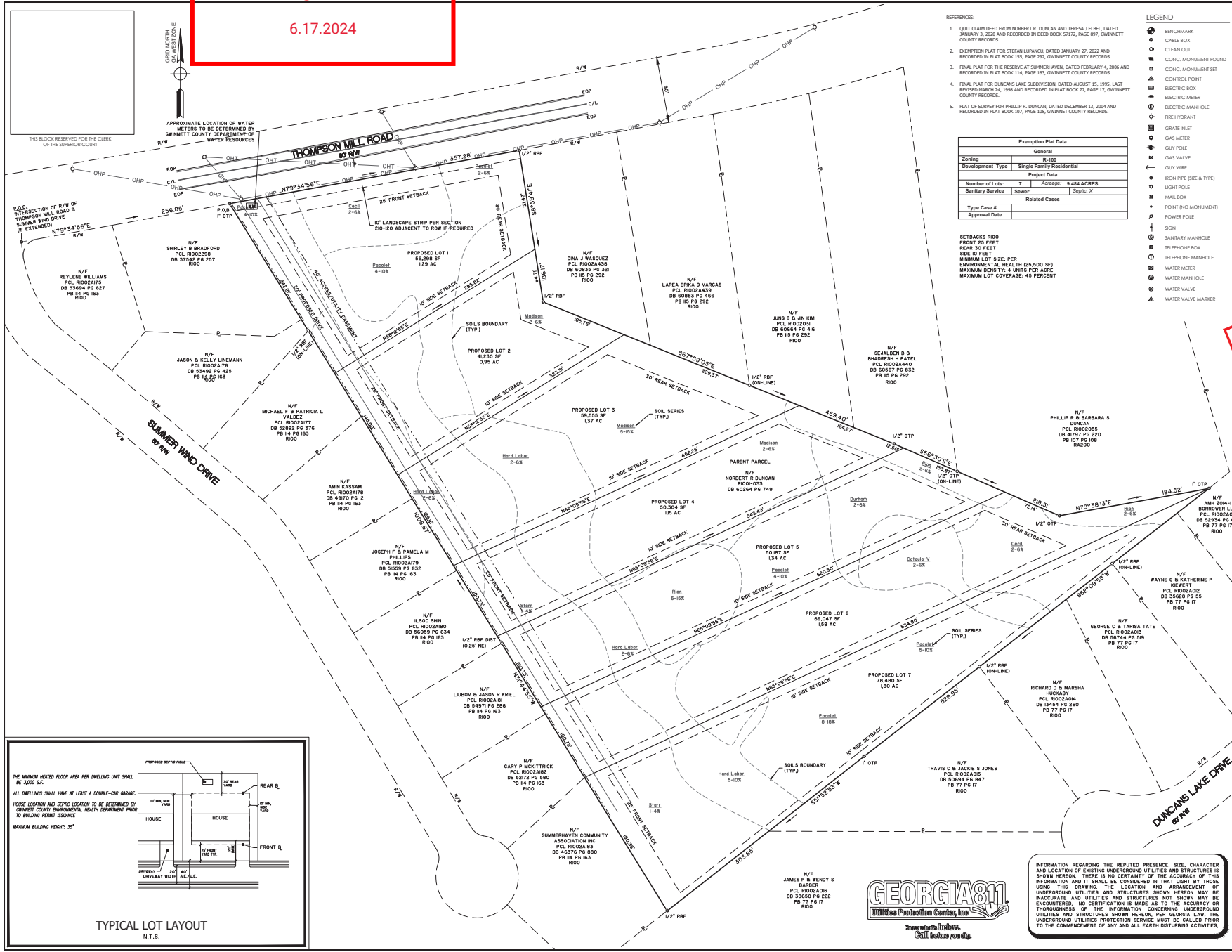


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6.17.2024



- REFERENCES:
- QUIT CLAIM DEED FROM NOBERT & DUNCAN AND TERESA E. BELLE, DATED JANUARY 3, 2002 AND RECORDED IN DEED BOOK 2172, PAGE 897, WINNETT COUNTY RECORDS.
 - EXEMPTION PLAT FOR STEFAN LUPRICAL DATED JANUARY 27, 2022 AND RECORDED IN PLAT BOOK 155, PAGE 293, WINNETT COUNTY RECORDS.
 - FINAL PLAT FOR THE RESERVE AT SUMMERHAVEN, DATED FEBRUARY 4, 2006 AND RECORDED IN PLAT BOOK 114, PAGE 353, WINNETT COUNTY RECORDS.
 - FINAL PLAT FOR DUNCAN LAKE SUBDIVISION, DATED AUGUST 15, 1996, LAST REVISED MARCH 24, 1998 AND RECORDED IN PLAT BOOK 77, PAGE 17, WINNETT COUNTY RECORDS.
 - PLAT OF SURVEY FOR PHILIP R. DUNCAN, DATED DECEMBER 11, 2004 AND RECORDED IN PLAT BOOK 157, PAGE 106, WINNETT COUNTY RECORDS.

Exemption Plat Data	
Zoning	R-100
Development Type	Single Family Residential
Project Data	
Number of Lots	7
Acres	9.484 ACRES
Sanitary Service	Sewer
Related Cases	Septic X
Type Case #	
Approval Date	

SETBACKS R/OO
FRONT 25 FEET
REAR 20 FEET
MINIMUM LOT SIZE: PER
ENVIRONMENTAL HEALTH (25,000 SF)
MAXIMUM DENSITY: 4 UNITS PER ACRE
MAXIMUM LOT COVERAGE: 45 PERCENT

- LEGEND
- BENCHMARK
 - CABLE BOX
 - CLEAR CUT
 - CONC. MONUMENT FOUND
 - CONC. MONUMENT SET
 - ELECTRIC BOX
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - FIRE HYDRANT
 - GRADE INLET
 - GAS METER
 - GUY POLE
 - GUY WIRE
 - GAS VALVE
 - GUY VALVE
 - IRON PIPE (SIDE A TYPE)
 - LIGHT POLE
 - MAIL BOX
 - POINT (NO MONUMENT)
 - POWER POLE
 - SON
 - SANITARY MANHOLE
 - TELEPHONE BOX
 - TELEPHONE MANHOLE
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE
 - WATER VALVE MARKER



VICINITY MAP
not to scale

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACCURATE SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION. THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST. A TRIANGLE IS A TRIANGULAR TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAN. THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PERCENT OF ONE FOOT IN 42,180 FEET AND AN ANGULAR ERROR OF 02" PER SINGLE POINT. AND WAS ADJUSTED USING LEAST SQUARES. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN THE TOLERANCES SET FORTH IN SECTION 15-6-67 OF O.C.G.A.

GEORGIA PROFESSIONAL SURVEYOR
CHRISTOPHER C. BALDWIN
LAND SURVEYOR
P.L.S. #307 / L.S.P. #45
bb@ccsps.com

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATE SIGNATURES, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENT AGENCIES BY ANY PURCHASER OR USER OF THIS PLAN AS TO INTENDED USE OF ANY PART THEREOF. THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

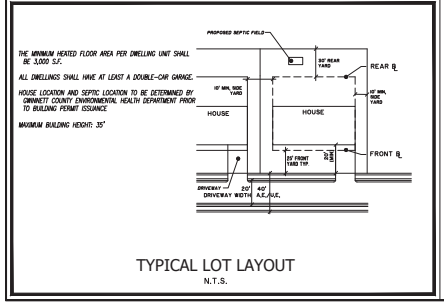
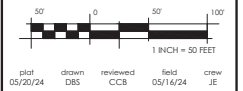
REZONING EXHIBIT
THOMPSON MILL TRACT
G.M.D. 1397
WINNETT COUNTY
GEORGIA

PROJECT ADDRESS
2740 THOMPSON MILL ROAD
BUFORD, GA 30519

prepared for
MAREIS, LLC
1935 SUMNER STREET
ATLANTA, GA 30318
24 HR. CONTACT
ALEX CIUCA
ALEX.CIUCA23@GMAIL.COM

No.	Revision	By	Date

THOMAS & HUTTON
5074 Bristol Industrial Way • Suite A
Buford, GA 30518 • 770-271-2868
www.thomasandhutton.com



THE MINIMUM HEATED FLOOR AREA PER DWELLING UNIT SHALL BE 1,000 S.F.
ALL DWELLINGS SHALL HAVE AT LEAST A DOUBLE-OR-GARAGE.
HOUSE LOCATION AND SEPTIC LOCATION TO BE DETERMINED BY WINNETT COUNTY ENVIRONMENTAL HEALTH STATEMENT PRIOR TO BUILDING PERMIT ISSUANCE.
MINIMUM BUILDING HEIGHT: 3'

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED THAT LAYOUT BY THOSE USING THIS DRAWING, THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. PER GEORGIA LAW, THE UNDERGROUND UTILITIES PROTECTION SERVICE MUST BE CALLED PRIOR TO THE COMMENCEMENT OF ANY AND ALL EARTH DISTURBING ACTIVITIES.



Call before you dig.

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STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to requirements of the United Development Ordinance, the Board of Commissioners finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality, or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

Please respond to the following standards in the space provided or use attachment as necessary:

- (A) Whether a proposed change in conditions will permit a use that is suitable in view of the use and development of adjacent and nearby property:

The proposed single family exemption plat subdivision is only 7 lots with the smallest lot being approximately .94 acres in size which is significantly larger than surrounding properties.

- (B) Whether a proposed change in conditions will adversely affect the existing use or usability of adjacent or nearby property:

The change in conditions will not adversely affect the existing use or usability of nearby or adjacent property as they are residentially zoned.

- (C) Whether the property to be affected by a proposed change in conditions has reasonable economic use as currently zoned:

The property has reasonable economic use as currently zoned.

- (D) Whether the proposed change in conditions will result in a use which could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

A shared driveway will not burden Thompson Mill road, and 7 lots will have very minimal impact on utilities and schools.

- (E) Whether the proposed change in conditions is in conformity with the policy and intent of the Unified Plan and Future Development Map:

The proposed 7 lots is consistent with the intent of the Future development map and 2045 Unified Plan Traditional Plus Character area.

- (F) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed change in conditions:

The UDO was updated as of 1/1/2024 which allows for shared driveways as long as the proposed development has access to a public street via a private access and utility easement.

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5074 BRISTOL INDUSTRIAL WAY, SUITE A
BUFORD, GA 30518 | 770.271.2868
WWW.THOMASANDHUTTON.COM

Letter of Intent

May 30, 2024

Gwinnett County Planning and Development
446 West Crogan Street Suite 300

RE: Change in Conditions Application/RZR2024-00007
2740 Thompson Mill Road
Tax Parcel: 1002 033

To whom it may concern:

Please let this letter serve as the letter of intent for a Change in Conditions for RZR2024-00007 that was approved on February 27th, 2024, that rezoned the property located at 2740 Thompson Mill Road from RA200 to R100. During the rezoning of the property the owner was under the previous UDO (Unified Development Ordinance) that restricted shared driveways. The new UDO allows a shared drive with appropriate public road access under Section 230.70-Street Access as outlined below.

230-70.1 No buildable lot shall be created that does not have access to either a public street, a publicly approved street, publicly maintained street, or private street.

We would also request a waiver from the 5 lot maximum allowed under Section 1010-10.3 Minor Subdivisions and to increase the project to 7 lots as outlined below:

7. The Director is authorized to grant a modification from the 5-lot maximum exemption for subdivision with a minimum lot size of 0.5 acre; provided, however, modifications shall not be granted to exceed a total of 7 exempt lots. The Director may impose conditions of approval upon any modification thus granted as may be necessary to ensure the general public welfare.

The two conditions that we would request to change on RZR2024-00007 are the following enumerated in italics:

- 1. The proposed development shall be constructed in general conformance with Exhibit B, site plan dated received December 12,2023.**

The proposed development shall be constructed in general conformance with the rezoning exhibit/site plan dated May 20,2024.

- 2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed three lots.**

The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed seven lots.

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The project will be in keeping with the surrounding community and provide homes 3,000 square feet or greater on large estate lots. There will be a common drive with the appropriate access/utility easement that will be maintained and shared by all seven homes with a mandatory Homeowner's Association.

We appreciate your consideration of this Change in Conditions for RZR2024-00007 and please do not hesitate to give me a call if you have any questions.

Sincerely,

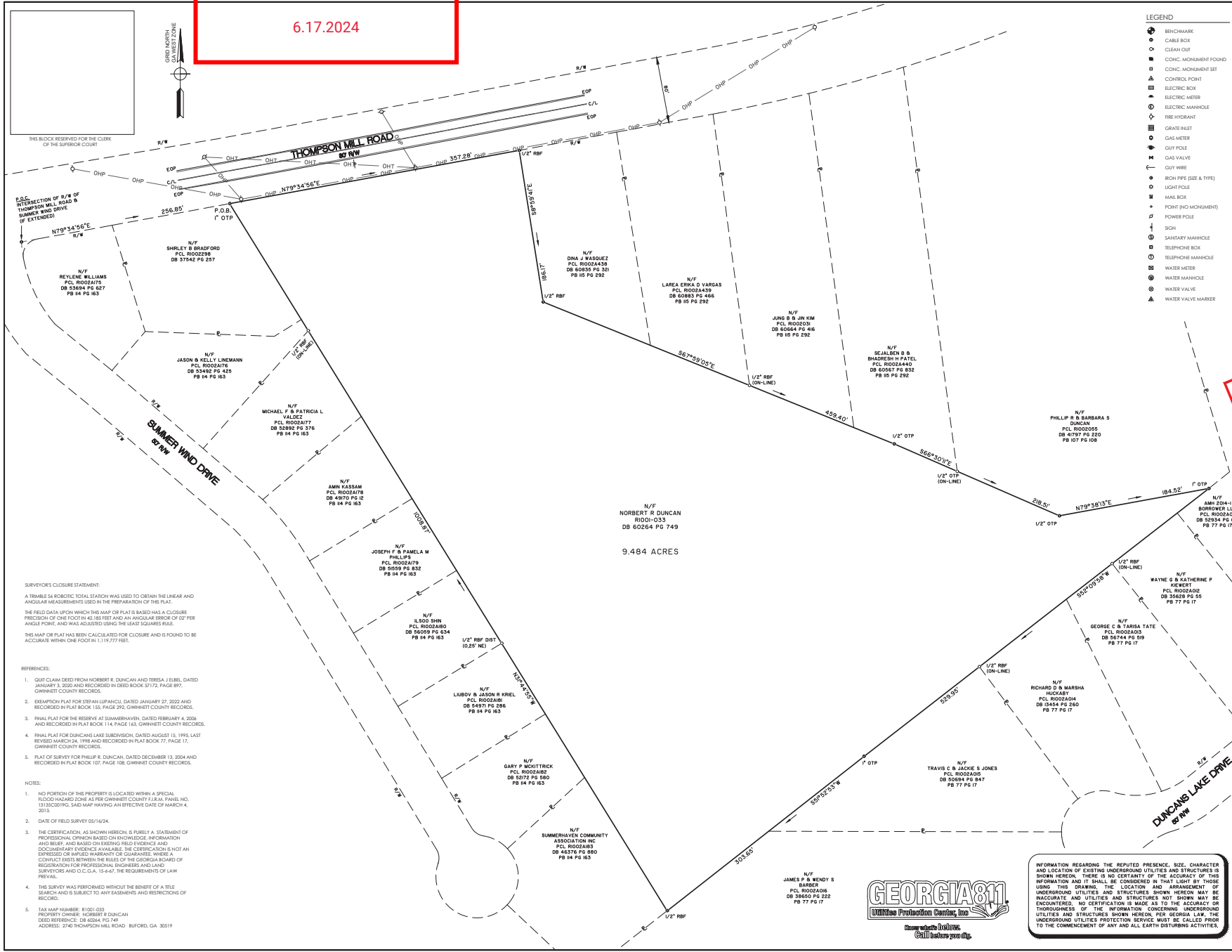
Tonya Woods/770.271.2868

Thomas and Hutton

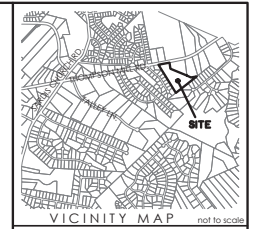
Woods.t@tandh.com

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6.17.2024



- LEGEND**
- ⊕ BENCHMARK
 - ⊙ CABLE BOX
 - CLEAR CUT
 - ⊠ CONC. MONUMENT FOUND
 - ⊠ CONTROL POINT
 - ⊠ ELECTRIC BOX
 - ⊠ ELECTRIC METER
 - ⊠ ELECTRIC MANHOLE
 - ⊠ FIRE HYDRANT
 - ⊠ GATE INLET
 - ⊠ GAS METER
 - ⊠ GUY POLE
 - ⊠ GAS VALVE
 - ⊠ GUY WIRE
 - ⊠ IRON PIPE (SIZE & TYPE)
 - ⊠ LIGHT POLE
 - ⊠ MAIL BOX
 - ⊠ POINT (NO MONUMENT)
 - ⊠ POWER POLE
 - ⊠ SIGN
 - ⊠ SANITARY MANHOLE
 - ⊠ TELEPHONE BOX
 - ⊠ TELEPHONE MANHOLE
 - ⊠ WATER METER
 - ⊠ WATER MANHOLE
 - ⊠ WATER VALVE
 - ⊠ WATER VALVE MARKER



VICINITY MAP
not to scale

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SURVEYOR'S CERTIFICATION

THIS IS A RETRACTION OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENT, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECREATION OF THE PLAT DOES NOT REQUIRE APPROVAL OF ANY LOCAL JURISDICTION. AVAILABILITY OF PERMITS: COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS OR SEPARATELY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 43-4-2.



CHRISTOPHER S. BALDWIN
GEORGIA REGISTERED
LAND SURVEYOR
No. 3203 / L.S.P. #145
cb@thomasandhutton.com

**BOUNDARY SURVEY
THOMPSON MILL
TRACT
G.M.D. 1397
WINNETTS COUNTY
GEORGIA**

PROJECT ADDRESS
2740 THOMPSON MILL ROAD
BUFORD, GA 30519

prepared for
MAREIS, LLC
1935 SUMNER STREET
ATLANTA, GA 30318
24 HR. CONTACT
ALEX CIUCA
ALEX.CIUCA23@GMAIL.COM

No.	Revision	By	Date

THOMAS & HUTTON
5074 Bristal Industrial Way • Suite A
Buford, GA 30518 • 770-271-2868
www.thomasandhutton.com

Plot	down	reviewed		
06/12/24	DSS	CCB	05/14/24	CREW
				JE

job: 32024.0000 SHEET 1 OF 1

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED THAT LIABY BY THOSE USING THIS DRAWING, THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. PER GEORGIA LAW, THE UNDERGROUND UTILITIES PROTECTION SERVICE MUST BE CALLED PRIOR TO THE COMMENCEMENT OF ANY AND ALL EARTH DISTURBING ACTIVITIES.



SURVEYOR'S CLOSURE STATEMENT:
A TRIMBLE S6 ROBOTIC TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 42,180 FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARES WILE.
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 111,777 FEET.

- REFERENCES:**
- QUIT CLAIM DEED FROM NORBERT R. DUNCAN AND TERESA J. ELLER, DATED JANUARY 3, 2020 AND RECORDED IN DEED BOOK 57172, PAGE 897, WINNETT COUNTY RECORDS.
 - EMPHASIS PLAT FOR 1594HUPHACUMI, DATED JANUARY 27, 2020 AND RECORDED IN PLAT BOOK 153, PAGE 292, WINNETT COUNTY RECORDS.
 - FINAL PLAT FOR THE RESERVE AT SUMMERHAVEN, DATED FEBRUARY 4, 2006 AND RECORDED IN PLAT BOOK 114, PAGE 143, WINNETT COUNTY RECORDS.
 - FINAL PLAT FOR DUNCAN LAKE SUBDIVISION, DATED AUGUST 15, 1995, LAST REVISED MARCH 24, 1998 AND RECORDED IN PLAT BOOK 77, PAGE 17, WINNETT COUNTY RECORDS.
 - PLAT OF SURVEY FOR PHILIP R. DUNCAN, DATED DECEMBER 12, 2004 AND RECORDED IN PLAT BOOK 107, PAGE 108, WINNETT COUNTY RECORDS.

- NOTES:**
- NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER WINNETT COUNTY FEMA PANEL NO. 13133C0070G, SAID MAP HAVING AN EFFECTIVE DATE OF MARCH 4, 2013.
 - DATE OF FIELD SURVEY 05/16/24.
 - THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE, WHEREAS CONFLICTS EXIST BETWEEN THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND O.C.G.A., 43-4-2, THE REQUIREMENTS OF LAW PREVAIL.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.
 - TAX MAP NUMBER: R1001 233
PROPERTY OWNERS: NORBERT R. DUNCAN
DEED REFERENCE: DB 4024, PG 747
ADDRESS: 2740 THOMPSON MILL ROAD, BUFORD, GA 30519

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LEGAL DESCRIPTION

All that tract or parcel of land lying and being in G.M.D. 1397, Gwinnett County, Georgia and being more particularly described as follows:

Beginning at the extended intersection of the easterly right-of-way of Summer Wind Drive (50' r/w) and the southeasterly right-of-way of Thompson Mill Road (80'r/w); THENCE continuing along said right-of-way of Thompson Mill Road North 79 degrees 34 minutes 56 seconds East for a distance of 256.85 feet to a 1" open top pipe found, said open top pipe being THE TRUE POINT OF BEGINNING

THENCE North 79 degrees 34 minutes 56 seconds East a distance of 357.28 feet along said right-of-way to a point;

THENCE South 8 degrees 59 minutes 41 seconds East a distance of 186.17 feet leaving said right-of-way to a ½" rebar found;

THENCE South 67 degrees 59 minutes 05 seconds East a distance of 459.40 feet to an ½" open top pipe;

THENCE South 66 degrees 30 minutes 11 seconds East a distance of 218.51 feet to a ½" open top pipe;

THENCE North 79 degrees 38 minutes 13 seconds East a distance of 184.52 feet to a 1" open top pipe;

THENCE South 52 degrees 09 minutes 58 seconds West a distance of 529.95 feet to a 1" open top pipe;

THENCE South 51 degrees 52 minutes 53 seconds West a distance of 303.65 feet to a ½" rebar found;

THENCE North 31 degrees 44 minutes 55 seconds West a distance of 1008.87 feet to a 1" open top pipe, said open top pipe being THE TRUE POINT OF BEGINNING.

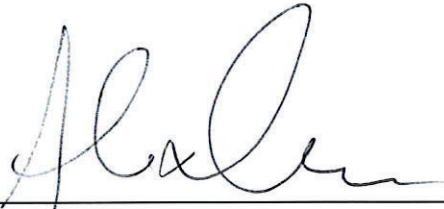
The above-described tract contains an area of 9.484 acres.

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CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

The undersigned below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.



5.30.2024

Signature of Applicant

Date

Alex Ciuca

Type or Print Name and Title

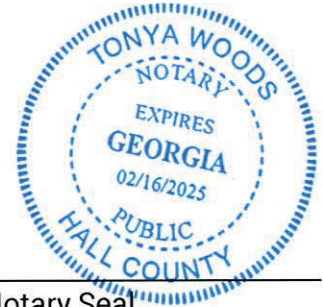


5.30.2024

Signature of Notary Public

Date

Notary Seal




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CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

The undersigned below, or as attached, is the owner of the property considered in this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of last action by the Board of Commissioners.




Signature of Property Owner

5.30.2024

Date

Alex Ciuca


Type or Print Name and Title



Signature of Notary Public

5.30.2024

Date



Notary Seal

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CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

5.30.2024

Alex Ciuca

Signature of Applicant

Date

Type of Print Name and Title

Signature of Applicant's
Attorney or Representative

Date

Type or Print Name and Title

5.30.2024

Signature of Notary Public

Date

Notary Seal



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners?

Yes

No

ALEX CIUCA

(Your Name)

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

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6.17.2024

**VERIFICATION OF CURRENT PAID PROPERTY TAXES
FOR CHANGE IN CONDITIONS**

The undersigned below is authorized to make this application. The undersigned certifies that all Gwinnett County property taxes billed to date for the parcel listed below have been paid in full to the Gwinnett County Tax Commissioner. In no case shall an application or reapplication for change in conditions be processed without such property verification.

A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE CHANGE IN CONDITIONS REQUEST.

Parcel I.D. Number: R1002 033

(Map Reference Number)



5.30.2024

Signature of Applicant

Date

Alex Ciuca

Type or Print Name and Title

PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE. THIS FORM MUST BE SIGNED BY A REPRESENTATIVE OF THE TAX COMMISSIONER'S OFFICE.

TAX COMMISSIONERS USE ONLY

Payment of all property taxes billed to date for the above referenced parcel has been verified as paid current and confirmed by the signature below.

T Finley Finley
Name

TSA
Title

5-30-2024
Date

RECEIVED

6.17.2024

CASE NUMBER RZR2024-00007
GCID 2024-0193

GWINNETT COUNTY
BOARD OF COMMISSIONERS
LAWRENCEVILLE, GEORGIA

RESOLUTION ENTITLED: AMENDMENT TO THE OFFICIAL ZONING MAP

ADOPTION DATE: FEBRUARY 27, 2024

At the regular meeting of the Gwinnett County Board of Commissioners held in the Gwinnett Justice and Administration Center, Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

	<u>Present</u>	<u>Vote</u>
Nicole L. Hendrickson, Chairwoman	Yes	Aye
Kirkland Carden, District 1	Yes	Aye
Ben Ku, District 2	Yes	Aye
Jasper Watkins, III, District 3	Yes	Aye
Matthew Holtkamp, District 4	Yes	Aye

On motion of Commissioner Holtkamp which carried 5-0, the following Resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from RA-200 to R-100 by Mareis, LLC for the proposed use of a Single-Family Detached Subdivision on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

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CASE NUMBER RZR2024-00007
GCID 2024-0193

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in the Gwinnett Daily Post, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on February 27, 2024, and objections were not filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners, this 27th day of February 2024, that the aforesaid application to amend the Official Zoning Map from RA-200 to R-100 is hereby **APPROVED** with the following conditions:

1. The proposed development shall be constructed in general conformance with Exhibit B, Site Plan dated received December 12, 2023. **Updated Plan dated 5.20.2024**
2. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed three lots. **seven lots**
3. All dwellings shall have a minimum of a two-car garage.
4. The minimum heated floor area of dwellings shall be 3,000 square feet.
5. Natural vegetation shall remain on each individual lot until the issuance of a building permit for said lot. The area within the 20-foot-wide common access easement may be cleared with the issuance of the first building permit.
6. The site shall be limited to a single, shared entrance from Thompson Mill Road.
7. No accessory dwelling units shall be allowed.
8. Each property shall have a residential drainage plan.
9. Each lot shall be owned fee simple.

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6.17.2024

CASE NUMBER RZR2024-00007
GCID 2024-0193

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: *Nicole L. Hendrickson*
Nicole L. Hendrickson, Chairwoman

Date Signed: 3/19/2024

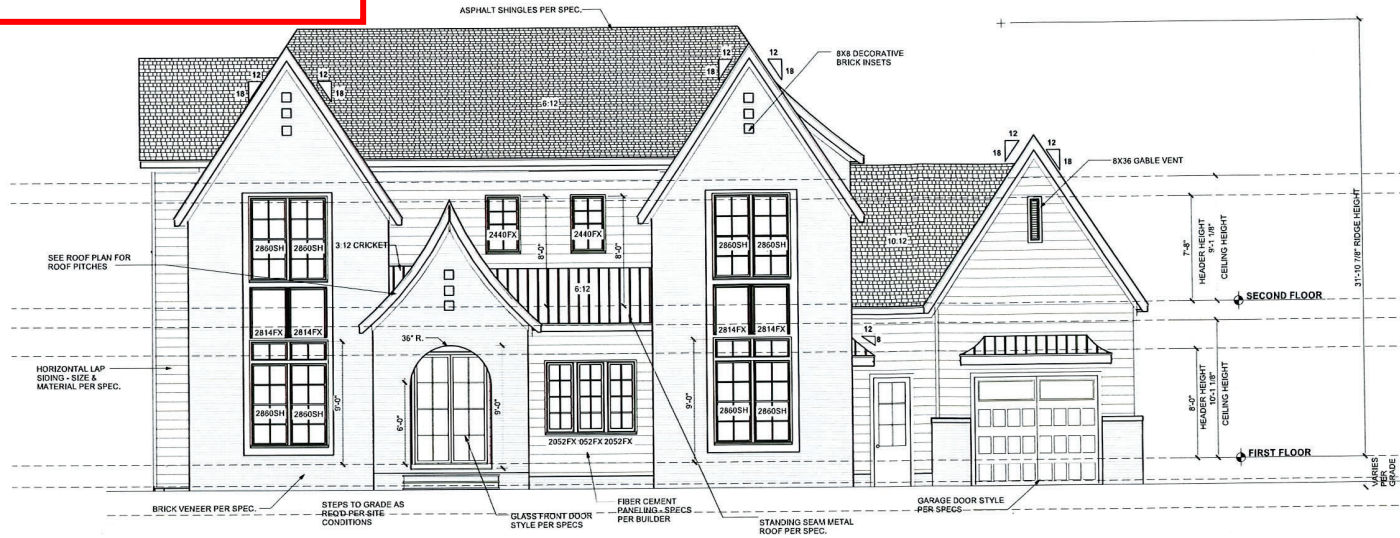
ATTEST:

By: *Dina M King*
County Clerk/Deputy County Clerk

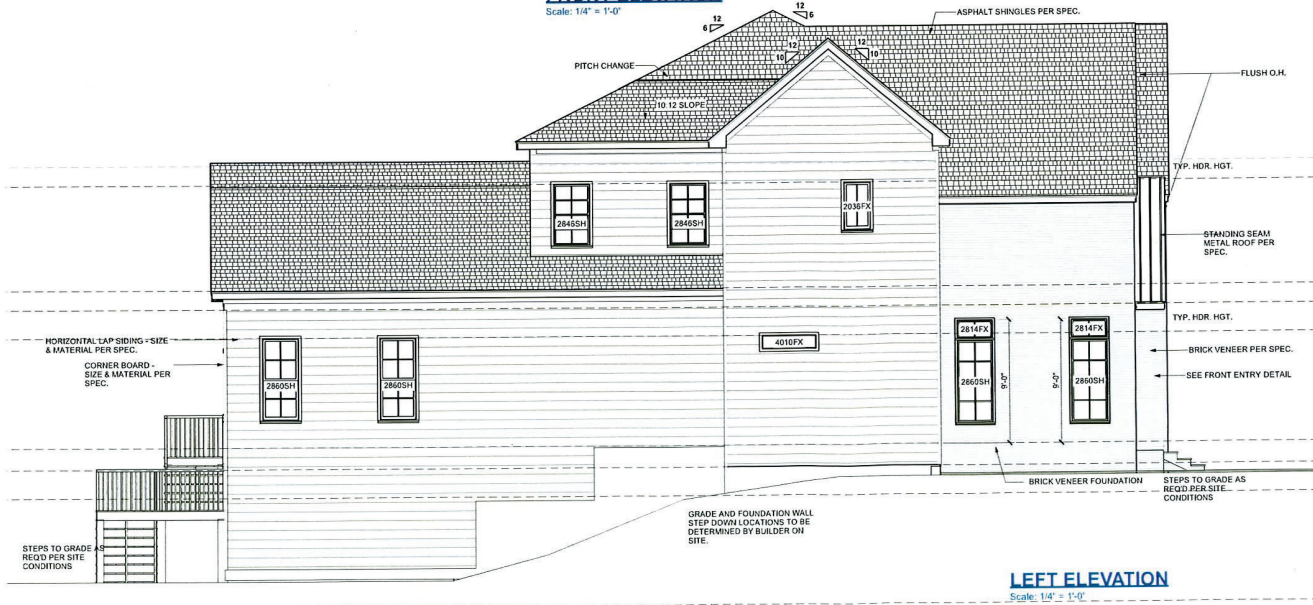


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6.17.2024



FRONT ELEVATION
Scale: 1/4" = 1'-0"



LEFT ELEVATION
Scale: 1/4" = 1'-0"

ELEVATION NOTES

BUILDING CODES
THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES 2018 RESIDENTIAL CODES.









ICE GUARDS:
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS (VERTICAL IN 12) JUST HORIZONTAL 12 TO 12 OR GREATER FOR ROOF SLOPES FROM TWO UNITS (VERTICAL IN 12) TO HORIZONTAL 12 TO 12 OR FOUR UNITS (VERTICAL IN 12) TO HORIZONTAL 12 TO 12 UNDER ALL ROOF APPLICATIONS. BE REQUIRED IN ACCORDANCE WITH SECTION R0905.1.1.

VENTING CALCULATIONS

CRAWL SPACE VENTILATION
THE MIN. NET FREE AREA OF CRAWL SPACE VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ. FT. FOR EACH 100 SQ. FT. OF CRAWL SPACE AREA.
MAX. 9/2 FT. CRAWL SPACE AREA / 1 SQ. FT. NET FREE AREA REQUIRED.
MAY BE REGULATED BY 50% OF VAPOR BARRIER.

ATTIC VENTILATION
AT LEAST 90% OF ATTIC VENTILATION SHALL BE PROVIDED BY UNBLOCKED AND UNFINISHED VENTILATION. VENTILATION SHALL BE PROVIDED BY UNBLOCKED AND UNFINISHED VENTILATION. VENTILATION SHALL BE PROVIDED BY UNBLOCKED AND UNFINISHED VENTILATION.

MATERIAL LEGEND

-  ASPHALT SHINGLES
-  STANDING SEAM METAL ROOF
-  HORIZONTAL LAP SIDING
-  BOARD & BATTEN SIDING @ 15" O.C.
-  SHAKE SIDING
-  BRICK VENEER
-  SYNTHETIC STONE VENEER
-  PARGED BLOCK FOUNDATION

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Camberly Lot 58

Sheet Title:
Exterior Elevations

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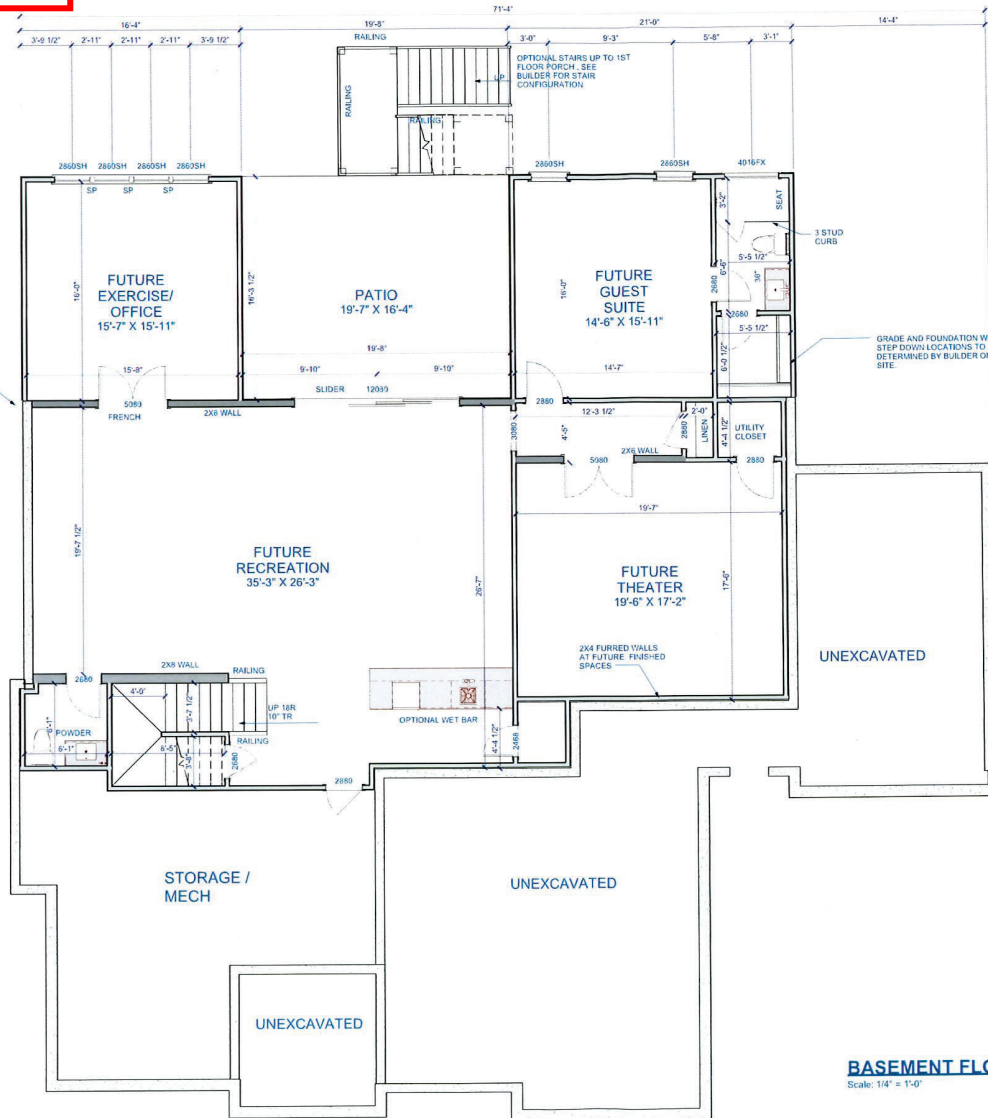
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GRADE AND FOUNDATION WALL
STEP DOWN LOCATIONS TO BE
DETERMINED BY BUILDER ON
SITE.



GENERAL NOTES

WALLS
ALL WALLS ARE DRAWN 3/8" WIDE, 2X4 OR 5/8" WIDE (2X6) 1/4" O.
FINISHED WALL AND DRAWN 1/2" WIDE. ALL
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR
DIMENSIONS ARE TO FACE OF STUD.
SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO REG.
EGRESS
ALL EGRESS DOORS MUST HAVE AT LEAST ONE WINDOW WHICH
CONFORMS TO IBC 703 OF THE "C" EGRESS CODE. IT IS THE
CONTRACTOR'S RESPONSIBILITY TO VERIFY CHosen WINDOWS
MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.
ATTIC ACCESS
100% ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED
ON SITE.
WALL CEILING HEIGHT
WALL AND CEILING HEIGHTS MUST BE BASED ON NOMINAL WALL
SIZE. WHEEL WALL HEIGHT LABELS FOR WALLS UNDER PATTERS
ASSUME AN INTERIOR FLOOR FINISH. HEALTH SPACES, CORE
PERMISSION. THE WALL HEIGHT REFERS TO THE FLOOR FROM THE
FLOOR SECOND TO THE BOTTOM OF THE FINISHING.

WINDOW NOTE LEGEND

DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

BASEMENT FLOOR PLAN

Scale: 1/4" = 1'-0"

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Camberly Lot 58

SHEET TAG
**Basement Floor
Plan**

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- SMOKE DETECTORS**
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.
- EGRESS**
ALL EGRESS DOORS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R310.1 OF THE I.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHANGES MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.
- ATTIC ACCESS**
HOWEVER ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.
- WALL/CEILING HEIGHT**
WALL AND CEILING HEIGHTS ARE BASED ON NOMINAL WALL SIZE. KNIFE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSURE A MINIMUM 7'-0" CLEARANCE TO CEILING. FOR REDUCTION, THE ATTIC HEIGHT REFERS TO THE HGT FROM THE FLOOR DECK TO THE BOTTOM OF THE RAFTERS.

WINDOW NOTE LEGEND

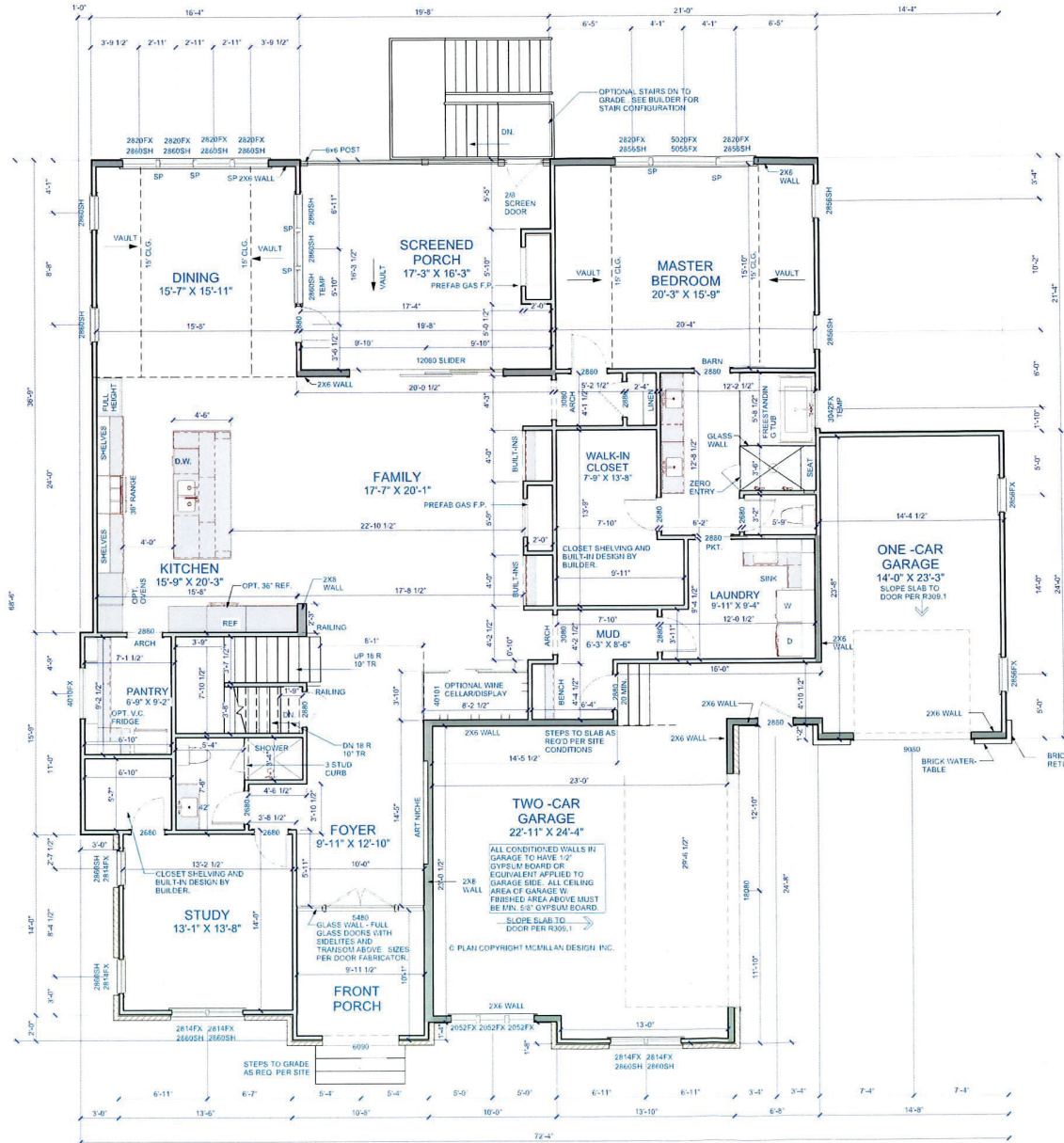
- DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

Square Footage

Heated Square Footage	
First Floor	2601
Second Floor	1869
Total Heated	4470
Unfinished Square Footage	
Front Porch	103
Screened Porch	323
Three Car Garage	989
Future Basement Finished	1975
Basement Mechanical Storage	470
Basement Patio	324
Storage at 2nd floor	312
Total Unfinished	4505



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First Floor Plan

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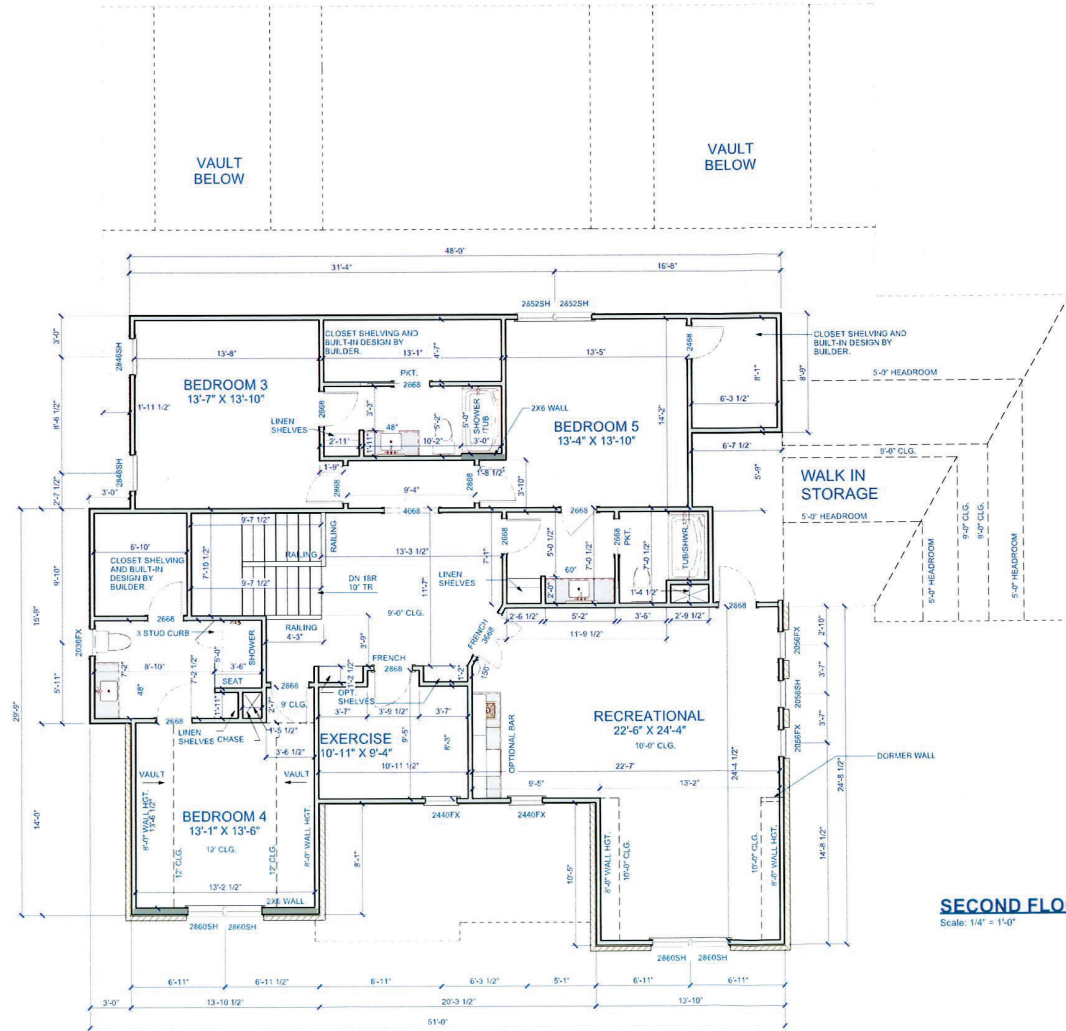
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SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTES

WALLS
ALL WALLS ARE 2X6, 3" WIDE (JAK) OR 5" WIDE (Z65) U.S.G. FINISH TO FACE. EXTERIOR FINISHES TO FACE OF SHEATHING. INTERIOR FINISHES TO FACE OF STUD.

SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS
ALL EGRESS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO RULES OF THE N.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WINDOW SIZES MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.

ATTIC ACCESS
DOOR ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

WALL CEILING HEIGHT
FLOOR AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE AND WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ARE NOT APPLICABLE FOR CEILING HEIGHTS. CEILING HEIGHTS FOR RECREATIONAL THE WALL HEIGHT REFERS TO THE FLOOR FROM THE FLOOR DECK TO THE BOTTOM OF THE RAFTERS.

WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

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Second Floor Plan

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GRADE AND FOUNDATION WALL STEP DOWN LOCATIONS TO BE DETERMINED BY BUILDER ON SITE.

GRADE AND FOUNDATION WALL STEP DOWN LOCATIONS TO BE DETERMINED BY BUILDER ON SITE.

GENERAL NOTES

- WALLS**
ALL WALLS ARE 8" MINIMUM 1/2" WIDE (4" OR 5" WIDE (CONC. UTILITY) ANGLED WALLS ARE 8" MINIMUM 1/2" WIDE (CONC. UTILITY) EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- SMOKE DETECTORS**
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO IBC.
- EGRESS**
ALL EGRESS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO IBC 103 OF THE I.C. 802.2 CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CASEMENT WINDOWS MEET EGRESS REQUIREMENTS AS VARYING JURISDICTIONS VARY.
- ATTIC ACCESS**
MIN. 6" X 6" ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.
- WALL/CEILING HEIGHT**
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE. ANNE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTERIOR FLOOR FINISH BY HEAT/DISPOSAL. FOR REFERENCE THE WALL HEIGHT APPLIES TO THE FLOOR FINISH TO THE BOTTOM OF THE FINISHING.

WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

BASEMENT PLAN
Scale: 1/4" = 1'-0"

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Basement Plan

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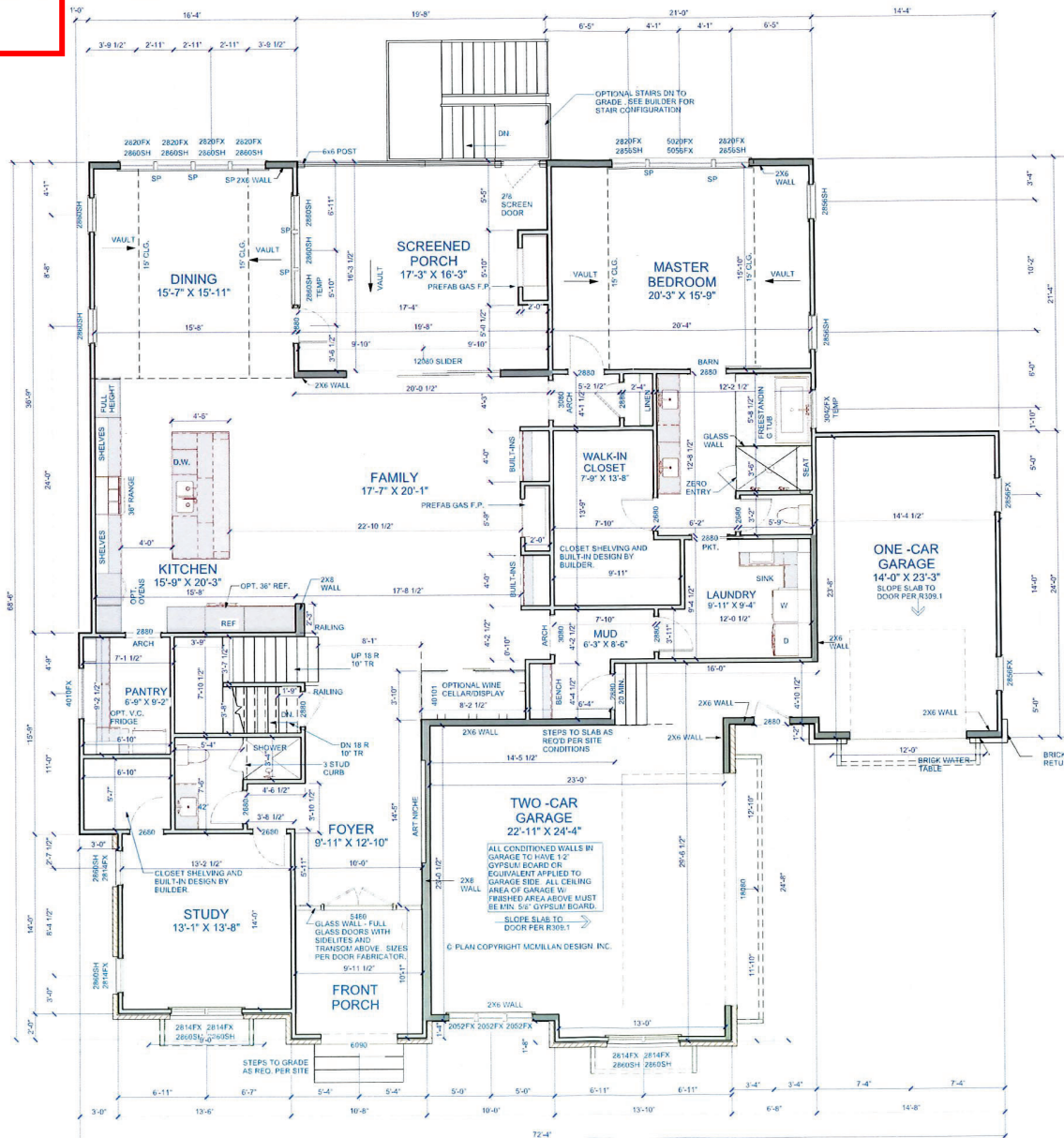
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- SMOKE DETECTORS**
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO REC.
- EGRESS**
ALL EGRESS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO 80% OF THE NET GLAZED AREA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHANGES TO MEET EGRESS REQUIREMENTS AS VARIOUS PARTS VARY.
- ATTIC ACCESS**
THE ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.
- WALL CEILING HEIGHT**
WALL AND CEILING HEIGHTS ARE BASED ON NOMINAL WALL SIZE. WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTERIOR FLOOR FINISH BY READY CONCRETE. FOR REGULATION, THE WALL HEIGHT REFERS TO THE HEIGHT FROM THE FLOOR SECOND TO THE BOTTOM OF THE RAFTERS.

WINDOW NOTE LEGEND

- DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

Square Footage

Heated Square Footage	
First Floor	2801
Second Floor	1859
Total Heated	4470
Unfinished Square Footage	
Front Porch	103
Screened Porch	323
Three Car Garage	988
Future Basement Finished	1975
Basement Mechanical/Storage	479
Basement Patio	324
Storage at 2nd floor	312
Total Unfinished	4505

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

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First Floor Plan

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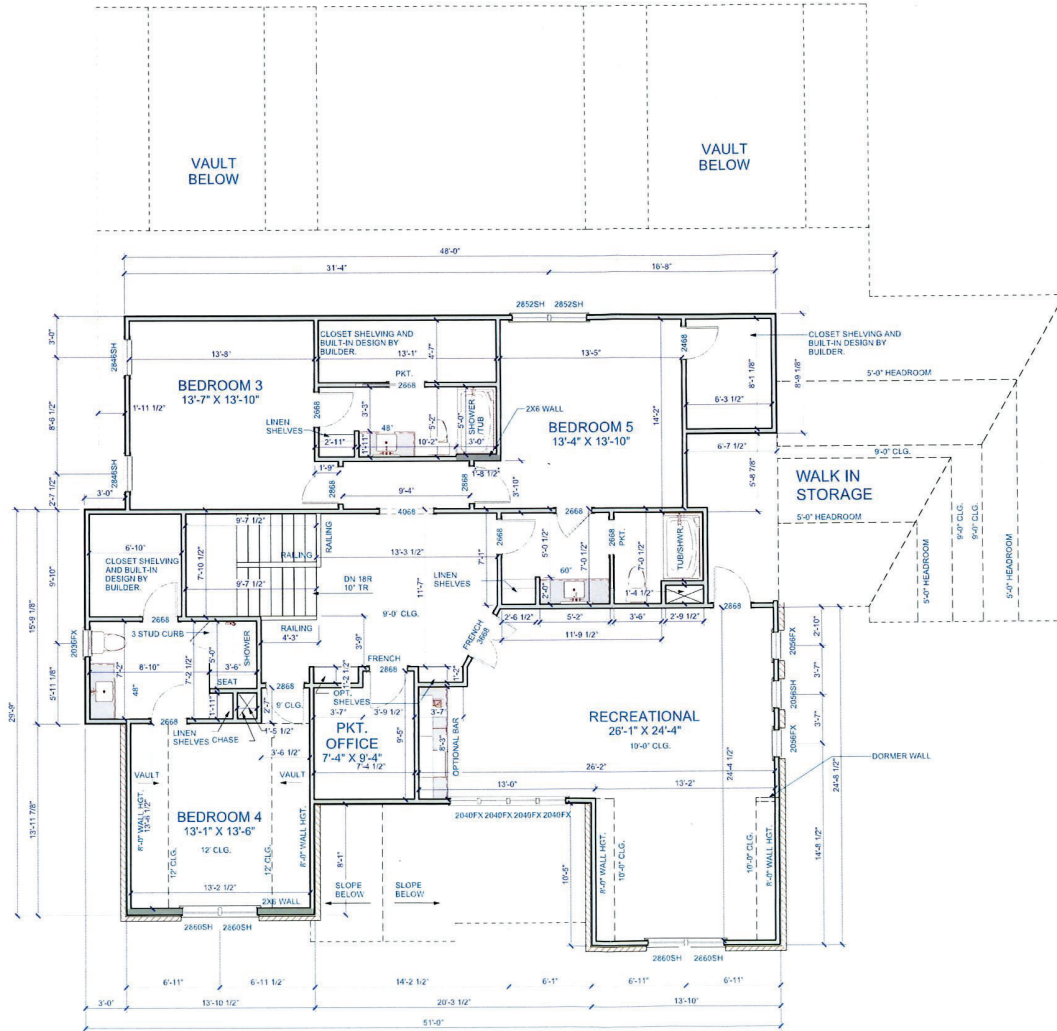
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SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

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SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.
EGRESS
ALL EGRESS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R-11 OF THE I.C. B.C.O.C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WINDOW SIZES MEET EGRESS REQUIREMENTS AS VARIATIONS VARY.
ATTIC ACCESS
ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.
WALL/CEILING HEIGHT
WALL HEIGHTS ARE SHOWN BY THE CLG. BASED ON NOMINAL WALL SIZE. KNIFE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTERIOR FLOOR FINISH AT GRADE. SPECIFIC FINISHING THE WALL HEIGHT REFERS TO THE HGT. FROM THE FLOOR FINISH TO THE BOTTOM OF THE FINISH.

WINDOW NOTE LEGEND

DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

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Sheet 166
Second Floor Plan

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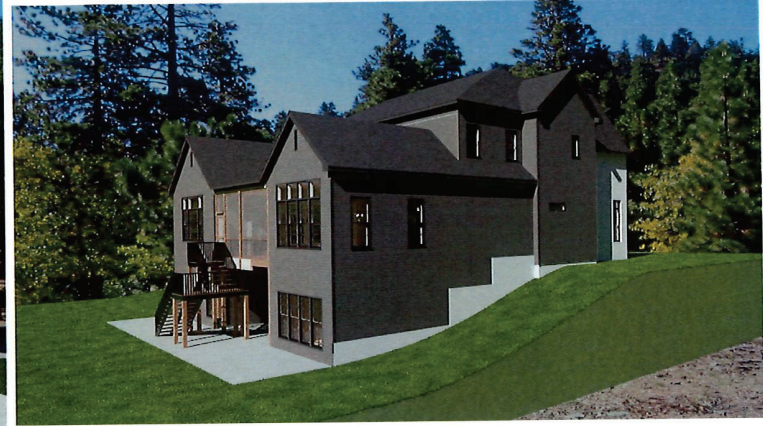
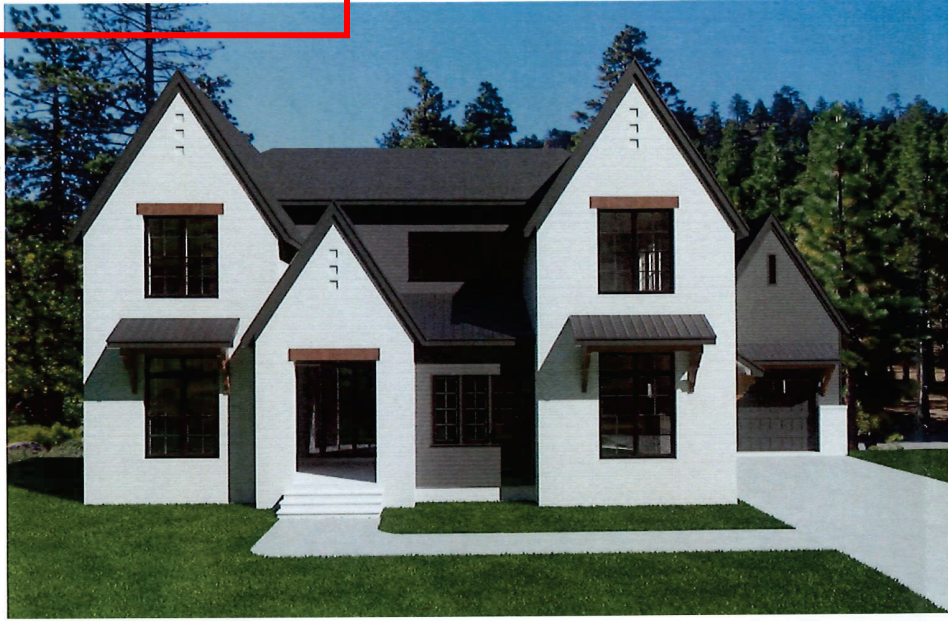
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