102  
Wake Forest, NC 27587  
919.263.1509  
www.mcmillan-design.com



**Mareis LLC**  
6780 Pannell Rd. Buford GA

Sheet Title  
**Exterior Elevations**

| REVISIONS |      |
|-----------|------|
| NUMBER    | DATE |
|           |      |
|           |      |

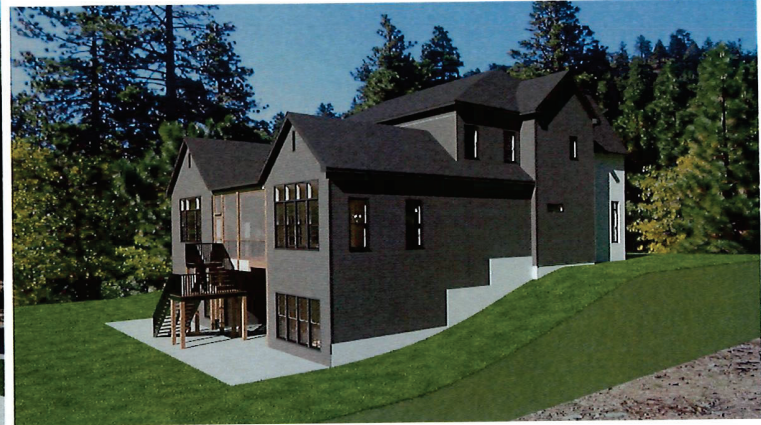
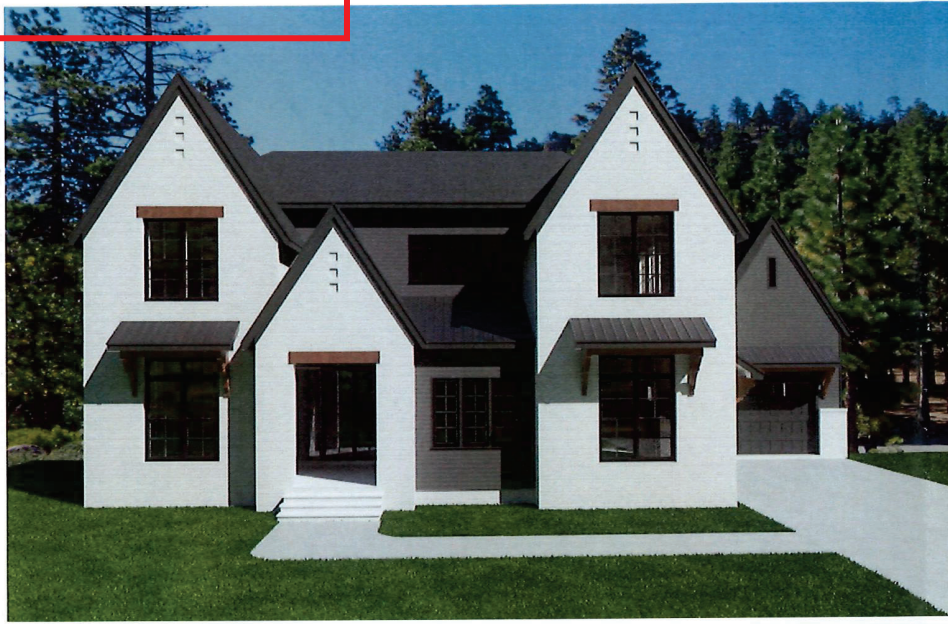
This plan is the property of McMillan Design and may not be used or reproduced without the expressed written consent of McMillan Design. These drawings are offered to the named client for a conditional one time use. The conditional use is limited to the lot or property as specified herein, and only for said location. McMillan Design assumes no liability for any home constructed from these plans. Contractor or Builder shall verify all dimensions and conditions prior to construction. Caution must be exercised when making modifications to these drawings. If changes are made to these drawings, contact McMillan Design.

Plan Number  
**M102-24**  
A-1  
Sheet No.  
Drawn By: JG  
Date: 6/24/2024  
© COPYRIGHT 2023  
McMillan Design, Inc.



RECEIVED

6.17.2024



McMillan Design  
847 Wake Forest Business Park, Suite 102  
Wake Forest, NC 27587  
919.263.1509  
www.mcmillan-design.com



Mareis LLC  
6780 Pannell, GA

Sheet: T60

| REVISIONS |      |
|-----------|------|
| NUMBER    | DATE |
|           |      |
|           |      |

This plan is the property of McMillan Design and may not be used or reproduced without the expressed written consent of McMillan Design. These drawings are offered to the named client for informational use only. The drawings are not to be used for construction purposes. Design is intended for informational use only. For any other use, contact McMillan Design. Design is not a warranty. Client is responsible for verifying all dimensions and conditions prior to construction. Client must be responsible when making modifications to these drawings. If changes are made to these drawings, contact McMillan Design.

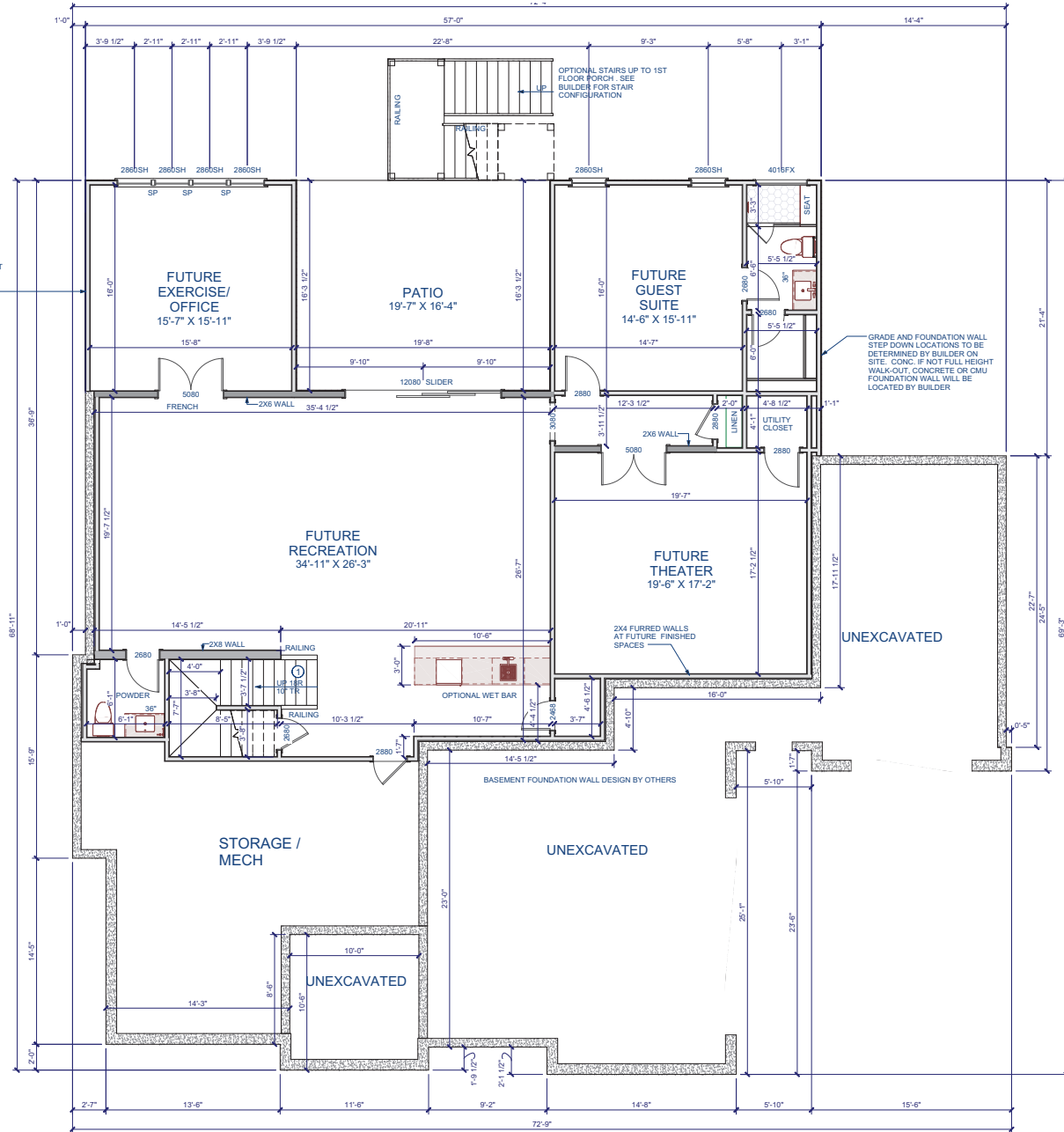
Plan Number  
**M102-24**

Sheet  
No. \_\_\_\_\_  
Drawn By: JG  
Date: 5/24/2024  
© COPYRIGHT 2023  
McMillan Design, Inc.

## **Exhibit D: Floorplans**

**[attached]**

GRADE AND FOUNDATION WALL  
STEP DOWN LOCATIONS TO BE  
DETERMINED BY BUILDER ON  
SITE. CONC. IF NOT FULL HEIGHT  
WALK-OUT, CONCRETE OR CMU  
FOUNDATION WALL WILL BE  
LOCATED BY BUILDER



### GENERAL NOTES

**WALLS**  
ALL WALLS ARE DRAWN 3/4" WIDE (2X4) OR 5/8" WIDE (2X6) U.N.O.  
ANGLED WALLS ARE DRAWN 60/90 U.N.O.  
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR  
DIMENSIONS ARE TO FACE OF STUD.

**SMOKE DETECTORS**  
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

**ATTIC ACCESS**  
MIN. ATTIC ACCESS DOOR SHALL BE PROVIDED BY BUILDER AND LOCATED  
ON SITE.

**WALL/CEILING HEIGHT**  
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL  
SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS  
ASSUME AN EXTRA 2" FOR FURRING IN HEATED SPACES FOR  
INSULATION. THE WALL HEIGHT REFERS TO THE HOT FROM THE  
FLOOR DECKING TO THE BOTTOM OF THE FURRING.

### WINDOW NOTE LEGEND

DH DOUBLE HUNG  
SH SINGLE HUNG  
FX FIXED  
SC SINGLE CASEMENT  
DC DOUBLE CASEMENT  
TC TRIPLE CASEMENT

① BUILDER TO VERIFY # OF  
RISERS PER FLOOR SYSTEM  
SIZE. FLOOR SYSTEMS TO  
BE DESIGNED BY OTHERS.  
MAX RISER HEIGHT 7' 3/4"  
MINIMUM TREAD DEPTH 10"

### BASEMENT PLAN

Scale: 1/4" = 1'-0"

McMillan Design  
847 Wake Forest Business Park, Suite 102  
Wake Forest, NC 27587  
919.263.1509  
www.mcmillan-design.com



Mareis LLC  
6780 Pannell Rd. Buford GA

Sheet Title  
Basement Plan

| REVISIONS |      |
|-----------|------|
| NUMBER    | DATE |
|           |      |
|           |      |
|           |      |

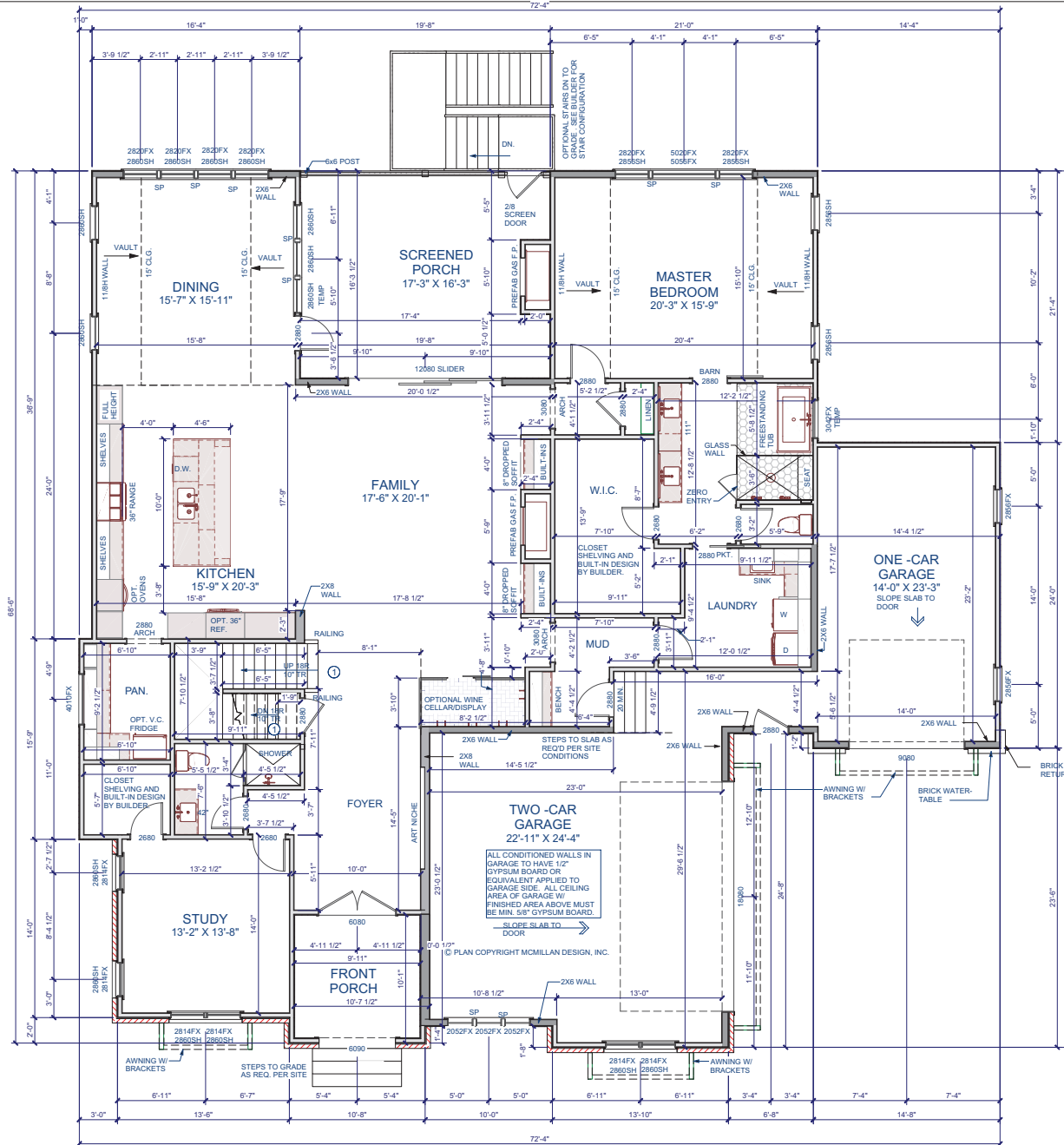
This plan is the property of McMillan Design and may not be used or reproduced without the expressed written consent of McMillan Design. These drawings are offered to the named client for a conditional one time use. The conditional use is limited to the lot or property as specified herein, and only for said location. McMillan Design assumes no liability for any home constructed from these plans. Contractor or Builder shall verify all dimensions and conditions prior to construction. Caution must be exercised when making modifications to these drawings. If changes are made to these drawings, contact McMillan Design.

Plan Number  
**M102-24**  
A-3

Sheet No.  
Drawn By: JG  
Date: 6/24/2024

© COPYRIGHT 2023  
McMillan Design, Inc.

WINNETT COUNTY  
PLANNING AND DEVELOPMENT  
RECEIVED  
6/17/2024



### GENERAL NOTES

**WALLS**  
ALL WALLS ARE DRAWN 3.5" WIDE (2X4) OR 5.5" WIDE (2X6) U.N.O. ANGLED WALLS ARE DRAWN (BUT) U.N.O.  
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD.

**SMOKE DETECTORS**  
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

**ATTIC ACCESS**  
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

**WALL CEILING HEIGHT**  
WALL AND CEILING HEIGHT NOTES ARE BASED ON NORMAL WALL SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FURRING IN HEATED SPACES FOR INSULATION. THE WALL HEIGHT REFERS TO THE HOT FROM THE FLOOR DECKING TO THE BOTTOM OF THE FURRING.

### WINDOW NOTE LEGEND

DH DOUBLE HUNG  
SH SINGLE HUNG  
FX FIXED  
SC SINGLE CASEMENT  
DC DOUBLE CASEMENT  
TC TRIPLE CASEMENT

### Square Footage

| Heated Square Footage       |      |
|-----------------------------|------|
| First Floor                 | 2601 |
| Second Floor                | 1869 |
| Total Heated                | 4470 |
| Unfinished                  |      |
| Front Porch                 | 102  |
| Screened Porch              | 323  |
| Three Car Garage            | 989  |
| Total Unfinished            | 1414 |
| Unfin. Storage and Options  |      |
| Walk-in Storage #1          | 322  |
| Basement Storage/Mechanical | 438  |
| Basement Patio              | 324  |
| Basement Future Livable     | 2318 |
| Total Storage / Options     | 3102 |

① BUILDER TO VERIFY # OF RISERS PER FLOOR SYSTEM SIZE. FLOOR SYSTEMS TO BE DESIGNED BY OTHERS. MAX RISER HEIGHT 7 3/4". MINIMUM TREAD DEPTH 10".

### FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

McMillan Design  
847 Wake Forest Business Park, Suite 102  
Wake Forest, NC 27587  
919.263.1509  
www.mcmillan-design.com



Mareis LLC  
6780 Pannell Rd. Buford GA

First Floor Plan

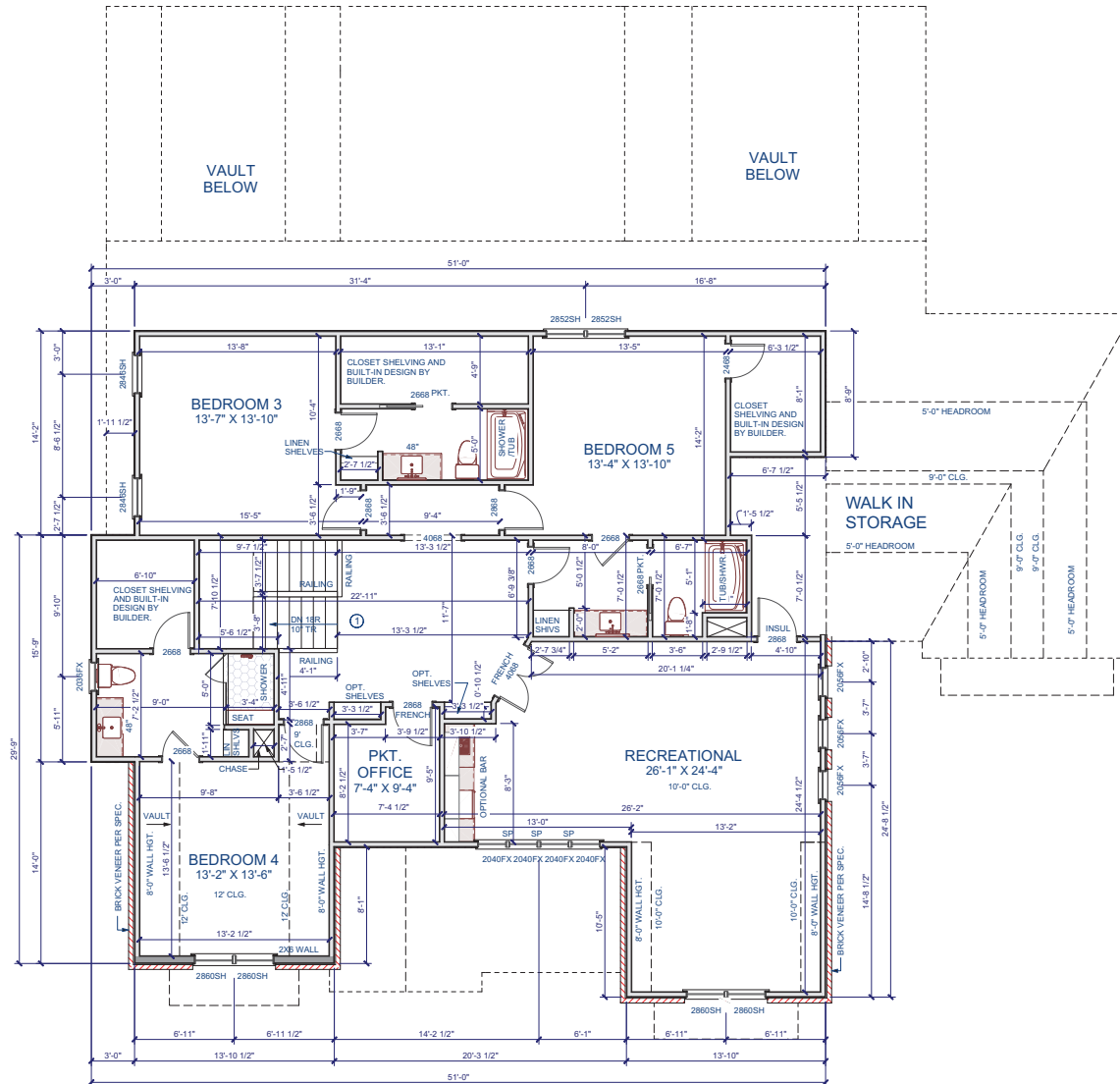
| REVISIONS |      |
|-----------|------|
| NUMBER    | DATE |
|           |      |
|           |      |
|           |      |
|           |      |

This plan is the property of McMillan Design and may not be used or reproduced without the expressed written consent of McMillan Design. These drawings are offered to the named client for a conditional one time use. The conditional use is limited to the lot or property as specified herein, and only for said location. McMillan Design assumes no liability for any home constructed from these plans. Contractor or Builder shall verify all dimensions and conditions prior to construction. Caution must be exercised when making modifications to these drawings. If changes are made to these drawings, contact McMillan Design.

Plan Number  
**M102-24**

Sheet  
No. A-4  
Drawn By: JG  
By: 6/24/2024  
Date:

© COPYRIGHT 2023  
McMillan Design, Inc.



### GENERAL NOTES

**WALLS**  
ALL WALLS ARE DRAWN 3/4" WIDE (2X4) OR 5/8" WIDE (2X6) U.N.C.  
ANGLED WALLS ARE DRAWN 3/4" U.N.C.  
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR  
DIMENSIONS ARE TO FACE OF STUD.

**SMOKE DETECTORS**  
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

**ATTIC ACCESS**  
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED  
ON SITE.

**WALL/CEILING HEIGHT**  
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL  
SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS  
ASSUME AN EXTRA 2" FOR FLOORING (IN HEATED SPACES) FOR  
INSULATION. THE WALL HEIGHT REFERS TO THE HOT FROM THE  
FLOOR (ENDING TO THE BOTTOM OF THE FLOORING).

### WINDOW NOTE LEGEND

DH DOUBLE HUNG  
SH SINGLE HUNG  
FX FIXED  
SC SINGLE CASEMENT  
DC DOUBLE CASEMENT  
TC TRIPLE CASEMENT

① BUILDER TO VERIFY # OF  
RISERS PER FLOOR SYSTEM  
SIZE. FLOOR SYSTEMS TO  
BE DESIGNED BY OTHERS.  
MAX RISER HEIGHT 7 3/4" .  
MINIMUM TREAD DEPTH 10"

### SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"



| REVISIONS |      |
|-----------|------|
| NUMBER    | DATE |
|           |      |
|           |      |
|           |      |

This plan is the property of McMillan Design and may not be used or reproduced without the expressed written consent of McMillan Design. These drawings are offered to the named client for a conditional one time use. The conditional use is limited to the lot or property as specified herein, and only for said location. McMillan Design assumes no liability for any home constructed from these plans. Contractor or Builder shall verify all dimensions and conditions prior to construction. Caution must be exercised when making modifications to these drawings. If changes are made to these drawings, contact McMillan Design.

**Exhibit E: Previously Adopted Resolution (RZR2024-00007) and Site Plan**

**[attached]**

**RECEIVED**

6.17.2024

CASE NUMBER RZR2024-00007  
GCID 2024-0193

GWINNETT COUNTY  
BOARD OF COMMISSIONERS  
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: AMENDMENT TO THE OFFICIAL ZONING MAP

ADOPTION DATE: FEBRUARY 27, 2024

At the regular meeting of the Gwinnett County Board of Commissioners held in the Gwinnett Justice and Administration Center, Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

---

|                                   | <u>Present</u> | <u>Vote</u> |
|-----------------------------------|----------------|-------------|
| Nicole L. Hendrickson, Chairwoman | Yes            | Aye         |
| Kirkland Carden, District 1       | Yes            | Aye         |
| Ben Ku, District 2                | Yes            | Aye         |
| Jasper Watkins, III, District 3   | Yes            | Aye         |
| Matthew Holtkamp, District 4      | Yes            | Aye         |

---

On motion of Commissioner Holtkamp which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from RA-200 to R-100 by Mareis, LLC for the proposed use of a Single-Family Detached Subdivision on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

RECEIVED

6.17.2024

CASE NUMBER RZR2024-00007  
GCID 2024-0193

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in the Gwinnett Daily Post, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on February 27, 2024, and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this 27th day of February 2024, that the aforesaid application to amend the Official Zoning Map from RA-200 to R-100 is hereby **APPROVED** with the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B, Site Plan dated received December 12, 2023. **Updated Plan dated 5.20.2024**
2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed three lots. **seven lots**
3. All dwellings shall have a minimum of a two-car garage.
4. The minimum heated floor area of dwellings shall be 3,000 square feet.
5. Natural vegetation shall remain on each individual lot until the issuance of a building permit for said lot. The area within the 20-foot-wide common access easement may be cleared with the issuance of the first building permit.
6. The site shall be limited to a single, shared entrance from Thompson Mill Road.
7. No accessory dwelling units shall be allowed.
8. Each property shall have a residential drainage plan.
9. Each lot shall be owned fee simple.

**RECEIVED**

6.17.2024

CASE NUMBER RZR2024-00007  
GCID 2024-0193

GWINNETT COUNTY BOARD OF COMMISSIONERS

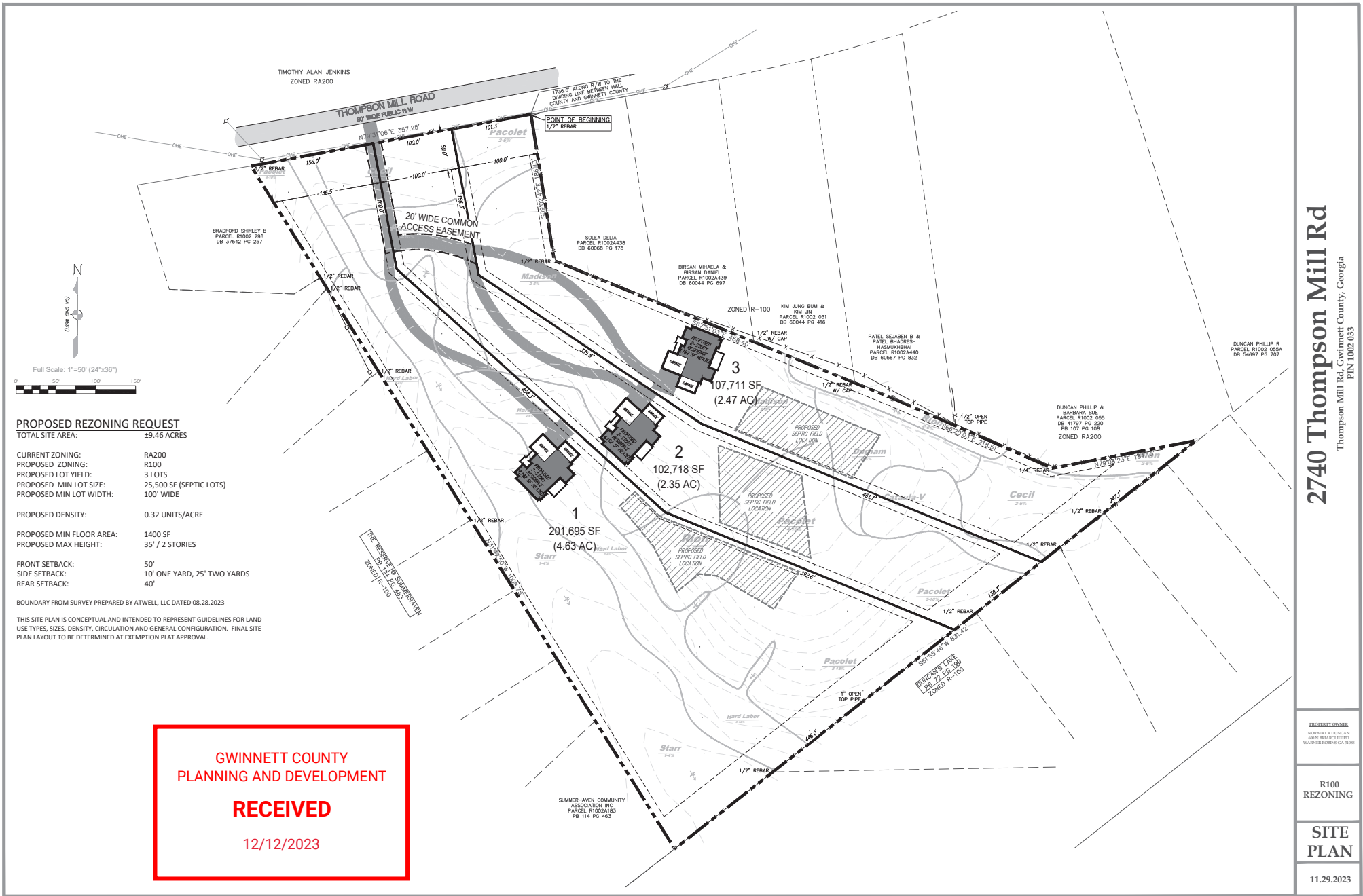
By: *Nicole L. Hendrickson*  
Nicole L. Hendrickson, Chairwoman

Date Signed: 3/19/2024

ATTEST:

By: *Dina M King*  
County Clerk/Deputy County Clerk





**Exhibit F: Letter of Intent and Applicant's Response to Standards**

**[attached]**

RECEIVED

6.17.2024



THOMAS & HUTTON

5074 BRISTOL INDUSTRIAL WAY, SUITE A

BUFORD, GA 30518 | 770.271.2868

WWW.THOMASANDHUTTON.COM

*Letter of Intent*

May 30, 2024

Gwinnett County Planning and Development  
446 West Crogan Street Suite 300

RE: Change in Conditions Application/RZR2024-00007  
2740 Thompson Mill Road  
Tax Parcel: 1002 033

To whom it may concern:

Please let this letter serve as the letter of intent for a Change in Conditions for RZR2024-00007 that was approved on February 27<sup>th</sup>, 2024, that rezoned the property located at 2740 Thompson Mill Road from RA200 to R100. During the rezoning of the property the owner was under the previous UDO (Unified Development Ordinance) that restricted shared driveways. The new UDO allows a shared drive with appropriate public road access under Section 230.70-Street Access as outlined below.

230-70.1 No buildable lot shall be created that does not have access to either a public street, a publicly approved street, publicly maintained street, or private street.

We would also request a waiver from the 5 lot maximum allowed under Section 1010-10.3 Minor Subdivisions and to increase the project to 7 lots as outlined below:

7. The Director is authorized to grant a modification from the 5-lot maximum exemption for subdivision with a minimum lot size of 0.5 acre; provided, however, modifications shall not be granted to exceed a total of 7 exempt lots. The Director may impose conditions of approval upon any modification thus granted as may be necessary to ensure the general public welfare.

The two conditions that we would request to change on RZR2024-00007 are the following enumerated in italics:

- 1. The proposed development shall be constructed in general conformance with Exhibit B, site plan dated received December 12,2023.**

*The proposed development shall be constructed in general conformance with the rezoning exhibit/site plan dated May 20,2024.*

- 2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed three lots.**

*The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed seven lots.*

RECEIVED

6.17.2024

The project will be in keeping with the surrounding community and provide homes 3,000 square feet or greater on large estate lots. There will be a common drive with the appropriate access/utility easement that will be maintained and shared by all seven homes with a mandatory Homeowner's Association.

We appreciate your consideration of this Change in Conditions for RZR2024-00007 and please do not hesitate to give me a call if you have any questions.

Sincerely,

Tonya Woods/770.271.2868

Thomas and Hutton

Woods.t@tandh.com

RECEIVED

6.17.2024

### **STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

Pursuant to requirements of the United Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

Please respond to the following standards in the space provided or use attachment as necessary:

- (A) Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property:

The proposed single family exemption plat subdivision is only 7 lots with the smallest lot being approximately .94 acres in size which is significantly larger than surrounding properties.

- (B) Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property:

The change in conditions will not adversely affect the existing use or usability of nearby or adjacent property as they are residentially zoned.

- (C) Whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned:

The property has reasonable economic use as currently zoned.

- (D) Whether the proposed change in conditions will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

A shared driveway will not burden Thompson Mill road, and 7 lots will have very minimal impact on utilities and schools.

- (E) Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map:

The proposed 7 lots is consistent with the intent of the Future development map and 2045 Unified Plan Traditional Plus Character area.

- (F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions:

The UDO was updated as of 1/1/2024 which allows for shared driveways as long as the proposed development has access to a public street via a private access and utility easement.

**Exhibit G: Application and Disclosure of Campaign Contributions**

**[attached]**

RECEIVED

6.17.2024

### CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF WINNETT COUNTY, GEORGIA

| APPLICANT INFORMATION                                                                                                                                                                                                                                                                                                             | PROPERTY OWNER INFORMATION                                                                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>Mareis, LLC</u><br>Address: <u>2445 Cove Circle</u><br>City: <u>Atlanta</u><br>State: <u>Brookhaven</u> ZIP: <u>30319</u><br>Phone: <u>810.459.9755</u><br>Email: <u>alex.cuica23@gmail.com</u>                                                                                                                          | Name: <u>Same as Applicant</u><br>Address: _____<br>City: _____<br>State: _____ ZIP: _____<br>Phone: _____<br>Email: _____                                    |
| Contact Person: <u>Alex Cuica</u> Phone: <u>810.459.9755</u><br>Contact's Email: <u>alex.cuica23@gmail.com</u>                                                                                                                                                                                                                    |                                                                                                                                                               |
| <p style="text-align: center;"><b>APPLICANT IS THE:</b></p> <div style="display: flex; justify-content: space-around;"> <span><input type="checkbox"/> Owner's Agent</span> <span><input checked="" type="checkbox"/> Property Owner</span> <span><input type="checkbox"/> Contract Purchaser</span> </div>                       |                                                                                                                                                               |
| Zoning District(s): <u>R-100</u> Prior Zoning Case No.: <u>RZR2024-00007</u><br>Parcel Number(s): <u>R1002 033</u> Acreage: <u>9.4</u><br>Property Address(es): <u>2740 Thompson Mill Road</u><br>Proposed Change in Conditions: <u>To allow for 7 lots with a shared driveway</u><br>Variance(s): _____ Waiver(s): <u>7 lots</u> |                                                                                                                                                               |
| <p style="text-align: center;"><b>RESIDENTIAL DEVELOPMENT:</b></p> No. of Dwelling Units: <u>7</u><br>Dwelling Unit Sq. Ft.: <u>3,000 square feet</u><br>Density: <u>1.34</u><br>Floor Area Ratio (LRR, MRR, HRR): _____                                                                                                          | <p style="text-align: center;"><b>NON-RESIDENTIAL DEVELOPMENT</b></p> No. of Buildings: <u>NA</u><br>Total Building Sq. Ft.: _____<br>Floor Area Ratio: _____ |
| <p style="text-align: center;"><b>MIXED-USE DEVELOPMENT</b></p> No. of Dwelling Units: <u>NA</u> Dwelling Unit Sq. Ft.: _____<br>Total Non-Residential Sq. Ft.: _____ Floor Area Ratio: _____                                                                                                                                     |                                                                                                                                                               |

**RECEIVED**

6.17.2024

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

**CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION**

The undersigned below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.

  
\_\_\_\_\_  
Signature of Applicant

5.30.2024

\_\_\_\_\_  
Date

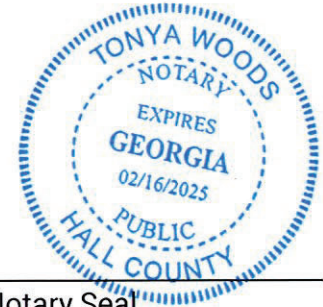
Alex Ciuca

\_\_\_\_\_  
Type or Print Name and Title

  
\_\_\_\_\_  
Signature of Notary Public

5.30.2024

\_\_\_\_\_  
Date



\_\_\_\_\_  
Notary Seal

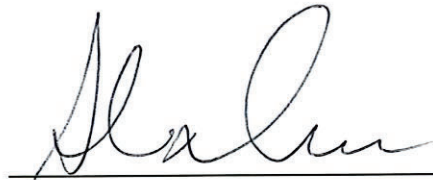
**RECEIVED**

6.17.2024

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

**CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION**

The undersigned below, or as attached, is the owner of the property considered in this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.



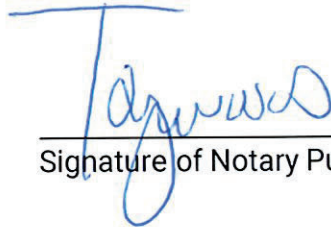
5.30.2024

Signature of Property Owner

Date

Alex Ciuca

Type or Print Name and Title



5.30.2024

Signature of Notary Public

Date



Notary Seal

RECEIVED

6.17.2024

**VERIFICATION OF CURRENT PAID PROPERTY TAXES  
FOR CHANGE IN CONDITIONS**

The undersigned below is authorized to make this application. The undersigned certifies that all Gwinnett County property taxes billed to date for the parcel listed below have been paid in full to the Gwinnett County Tax Commissioner. In no case shall an application or reapplication for change in conditions be processed without such property verification.

**A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE CHANGE IN CONDITIONS REQUEST.**

**Parcel I.D. Number:** R1002 033

(Map Reference Number)



5.30.2024

Signature of Applicant

Date

Alex Ciuca

Type or Print Name and Title

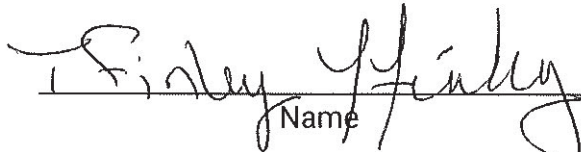
**PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE. THIS FORM MUST BE SIGNED BY A REPRESENTATIVE OF THE TAX COMMISSIONER'S OFFICE.**

---

---

**TAX COMMISSIONERS USE ONLY**

Payment of all property taxes billed to date for the above referenced parcel has been verified as paid current and confirmed by the signature below.

  
Name  
5-30-2024  
Date

TSA  
Title

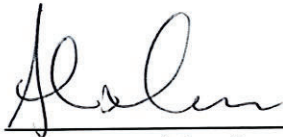
**RECEIVED**

6.17.2024

Gwinnett County Planning Division  
Change in Conditions Application  
Last Updated 12/2023

**CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS**

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.



5.30.2024

Alex Ciuca

Signature of Applicant

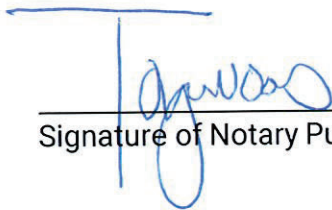
Date

Type of Print Name and Title

Signature of Applicant's  
Attorney or Representative

Date

Type or Print Name and Title



5.30.2024

Signature of Notary Public

Date

Notary Seal



**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners?

☐ Yes

☒ No

ALEX CIUCA

(Your Name)

If the answer is yes, please complete the following section:

| NAME AND OFFICIAL<br>POSITION OF<br>GOVERNMENT OFFICIAL | CONTRIBUTIONS<br>(List all which aggregate<br>to \$250 or More) | DATE CONTRIBUTION WAS<br>MADE<br>(Within last two years) |
|---------------------------------------------------------|-----------------------------------------------------------------|----------------------------------------------------------|
|                                                         |                                                                 |                                                          |
|                                                         |                                                                 |                                                          |
|                                                         |                                                                 |                                                          |
|                                                         |                                                                 |                                                          |
|                                                         |                                                                 |                                                          |

Attach additional sheets if necessary to disclose or describe all contributions.

**Exhibit H: Internal and External Agency Review Comments**

**[attached]**



Department of Planning and Development  
TECHNICAL REVIEW COMMITTEE

|                                       |                                                                                                                                      |                                                                                        |                                     |
|---------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|-------------------------------------|
| <b>TRC Meeting Date:</b>              |                                                                                                                                      | 07.08.2024                                                                             |                                     |
| Department/Agency Name:               |                                                                                                                                      | Transportation                                                                         |                                     |
| Reviewer Name:                        |                                                                                                                                      | Brent Hodges                                                                           |                                     |
| Reviewer Title:                       |                                                                                                                                      | Construction Manager 2                                                                 |                                     |
| Reviewer Email Address:               |                                                                                                                                      | <a href="mailto:Brent.Hodges@gwinnettcountry.com">Brent.Hodges@gwinnettcountry.com</a> |                                     |
| Case Number:                          |                                                                                                                                      | CIC2024-00022                                                                          |                                     |
| Case Address:                         |                                                                                                                                      | 2740 Thompson Mill Road, Buford, 30519                                                 |                                     |
| <b>Comments:</b>                      |                                                                                                                                      | <input checked="" type="checkbox"/> <b>X</b>                                           | <input type="checkbox"/> <b>YES</b> |
|                                       |                                                                                                                                      | <input type="checkbox"/>                                                               | <input type="checkbox"/> <b>NO</b>  |
| 1                                     | Thompson Mill Road is a major collector. The Average Daily Traffic Volume is 6,081.                                                  |                                                                                        |                                     |
| 2                                     | The site is 8.2 miles to the nearest Ride Gwinnett facility located at 3505 Buford Drive (SR 20) (AutoNation Mall of Georgia).       |                                                                                        |                                     |
| 3                                     | A sight distance certification shall be provided to ensure the shared driveway meets minimum sight distance, per UDO section 360-40. |                                                                                        |                                     |
| 4                                     | Per Section 360-90 of the UDO, a 5' concrete sidewalk shall be constructed along the site frontage.                                  |                                                                                        |                                     |
| 5                                     |                                                                                                                                      |                                                                                        |                                     |
| 6                                     |                                                                                                                                      |                                                                                        |                                     |
| 7                                     |                                                                                                                                      |                                                                                        |                                     |
| <b>Recommended Zoning Conditions:</b> |                                                                                                                                      | <input type="checkbox"/>                                                               | <input type="checkbox"/> <b>YES</b> |
|                                       |                                                                                                                                      | <input checked="" type="checkbox"/> <b>X</b>                                           | <input type="checkbox"/> <b>NO</b>  |
| 1                                     |                                                                                                                                      |                                                                                        |                                     |
| 2                                     |                                                                                                                                      |                                                                                        |                                     |
| 3                                     |                                                                                                                                      |                                                                                        |                                     |
| 4                                     |                                                                                                                                      |                                                                                        |                                     |
| 5                                     |                                                                                                                                      |                                                                                        |                                     |
| 6                                     |                                                                                                                                      |                                                                                        |                                     |
| 7                                     |                                                                                                                                      |                                                                                        |                                     |

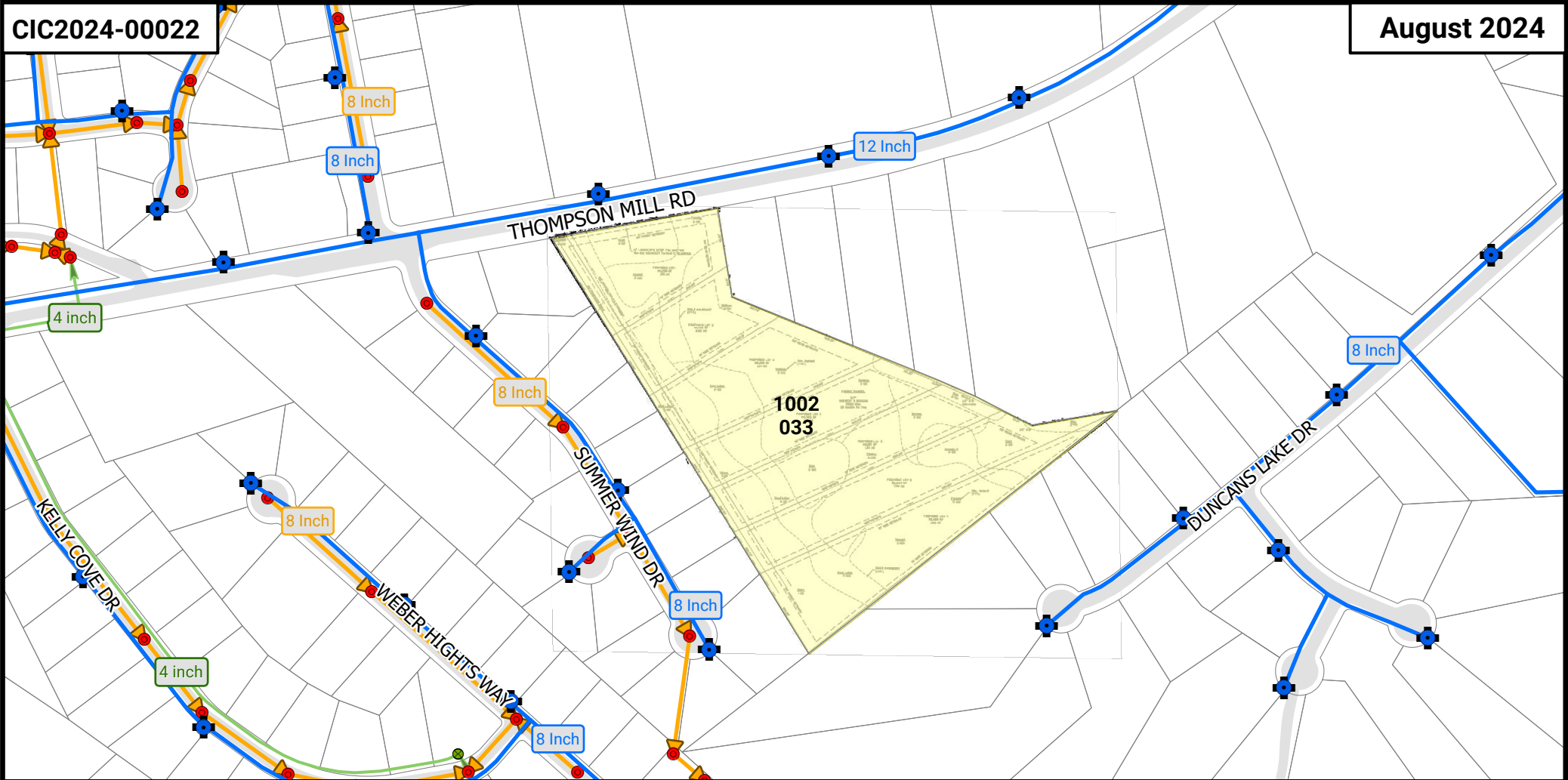


Department of Planning and Development  
TECHNICAL REVIEW COMMITTEE

|                                |                                                                                                                                    |                                                                                            |                                                                                                |
|--------------------------------|------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| TRC Meeting Date:              |                                                                                                                                    |                                                                                            |                                                                                                |
| Department/Agency Name:        |                                                                                                                                    | DWR                                                                                        |                                                                                                |
| Reviewer Name:                 |                                                                                                                                    | Mike Pappas                                                                                |                                                                                                |
| Reviewer Title:                |                                                                                                                                    | GIS Planning Manager                                                                       |                                                                                                |
| Reviewer Email Address:        |                                                                                                                                    | <a href="mailto:Michael.pappas@gwinnettcountry.com">Michael.pappas@gwinnettcountry.com</a> |                                                                                                |
| Case Number:                   |                                                                                                                                    | CIC2024-00022                                                                              |                                                                                                |
| Case Address:                  |                                                                                                                                    | 2740 Thompson Mill Rd                                                                      |                                                                                                |
| Comments:                      |                                                                                                                                    | <input checked="" type="checkbox"/> X                                                      | <input type="checkbox"/> YES <input type="checkbox"/> NO                                       |
| 1                              | Water: The proposed development may connect to the existing 12-inch water main on the northern right-of-way of Thompson Mill Road. |                                                                                            |                                                                                                |
| 2                              | Sewer: The proposed development plans to be on septic pending approval from the GNR Public Health.                                 |                                                                                            |                                                                                                |
| 3                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 4                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 5                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 6                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 7                              |                                                                                                                                    |                                                                                            |                                                                                                |
| Recommended Zoning Conditions: |                                                                                                                                    | <input type="checkbox"/>                                                                   | <input type="checkbox"/> YES <input checked="" type="checkbox"/> X <input type="checkbox"/> NO |
| 1                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 2                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 3                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 4                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 5                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 6                              |                                                                                                                                    |                                                                                            |                                                                                                |
| 7                              |                                                                                                                                    |                                                                                            |                                                                                                |

**Note:** Attach additional pages, if needed

*Revised 7/26/2021*



LEGEND

Water Main

Hydrant

Sewer Collector

Sewer Force Main

Manhole

2740 Thompson Mill Rd  
RA-200 to R-100

Water & Sewer  
Utility Map

LOCATION

**Water Comments:** The proposed development may connect to the existing 12-inch water main on the northern right-of-way of Thompson Mill Road.

**Sewer Comments:** The proposed development plans to be on septic pending approval from the GNR Public Health.

**Water Availability:** Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

**Sewer Availability:** A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station, and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

**Water and Sewer Design and Construction Requirements:** Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the required utilities, service would then become available under the applicable utility permit rate schedules.

**Private Road Developments:** Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

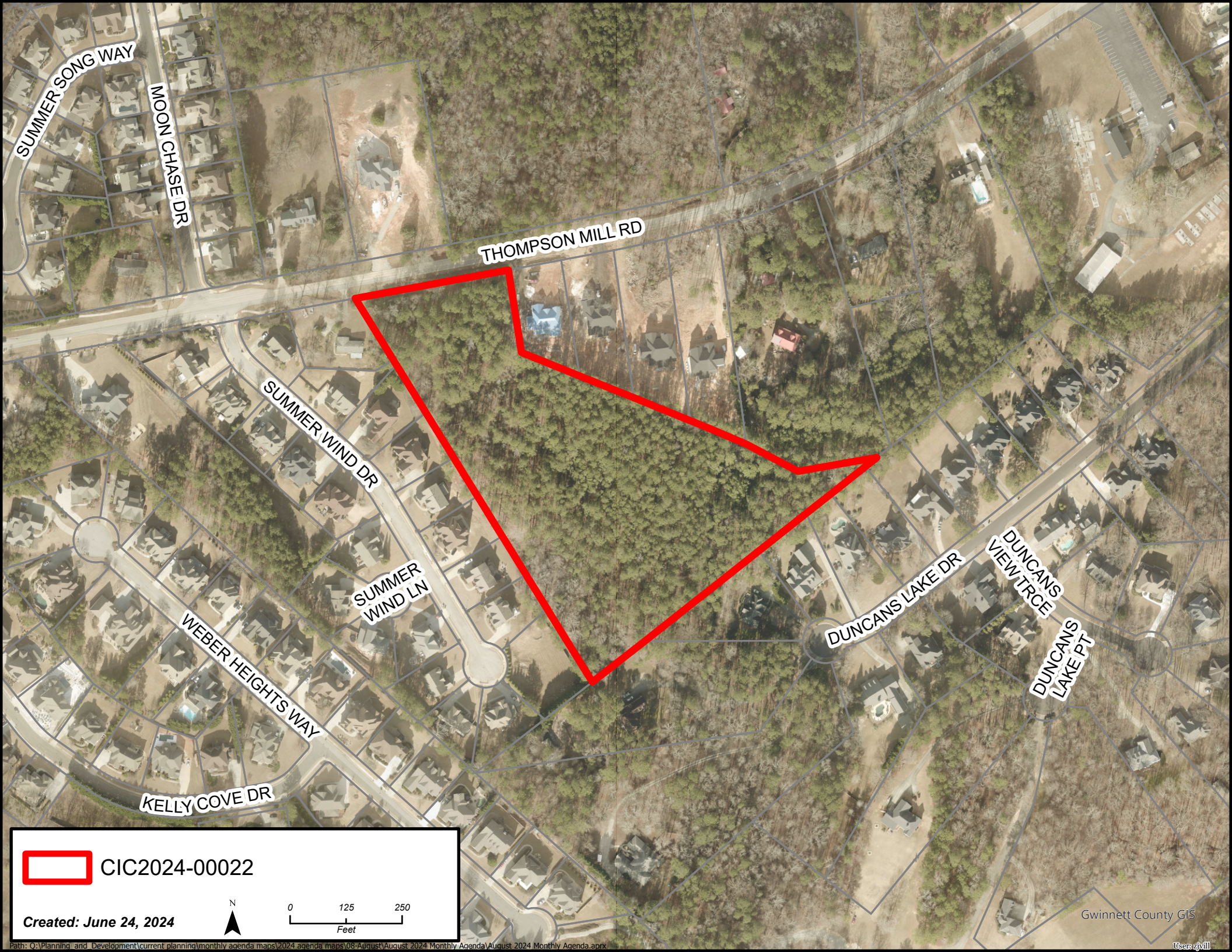
CIC2024-00022

Page 39 of 43

RP

## **Exhibit I: Maps**

**[attached]**



SUMMER SONG WAY

MOON CHASE DR

THOMPSON MILL RD

SUMMER WIND DR

SUMMER WIND LN

WEBER HEIGHTS WAY

KELLY COVE DR

DUNCANS LAKE DR

DUNCANS VIEW TRCE

DUNCANS LAKE PT



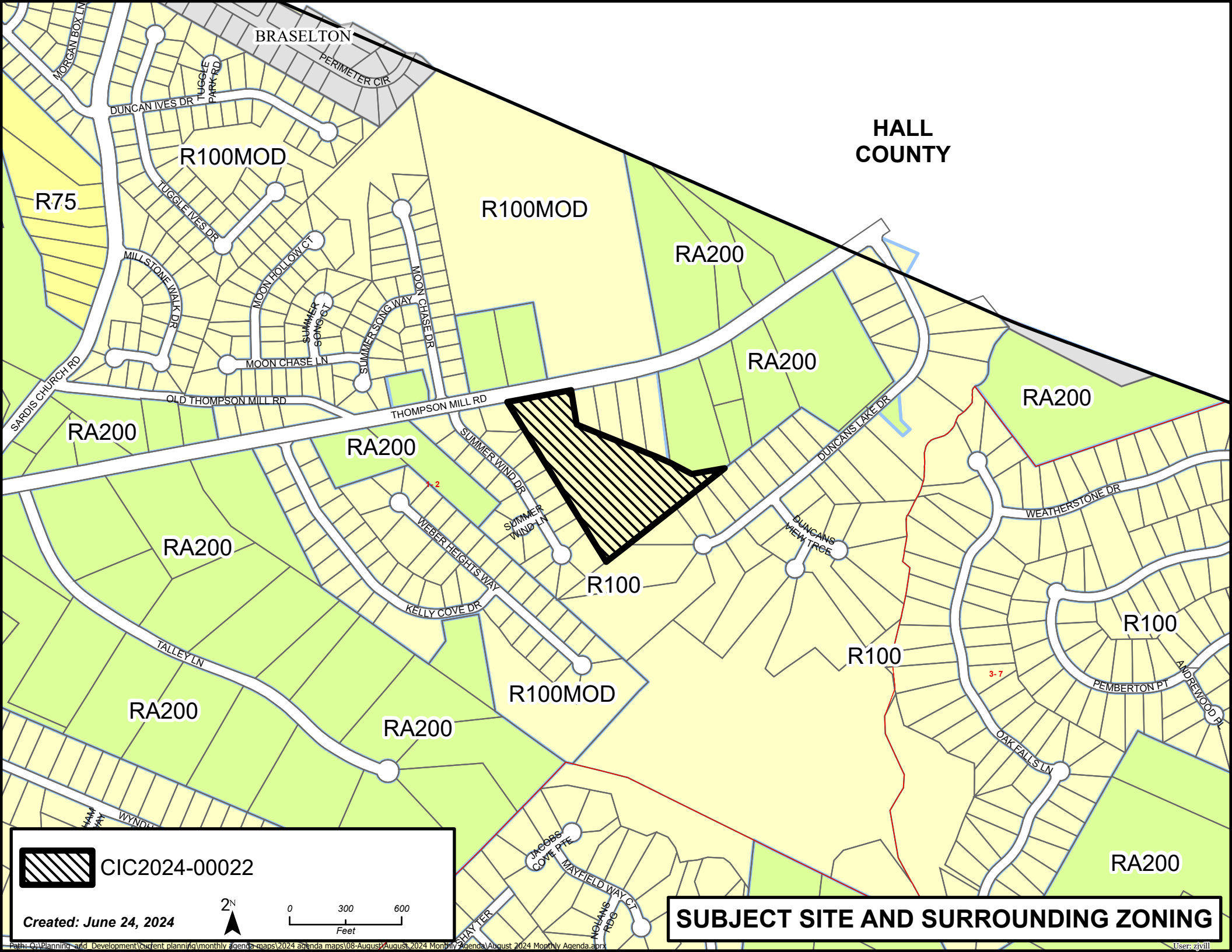
CIC2024-00022

Created: June 24, 2024



0 125 250  
Feet

Gwinnett County GIS



HALL  
COUNTY

R75

R100MOD

R100MOD

RA200

RA200

RA200

RA200

RA200

RA200

R100

R100

R100

RA200

RA200

R100MOD

RA200



CIC2024-00022

Created: June 24, 2024



0 300 600  
Feet

**SUBJECT SITE AND SURROUNDING ZONING**

