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Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

CHANGE IN CONDITIONS APPLICATION
AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Kevin & J Company/M. Hakim Hilliard</u>	NAME: <u>LOWELL PROPERTY MANAGEMENT, LLC</u>
ADDRESS: <u>Hilliard Starkey Law 260 Peachtree Street, NW, Suite 401</u>	ADDRESS: <u>1310 CAPITAL CIRCLE</u>
CITY: <u>Atlanta</u>	CITY: <u>LAWRENCEVILLE</u>
STATE: <u>Georgia</u> ZIP: <u>30303</u>	STATE: <u>GEORGIA</u> ZIP: <u>30043-5866</u>
PHONE: <u>404.389.9085</u>	PHONE: <u>770-986-4160</u>
CONTACT PERSON: <u>M. Hakim Hilliard</u> PHONE: <u>404.389.9085</u>	
CONTACT'S E-MAIL: <u>hhilliard@hstarlaw.com</u>	

<input checked="" type="checkbox"/> OWNER'S AGENT	<input checked="" type="checkbox"/> PROPERTY OWNER	<input type="checkbox"/> CONTRACT PURCHASER
APPLICANT IS THE:		
ZONING DISTRICTS(S): <u>M-1</u>	PRIOR ZONING CASE: <u>R7044 233</u>	
PARCEL NUMBER(S): <u>R7044 233</u>	ACREAGE: <u>1.94 acres</u>	
ADDRESS OF PROPERTY: <u>1330 Capital Circle, Lawrenceville, GA 30043</u>		
PROPOSED CHANGE IN CONDITIONS: <small>(1) Per Zoning Condition No. 2(a), Reduce rear yard buffer from 50ft to 28ft (2) Per Zoning Condition No. 1(a), Increase Maximum Density from 12,200 sq.ft. of gross floor area per acre to 17,171 sq.ft. of gross floor area per acre</small>		

RESIDENTIAL DEVELOPMENT:	NON-RESIDENTIAL DEVELOPMENT:
NO. OF LOTS/DWELLING UNITS: <u>N/A</u>	NO. OF BUILDINGS/LOTS: <u>1</u>
DWELLING UNIT SIZE (Sq. Ft.): <u>N/A</u>	TOTAL GROSS SQUARE FEET: <u>86,248 sq. ft.</u>
GROSS DENSITY: <u>N/A</u>	DENSITY: <u>1.98 acres</u>
NET DENSITY: <u>N/A</u>	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

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LEGAL DESCRIPTION
1330 Capital Circle, Lawrenceville, Georgia 30043

All that tract or parcel of land lying and being in Land Lot 44, 7th District, Gwinnett County, Georgia, and being more particularly described as follows:

Beginning at a ½ inch rebar found on the Southwesterly right-of-way of Capital Circle, said point also being 563.32 feet in a Southeasterly direction from the intersection of said right-of-way and the Southeasterly right-of-way of Purcell Road; thence continuing along said right-of-way of Capital Circle, following a curve to the right, said curve having an arc distance of 50.28 feet and a radius of 1113.00 feet and being subtended by a chord bearing South 41°19'06" East a distance of 50.28 feet to a calculated point; thence continuing along said right-of-way South 40°01'27" East a distance of 262.36 feet to a ½ inch rebar found; thence leaving said right-of-way South 49°58'33" East a distance of 248.79 feet to a ½ inch rebar found on the Northeasterly side of a private drive; thence along said private drive North 49°46'00" West a distance of 304.84 feet to a ½ inch rebar found; thence leaving said drive North 47°38'42" East a distance of 299.49 feet to THE TRUE POINT OR PLACE OF BEGINNING.

Said tract or parcel of land containing 1.935 acres.

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CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

SEE, ATTACHED

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

SEE, ATTACHED

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

SEE, ATTACHED

- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

SEE, ATTACHED

- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

SEE, ATTACHED

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

SEE, ATTACHED

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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RESPONSE TO STANDARDS GOVERNING EXERCISE OF ZONING POWER

and

Other Material Required by the
Unified Development Ordinance of Gwinnett County

Application for Change In Condition for KEVIN & J COMPANY/M. HAKIM HILLIARD

for

**± 1.98 acres of land located at
1330 Capital Circle
Lawrenceville, Georgia**

Submitted for Applicant by:

M. Hakim Hilliard, Esquire
Hilliard Starkey Law
260 Peachtree Street, NW, Suite 401
Atlanta, Georgia 30303
404.389.9085 (office)
hhilliard@hstarlaw.com

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SUMMARY OF PROPOSED PROJECT

This is the application of Kevin & J Company/M. Hakim Hilliard (hereinafter referred to as the "Applicant"), the Applicant for the above-referenced application for change of conditions for approximately 1.98 acres of land located at 1330 Capital Circle, Lawrenceville, Georgia 30043 in Gwinnett County (the "Subject Property"). The Applicant currently operates a clothing distribution company next door to the Subject Property at 1310 Capital Circle for and, by this request, it seeks to expand its operation by placing an additional 33,312 sq. ft building on the Subject Property. To accommodate the construction of this building, the Applicant seeks to change two separate conditions associated with the Subject Property that were imposed when it was originally in 1988 (as a part of a larger tract of land) to accommodate the development of an office/distribution/business park. See, Gwinnett County Zoning Case Number RZ-59-88, attached hereto for your convenience. In particular, per Zoning Condition No. 2(a) imposed in 1988, the development of the site requires that a rear yard buffer of 50 feet be maintained. The Applicant seeks to reduce this buffer to 28 feet provided to accommodate the construction of a service drive to the proposed new building. In addition, per Zoning Condition No. 1(a), the Applicant seeks to increase the maximum density from allowed of 12,200 sq.ft. of gross floor area per acre to the 17,171 sq.ft. of gross floor area per acre required to accommodate its proposed new building.

The Applicant's development proposal is focused on expanding its existing business operation onto the Subject Property, but in a way that stays within the development plans of the business park where it is located. Consistent with its existing operation, its business will function entirely indoors,

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without any noticeable disturbance to any of its business neighbors in the industrial park, or any neighbors located on property contiguous to the Subject Property. .

The Subject Property is located wholly within Commission District 1. In this regard, the Applicant looks forward to working with the District 1 Commissioner, the planning staff as well as the adjacent nearby residents and other community stakeholders to ensure that the development proposed herein is designed in a way that is beneficial to the community. In anticipation of these further discussions, the Applicant presents the following conditions as baseline standards for its project:

(1) The Subject Property shall be developed substantially in accordance with the site plan filed contemporaneously herewith.

(2) All lighting associated with the project shall be set so as to minimize the glare on adjoining properties.

(3) The Subject Property shall be developed in accordance with the requirements outlined in the Gwinnett County Tree Ordinance.

(4) The Subject Property shall be developed with appropriate buffers with the intention of mitigating the impact of the development of the Subject Property on adjacent and nearby properties.

The Applicant looks forward to continuing to work with all interested neighbors to discuss any and all additional conditions that respond to issues presented by the community.

(A)

WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes. The Applicant is unaware of any other land in the immediate area that is both available and suitable for the proposed use. The primary goal of land use planning is to eliminate or minimize the potential adverse effect of the dissimilar uses of adjacent tracts of land by establishing a harmonious transition between them. The traditional method of achieving this goal is through both “offsite” and “onsite” transition. Offsite transition consists of avoiding the placement of dissimilar

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uses next to each other by placing uses of intermediate density between them. Onsite transition, which might either supplement or replace offsite transition, consists of measures imposed on or adjacent to the more intensive use to protect neighborhoods from adverse effects.

In the present matter, the Subject Property is located in a well-established, low-traffic, business park, off of Purcell Road in Gwinnett County. Other than the parcel immediately adjacent to the Subject Property which is owned by the Applicant, the other neighbors in the business park with similar low industrial uses. While the Applicant seeks permission to construct a building approximately 6,000 square feet larger than what is currently allowed, it is designed to look and function in a similar massing as scaling as the buildings currently occupied by its business partners.

Based upon the facts and circumstances regarding development existing in the area, and the development plan put forth by the Applicant in the foregoing request is suitable.

(B)

WHETHER THE PROPOSED CHANGE OF CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No. On the contrary, the Applicant's proposed building addition is designed to function similar to its existing building next door. The activity associated with the business occurs indoors and there will not be any noticeable increase in traffic or activity associated with the new building. Fortunately, this business park was designed to be largely self-contained and not produce a noticeable impact on adjacent and nearby properties.

(C)

WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE OF CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The Subject Property cannot be economically developed by the owner as currently zoned. Therefore, the Applicant, on behalf the owners of the tract of land at issue in this change of conditions application (the "Property"), respectfully submits that the Uniform Development Ordinance of

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Gwinnett County, as amended from time to time and known as the “Uniform Development Ordinance”, to the extent that it classifies the Property in any zoning district which would preclude a change of conditions as proposed herein, is unconstitutional as a taking of property, a denial of equal protection, an arbitrary and capricious act, and an unlawful delegation of authority under the specific constitutional provisions later set forth herein. Any existing inconsistent zoning of the Property pursuant to the Uniform Development Ordinance deprives the current owner of any alternative reasonable use and development of the Property. Additionally, all other zoning classifications, including ones intervening between the existing classification and those requested herein, would deprive the current owner of any reasonable use and development of the Property. Further, any attempt by the County to impose greater restrictions upon the manner in which the property will be developed than presently exist would be equally unlawful.

Accordingly, Applicant submits that the current conditions of zoning the Applicant is seeking to amend herein, and any other zoning of the Property save for what has been requested by it as established in the Uniform Development Ordinance constitutes an arbitrary and unreasonable use of the zoning and police powers because it bears no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Property owners. All inconsistent zoning classifications between the existing zoning and the zoning requested hereunder would constitute an arbitrary and unreasonable use of the zoning and police powers because they bear or would bear no substantial relationship to the public health, safety, morality or general welfare of the public and would substantially harm the Property owner. Further, the existing inconsistent zoning classifications constitute, and all zoning and plan classifications intervening between the existing

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inconsistent zoning classification and that required to develop this project would constitute a taking of the owner's private property without just compensation and without due process in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia and the Due Process Clause of the Fourteenth Amendment of the United States Constitution and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States.

Further, the Applicant respectfully submits that the failure to approve the requested change of conditions would be unconstitutional and would discriminate in an arbitrary, capricious and unreasonable manner between the Property owner and owners of similarly situated property in violation of Article I, Section III, Paragraph I of the Constitution of the State of Georgia and the Equal Protection Clause of the Fourteenth Amendment of the Constitution of the United States.

Finally, the Applicant respectfully submits that Gwinnett County cannot lawfully impose more restrictive standards upon the development of the property than presently exist as to do so not only would constitute a taking of the property as set forth above, but also would amount to an unlawful delegation of their authority, in response to neighborhood opposition, in violation of Article IX, Section IV, Paragraph II of the Georgia Constitution.

This Application meets favorably the prescribed test set out by the Georgia Supreme Court to be used in establishing the constitutional balance between private property rights and zoning and planning as an expression of the government's police power, Guhl vs. Holcomb Bridge Road, 238 Ga. 322 (1977)

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(D)

WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES OR SCHOOLS:

Adequate stormwater management practices and construction methods will be employed as the project is developed. In addition, the impact upon utilities and schools are being studied as a part of the rezoning process, but the Applicant is confident that its development will not have an excessive or burdensome impact upon existing streets, transportation facilities, utilities or schools. The Applicant otherwise looks forward to any specific comments offered related to the proposed development plan filed herewith that may impact any of the facilities and/or services required to support the project.

(E)

WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The County's 2040 Unified Plan consists of a text and series of maps. The Plan is accompanied by a procedure to link changes in zoning with corresponding changes in the Plan in order to avoid repeating the situation in which a static land use plan and an evolving zoning map become increasingly out of step with each other. Thus, with an updated Plan in effect and a mandatory planning and zoning consistency mechanism in place, it is extremely important that any rezoning request, such as this one, be based on sound land use planning and comprehensive planning principles.

The Subject Property is wholly consistent with the Applicant's development plan, as well as the zoning district designation requested to accommodate the Applicant's proposed development.

(F)

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WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS
AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY
WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL
OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

Again, the primary goal of land use planning is to eliminate or minimize the potential adverse effect of the dissimilar uses of adjacent tracts of land by establishing a harmonious transition between them. In the present matter, while the Applicant proposes to develop a vacant piece of property, the thoughtful manner in which the development is planned accomplishes several important objectives in the County's 2040 Unified Plan without negatively impacting the existing and nearby uses. The scale, style and proposed functioning of the Applicant's proposed building will be an appropriate use project for the Subject Property.

The Applicant submits that its proposed development is wholly compatible with each of these adjacent and nearby uses, both existing and contemplated. As such, it is clear that this project will be supported by any new or changing conditions not anticipated by the 2040 Unified Plan.

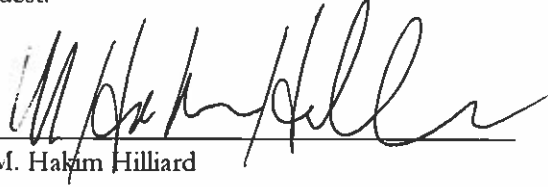
CONCLUSION

Please know, for the past 19 years, Kevin & J Company has been offering high-quality, on-trend clothing, and accessories at affordable prices under its New square and Skillz brands to our local community. Unique among retailers, Kevin & J regularly awards scholarship money to its customers (See, examples attached), to demonstrate its on-going commitment to its customers and the communities it serves. During this time, it has been a proud member of the Gwinnett County community. For this reason, when it required more space to meet its needs, the Subject Property was the best solution. In appreciation to our customers, our company has decided to give back to our customers some of what we received.

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For the foregoing reasons, the Applicant respectfully requests that the Change of Conditions. The Applicant also invites and welcomes any comments from adjacent and nearby communities, the planning staff of Gwinnett County and/or other officials so that any reasonable and appropriate conditions of approval can be added to this request.



M. Hakim Hilliard

For the Applicant

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PLANNING BOOK

0666

CASE NUMBER RZ-59-88

BOARD OF COMMISSIONERS
GWINNETT COUNTY
LAWRENCEVILLE, GEORGIA
RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners held in the Berkmar High School Cafeteria, 405 Pleasant Hill Road, Lilburn, Georgia.

Present

VOTE

Lillian Webb, Chairman
Ken Suffridge, District 1
Scott Ferguson, District 2
Mike Berg, District 3
Don Loggins, District 4

AYE
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AYE

On motion of COMM. SUFFRIDGE, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from R-100 to M-1

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PLANNING BOOK

0667

CASE NUMBER RZ-59-88

by OVESTICO CORPORATION for the proposed use of OFFICE/DISTRIBUTION/BUSINESS PARK (REDUCTION IN BUFFERS) on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Amendment to the Official Zoning Map has been duly published in THE GWINNETT DAILY NEWS, the Official News Organ of Gwinnett County; and

WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on APRIL 26, 1988 and objections were filed;

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 26TH day of APRIL, 1988 that the aforesaid application to amend the Official Zoning Map from R-100 to M-1 is hereby APPROVED subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Office, warehouse, distribution and accessory uses at a maximum density of 12,200 square feet of gross floor area per acre zoned.
 - B. All lots shall contain a minimum of one acre.
2. To satisfy the following site development considerations:
 - A. Provide a 50-foot natural buffer, undisturbed except for approved access and utility crossings and replantings where sparsely vegetated, adjacent to all property lines where abutting residentially zoned property, so long as it remains residentially zoned. Such buffer shall be enhanced with evergreen trees and shrubs where sparsely vegetated. A wooden fence may be placed on either side of the buffer along the property line.

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PLANNING BOOK

0068

CASE NUMBER RZ-59-88

- B. Where the project abuts the Jackson Township subdivisions, there shall be an additional 25-foot wide buffer on the subject parcel side of the undisturbed buffer, which shall be permitted to be regraded and landscaped with evergreen trees and shrubs. The minimum height at planting shall be six feet for trees and three feet for shrubs.
- C. Provide a 25-foot wide landscape strip outside the new dedicated right-of-way of Purcell Road. Landscape strip shall contain a double staggered row of Virginia Pine trees, placed at a seven foot on center spacing, and to be at least five feet in height at time of planting. In addition, this landscape strip will be constructed so as to have a four-foot high landscaped earthen berm with a maximum slope of 3 to 1, subject to the approval of the Director of Planning and Development, along the entire length of the road frontage of the site (except for approved access crossings). Said improvements to be located outside of any public right-of-way.
- D. No more than one exit/entrance on Purcell Road.
- E. No billboards are permitted.
- F. Sign regulations as required by the 1985 Zoning Resolution shall be met as minimum standards for this development.
- G. Dumpsters shall be screened by a fence or wall. Such wall or fence shall be constructed of materials compatible with the building exteriors.
- H. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent residential properties.
- I. Buildings shall be finished with architectural treatments of brick, stone, stucco or other masonry finish.
- J. Submit a landscape and tree protection plan for approval of the Development Division.
- K. Adjacent to the buffer against the Jackson Township subdivision, no building shall exceed one-story (22 feet maximum inside clearance). No loading or dock doors shall face this buffer area.
- L. All final site plans be submitted to the Planning Commission for its review and approval prior to the issuance of permits.

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PLANNING BOOK

8

0669

CASE NUMBER R2-59-00

3. To abide by the following requirements, dedications and improvements:
- A. Dedicate at no cost to Gwinnett County, 40 feet of right-of-way from the centerline of Purcell Road.
 - B. Improve the following roadways along the entire property frontage from centerline to back of curb as follows:

26 feet from centerline of Purcell Road.
 - C. The location of the proposed street will be subject to the approval of the Department of Planning and Development.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Lillian Webb
Lillian Webb, Chairman

ATTEST:

Charlotte J. Nash
Clerk

RECORDED: 5-16-88

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PLANNING BOOK

0670

OVESTCO CORPORATION
20 ACRE TRACT ON PURCELL ROAD

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 44 of the 7th District, Gwinnett County, Georgia, containing 20 acres, as shown on plat entitled "Survey for OVESTCO CORPORATION", prepared by Boyd, Hyer & Associates, dated May 9, 1985, and being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the intersection formed by the easterly side of Purcell Road (an 80-ft. right-of-way) with the northeast line of Land Lot 44; thence running southerly and southwesterly along the easterly and southeasterly side of Purcell Road, and following the curvature thereof, the following courses and distances:

S2 degrees 42 minutes 53 seconds W 109.37 feet to a point;
S9 degrees 57 minutes 15 seconds W 104.53 feet to a point;
S16 degrees 34 minutes 14 seconds W 116.86 feet to a point;

S22 degrees 5 minutes 20 seconds W 9.87 feet to a point on the southeasterly side of Purcell Road and THE TRUE POINT OF BEGINNING; FROM SAID TRUE POINT OF BEGINNING run S51 degrees 13 minutes 55 seconds E, a distance of 624.43 feet to an iron pin set on the northeast line of Land Lot 44 (which Land Lot line is also the southwest line of Land Lot 45; thence run S 30 degrees 29 minutes 35 seconds E along the northeast line of Land Lot 45, a distance of 1037.16 feet to a 3/4 inch iron rod; thence run S 59 degrees 38 minutes 00 seconds W, a distance of 275.25 feet to a 1/2 inch alum. rod; thence N 49 degrees 59 minutes 22 seconds W, a distance of 300.11 feet to a 1/2 inch alum. rod; thence run S 60 degrees 54 minutes 01 seconds W, a distance of 153.95 feet to a point, thence run N 49 degrees 46 minutes 00 seconds W, a distance of 927.61 feet to a point on the southeasterly side of Purcell Road; thence run northeasterly, along the southeasterly side of Purcell Road, and following the curvature thereof, the following courses and distances:

N 21 degrees 46 minutes 20 seconds E, a distance of 372.93 feet to a point; N 23 degrees 58 minutes 05 seconds E, a distance of 348.18 feet to a point; N 22 degrees 05 minutes 20 seconds E, a distance of 45.49 feet to THE TRUE POINT OF BEGINNING.



HILLIARD STARKEY LAW

260 PEACHTREE STREET, N.W., SUITE 401 ATLANTA,
GEORGIA 30303
404.389.9085

M. HAKIM HILLIARD
hhilliard@hstarlaw.com

October 20, 2021

VIA ELECTRONIC MAIL

Gwinnett County Department of Planning and Development
One Justice Square
446 West Crogan Street
Lawrenceville, GA 30046

RE: Letter of Intent for Application for Change In Conditions
1330 Capital Circle, Lawrenceville, GA 30043
Tax Parcel ID Number: R7044 233

To Whom It May Concern:

This firm represents Kevin & J Company, the Co-Applicant with M. Hakim Hilliard (collectively referred to as the "Applicant"), the Applicant for the above-referenced application for change of conditions for approximately 1.98 acres of land located at 1330 Capital Circle, Lawrenceville, Georgia 30043 in Gwinnett County (the "Subject Property"). Kevin & J Company operates a clothing distribution company next door to the Subject Property at 1310 Capital Circle and, by this request, it seeks to expand its operation by placing an additional 33,312 sq. ft building on the Subject Property. To accommodate the construction of this building, the Applicant seeks to change two separate conditions associated with the Subject Property that were imposed when it was originally in 1988 (as a part of a larger tract of land) to accommodate the development of an office/distribution/business park. See, Gwinnett County Zoning Case Number RZ-59-88, attached hereto for your convenience. In particular, per Zoning Condition No. 2(a) imposed in 1988, the development of the site requires that a rear yard buffer of 50 feet be maintained. The Applicant seeks to reduce this buffer to 28 feet provided to accommodate the construction of a service drive to the proposed new building. In addition, per Zoning Condition No. 1(a), the Applicant seeks to increase the maximum density from allowed of 12,200 sq.ft. of gross floor area per acre to the 17,171 sq.ft. of gross floor area per acre required to accommodate its proposed new building.

In addition to the above, the Applicant is also requesting an administrative variance to reduce the required west side yard from 25 feet required to the 20.30 feet currently shown on its proposed site plan (highlighted in pink on the site plan) and a buffer reduction waiver

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The Applicant does not intend to construct a fence between the Subject Property and the property where it's existing business is located (contiguous to the Subject Property) at 1310 Capital Circle. The Applicant otherwise looks forward to working with planning staff to determine the appropriate fencing and landscaping which may be necessary for the rear yard and western side yard.

The Applicant looks forward to working on this request with the planning staff, the community stakeholders and other interested persons to discuss the project in more detail. We otherwise thank you for your thoughtful attention to the information provided herein.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Hilliard", with a long, sweeping flourish extending to the right.

M. Hakim Hilliard

Cc: File

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12/10/21 11:00AM

Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



Signature of Property Owner

10-21-2021

Date

Kevin Jung

Type or Print Name and Title

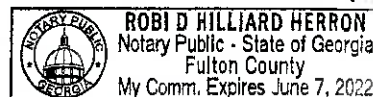


Signature of Notary Public

10/21/21

Date

Notary Seal



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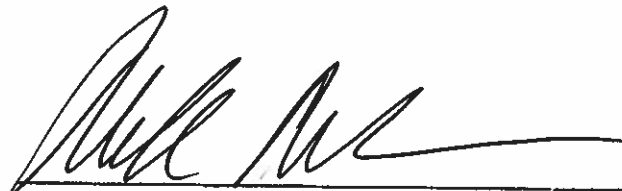
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Last Updated 5/2021

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.


Signature of Applicant _____ Date 10/20/21

M. HAKIM HILLIARD AGENT/ATTORNEY
Type or Print Name and Title _____


Signature of Notary Public _____ Date 10-21-2021 Notary Seal





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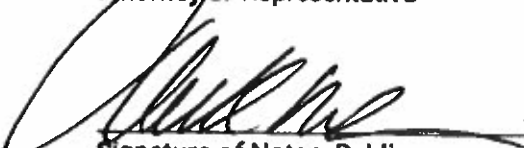
Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021


CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

The undersigned below, making application for a change in conditions, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

 10/20/21 
Signature of Applicant Date Type of Print Name and Title

 10/24/21 M. HAKIM HILLIARD (Applicant/Agent)
Signature of Applicant's Attorney or Representative Date Type of Print Name and Title

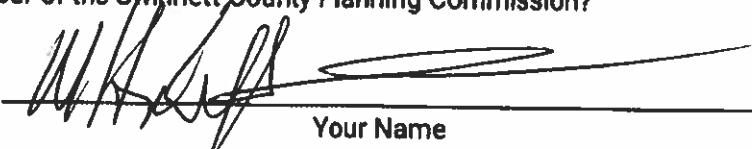
 10-21-2021
Signature of Notary Public Date



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES NO


Your Name

If the answer is yes, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.



Gwinnett County Planning Division
Change in Conditions Application
Last Updated 5/2021

**VERIFICATION OF CURRENT PAID PROPERTY TAXES
FOR CHANGE IN CONDITIONS**

THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

*** NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: 1 - 7 - R7044 233
(Map Reference Number) District Land Lot Parcel

[Signature] Date Oct. 12, 2021
Signature of Applicant

Kevin J. Company / M. Hakan Hillard (Applicant)
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

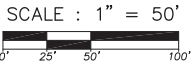
Anita Flowers
NAME
10-13-21
DATE

TSA II
TITLE

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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11/9/2021 12:53PM

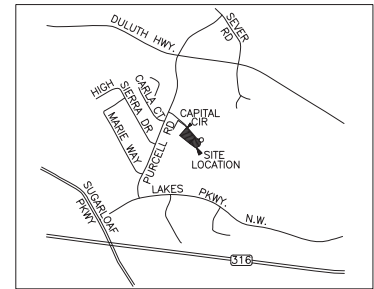


ZONING
AS PER GWINNETT COUNTY, GEORGIA
ZONED M-1 (LIGHT INDUSTRY DISTRICT)

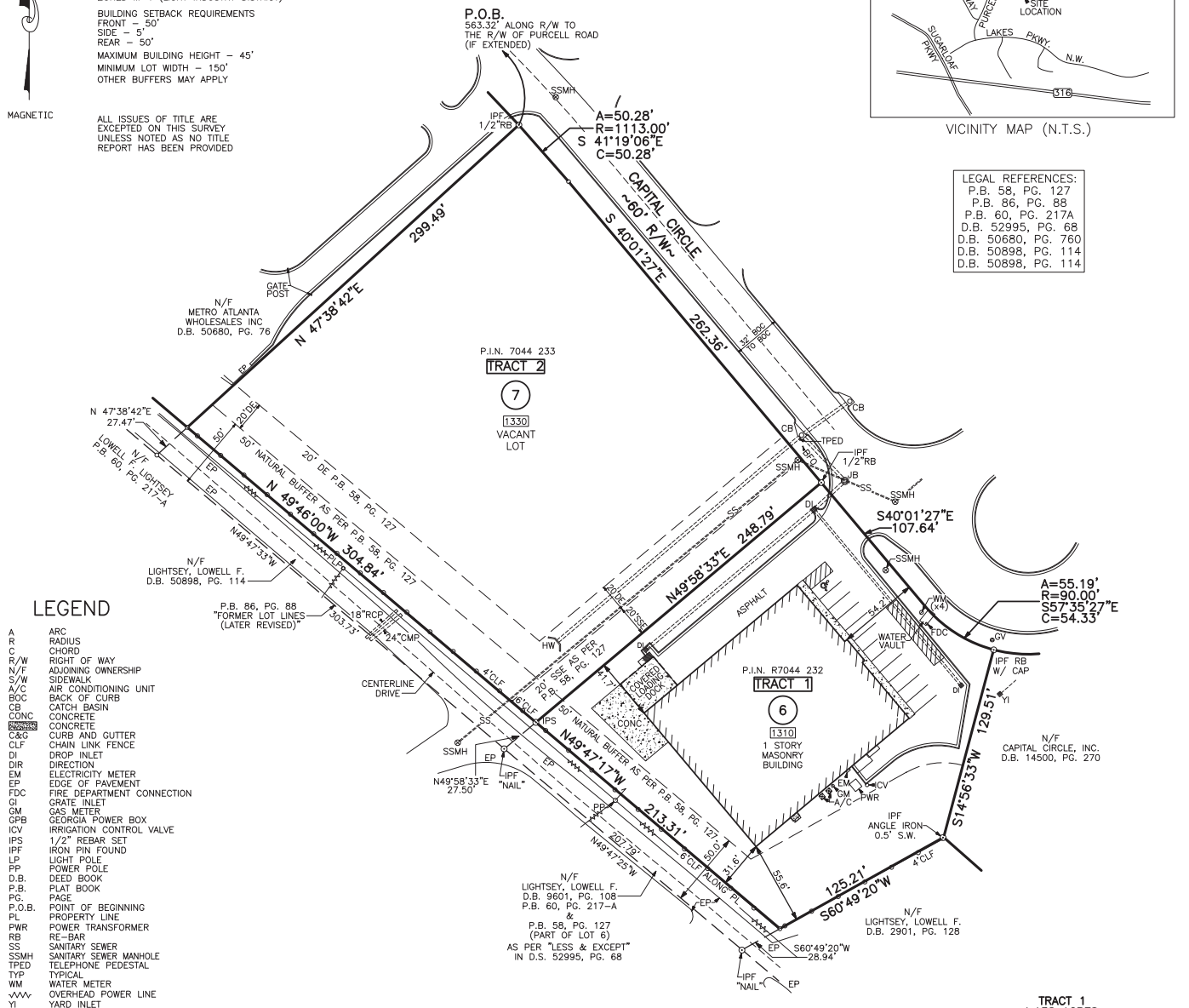
BUILDING SETBACK REQUIREMENTS
FRONT - 50'
SIDE - 5'
REAR - 50'
MAXIMUM BUILDING HEIGHT - 45'
MINIMUM LOT WIDTH - 150'
OTHER BUFFERS MAY APPLY

MAGNETIC

ALL ISSUES OF TITLE ARE
EXCEPTED ON THIS SURVEY
UNLESS NOTED AS NO TITLE
REPORT HAS BEEN PROVIDED



LEGAL REFERENCES:
P.B. 58, PG. 127
P.B. 86, PG. 88
P.B. 60, PG. 217A
D.B. 52995, PG. 68
D.B. 50680, PG. 760
D.B. 50898, PG. 114
D.B. 50898, PG. 114



LEGEND

- A ARC
- R RADIUS
- C CHORD
- R/W RIGHT OF WAY
- N/F ADJOINING OWNERSHIP
- S/W SIDEWALK
- A/C AIR CONDITIONING UNIT
- BOC BACK OF CURB
- CB CATCH BASIN
- CONC CONCRETE
- C&G CURB AND GUTTER
- CLF CHAIN LINK FENCE
- DI DROP INLET
- DIR DIRECTION
- EM ELECTRICITY METER
- EP EDGE OF PAVEMENT
- FDC FIRE DEPARTMENT CONNECTION
- GI GRATE INLET
- GM GAS METER
- GPB GEORGIA POWER BOX
- ICV IRRIGATION CONTROL VALVE
- IPS 1/2" REBAR SET
- IPF IRON PIN FOUND
- LP LIGHT POLE
- PP POWER POLE
- D.B. DEED BOOK
- P.B. PLAT BOOK
- PG. PAGE
- P.O.B. POINT OF BEGINNING
- PL PROPERTY LINE
- PWR POWER TRANSFORMER
- RB RE-BAR
- SS SANITARY SEWER
- SSMH SANITARY SEWER MANHOLE
- TPED TELEPHONE PEDESTAL
- TYP TYPICAL
- WM WATER METER
- OVERHEAD POWER LINE
- YI YARD INLET

FLOOD STATEMENT:
THIS PROPERTY DOES NOT LIE WITHIN
A FEDERAL FLOOD HAZARD AREA AS
PER PANEL NO. 13135C 0072F
DATED: SEPTEMBER 29, 2006

THIS SURVEY WAS PREPARED FOR THE
EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED
HEREON. NO EXPRESS OR IMPLIED WARRANTIES
WITH RESPECT TO THE INFORMATION SHOWN
HEREON IS TO BE EXTENDED TO ANY PERSONS
OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

THE SURVEY WAS PREPARED IN CONFORMITY WITH THE
TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA
AS SET FORTH BY IN CHAPTER 180-7 OF THE RULES OF THE
THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL
ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN
THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

NOTES:
FIELD INFORMATION FOR THIS SURVEY WAS
OBTAINED WITH A 5 SECOND THEODOLITE
AND AN ELECTRONIC DISTANCE METER.
THE FIELD DATA UPON WHICH THIS MAP
OR PLAT IS BASED HAS A CLOSURE
PRECISION OF ONE FOOT IN 216,815 FEET
AND AN ANGULAR ERROR OF 01 SECOND
PER ANGLE POINT AND WAS ADJUSTED BY
LEAST SQUARES.
THIS MAP OR PLAT HAS BEEN CALCULATED
FOR CLOSURES AND IS FOUND TO BE
ACCURATE WITHIN ONE FOOT IN 332,945 FEET.

SURVEYOR'S CERTIFICATION

TO "LOWELL PROPERTY MANAGEMENT, LLC, MORGAN CHASE BANK, N.A., FIRST AMERICAN TITLE INSURANCE COMPANY, CHS PROPERTY MANAGEMENT, LLC AND VARGO GROUP, LLC"
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(C), 7B(1), 8, 9, 11, 13, 14 & 16 OF TABLE "A" THEREOF.
THE FIELD WORK WAS COMPLETED ON AUGUST 23, 2016.
DATE OF THE PLAT OR MAP: _____

TRACT 1
1.138 ACRES
49,608 SQ. FEET

TRACT 2
1.935 ACRES
84,313 SQ. FEET

TOTAL AREA
3.074 ACRES
133,921 SQ. FEET

REVISIONS	PROJECT DESCRIPTION: ALTA-SURVEY FOR:
	LOWELL PROPERTY MANAGEMENT, LLC, MORGAN CHASE BANK, N.A., FIRST AMERICAN TITLE INSURANCE COMPANY, CHS PROPERTY MANAGEMENT, LLC AND VARGO GROUP, LLC
	1310 & 1330 CAPITAL CIRCLE
	COUNTY: GWINNETT DISTRICT: 7TH LAND LOT: 44 SECTION:

ADAM & LEE LAND SURVEYING

5640 GA. HWY. 20 S.
LOGANVILLE, GA. 30052 (770)554-8995

www.adamandlee.com FAX=(770)554-8134



OFFICE: 8/29/16
BY: DWJ
FIELD: 8/22/16
SCALE: 1"=50'
SHEET # 1 OF 1
16187

WINNETT COUNTY
PLANNING AND DEVELOPMENT

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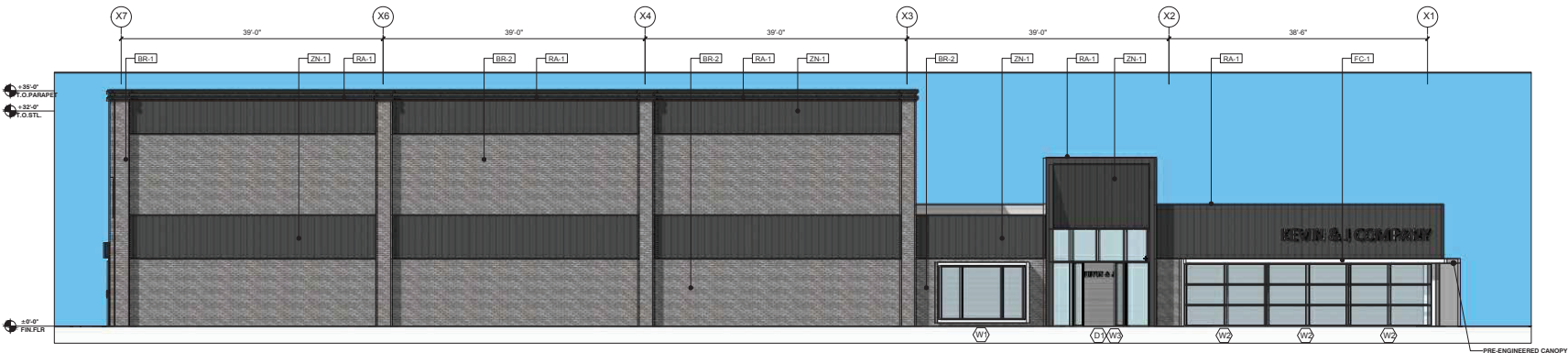
EXTERIOR MATERIAL SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	COLOR / MODEL	REMARKS
BR-1	BRICK (OTHER THAN BR-2)	GENERAL SHALE	SNOWFIELD STANDARD SEE RUNNING BOND	
BR-2	BRICK (OTHER THAN BR-1)	GENERAL SHALE	MONTGOMERY STANDARD SEE RUNNING BOND	
FC-1	FIBER CEMENT PANEL	JAMES HARDY	SLATE/ROCKWELL/SEE PANEL WITH RECEIVED	
ZN-1	ZINC METAL WALL PANEL	ISI METAL SALES	MATTE BLACK/PVD/FINISH	
RA-1	ROOF ACCESSORY-METAL CORNING	PAC-CLAD	BLACK	
RA-2	ROOF ACCESSORY-DOWNSPOUT		DARK BRONZE	
RA-3	ROOF ACCESSORY-SCUPPER		DARK BRONZE	
SV-1	STONE VENEER	BUECHEL STONE CORP	BARNWOOD BLUE ASHLAR	
C-1	CUSTOM FRP CORNICE	WASHINGTON MILLWORK	WHITE	
FW-1	FAKE WINDOW			

BRICK TYPE AND NOMINAL SIZE

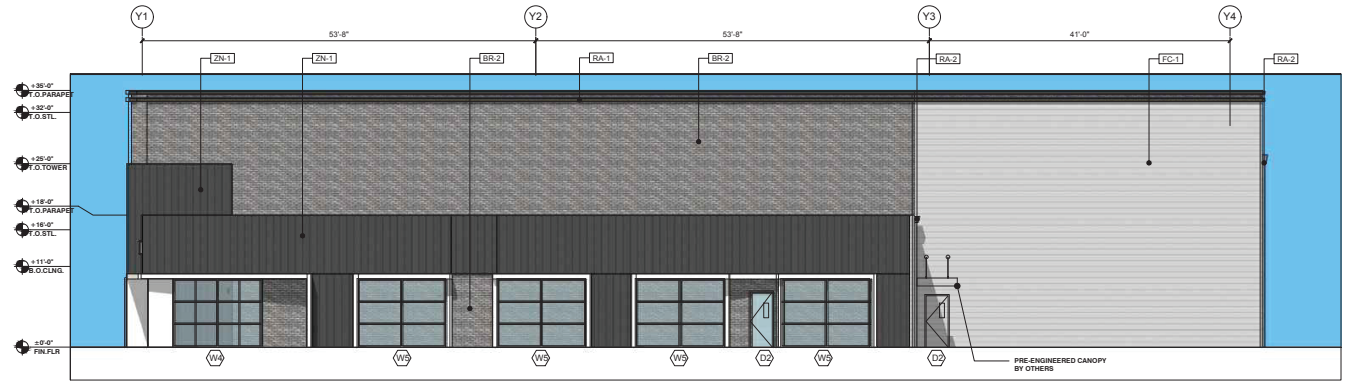
• NOMINAL SIZE: A STANDARD METRIC BRICK HAS COORDINATING DIMENSIONS OF 7.5" X 3.58" X 2.14"
 • ARCHITECTURAL SIZE: WORKING DIMENSIONS (ACTUAL DIMENSIONS) OF 8" X 4" X 2.25"
 • VERTICAL COURSE: 3 COURSES = 8"

STACK BOND RUNNING BOND

- NOTES**
- SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
 - ALL EXTERIOR MATERIALS TO BE SELECTED BY OWNER OR CONTRACTOR. IT HAS TO MEET THE ORDINANCES OF GWINNETT COUNTY.



1
A2.0
NW ELEVATION (FRONT)
 SCALE: 1/8" = 1'-0"
 NOTE: 1. FINISH FLOOR ELEVATION = ±0'-0"



2
A2.0
NE ELEVATION (OFFICE SIDE)
 SCALE: 1/8" = 1'-0"
 NOTE: 1. FINISH FLOOR ELEVATION = ±0'-0"



NGINEERS
 450 Old Peachtree Road NW, Suite 105
 Lawrenceville, GA 30046
 T: (770) 961-0033 E: suring@ngineers.com
The company is the property of the NGINEERS, LLC and is not to be used or reproduced without the prior written consent of the project and the qualified owner, and is not to be used by any other contractor or any other project. The company is not affiliated with the NGINEERS, LLC until required.

SEAL

KEVIN & J COMPANY
 NEW WAREHOUSE & OFFICE BUILDING
1330 Capital Circle
Lawrenceville, GA 30043

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10/26/21	ISSUED FOR INFORMATION	ES	SJ
REV.	DATE	DESCRIPTION	DWN. CHK.
CLIENT			
LOWELL PROPERTY MANAGEMENT, LLC.			

TITLE
BUILDING ELEVATIONS

PROJECT NUMBER	DATE
2021020	04-07-2021
SHEET NUMBER	REVISIONS
A2.0	▲

ISSUED FOR INFORMATION

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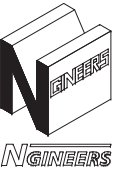
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PROJECT INFORMATION

Engineer: N-GINEERS, LLC
Contact: Sung H. Chung, PE
Phone: 770.891.0023
Email: sung@n-gineers.com
Address: 450 Old Peachtree Rd NW, Ste 105
Suwanee, GA 30024

Jurisdiction: Gwinnett County
Department: Community Development Department
Phone: 770.781.2115
Fax: 770.781.2197
Address: 110 EAST MAIN ST. STE 100
SUMMING, GA 30045

Owner: LOWELL PROPERTY MANAGEMENT, LLC
Address: 1310 CAPITAL CIR. LAWRENCEVILLE, GA 30043
Contact: Kevin Jang
Phone: 770.886.4160
Email: skilzevin@gmail.com



450 Old Peachtree Road NW, Suite 105
Suwanee, GA 30024
T: (770) 891-0023 E: sung@n-gineers.com

OCCUPANCY CLASSIFICATION

LSC BUSINESS GROUP 'B'
STORAGE GROUP 'S'
MODERATE HAZARD STORAGE, GROUP 'S-1'
- CLOTHING, WOOLEN WEARING APPAREL

(PER TABLE 7.3.1.2. OCCUPANT LOAD FACTOR, NFPA 101 LIFE SAFETY CODE 2018 EDITION, CHAPTER 7.)

OCC TYPE	NAME	AREA (SQ FT)	OCC TYPE (L.S.C.)	OCC LOAD
B	OFFICE	8,545.28	150	57
S	WAREHOUSE	24,766.87	500	50
TOTAL				107

CONSTRUCTION TYPE

IBC EXISTING TYPE II-B
SPRINKLER YES
FIRE ALARM NO

PROJECT SQUARE FOOTAGE

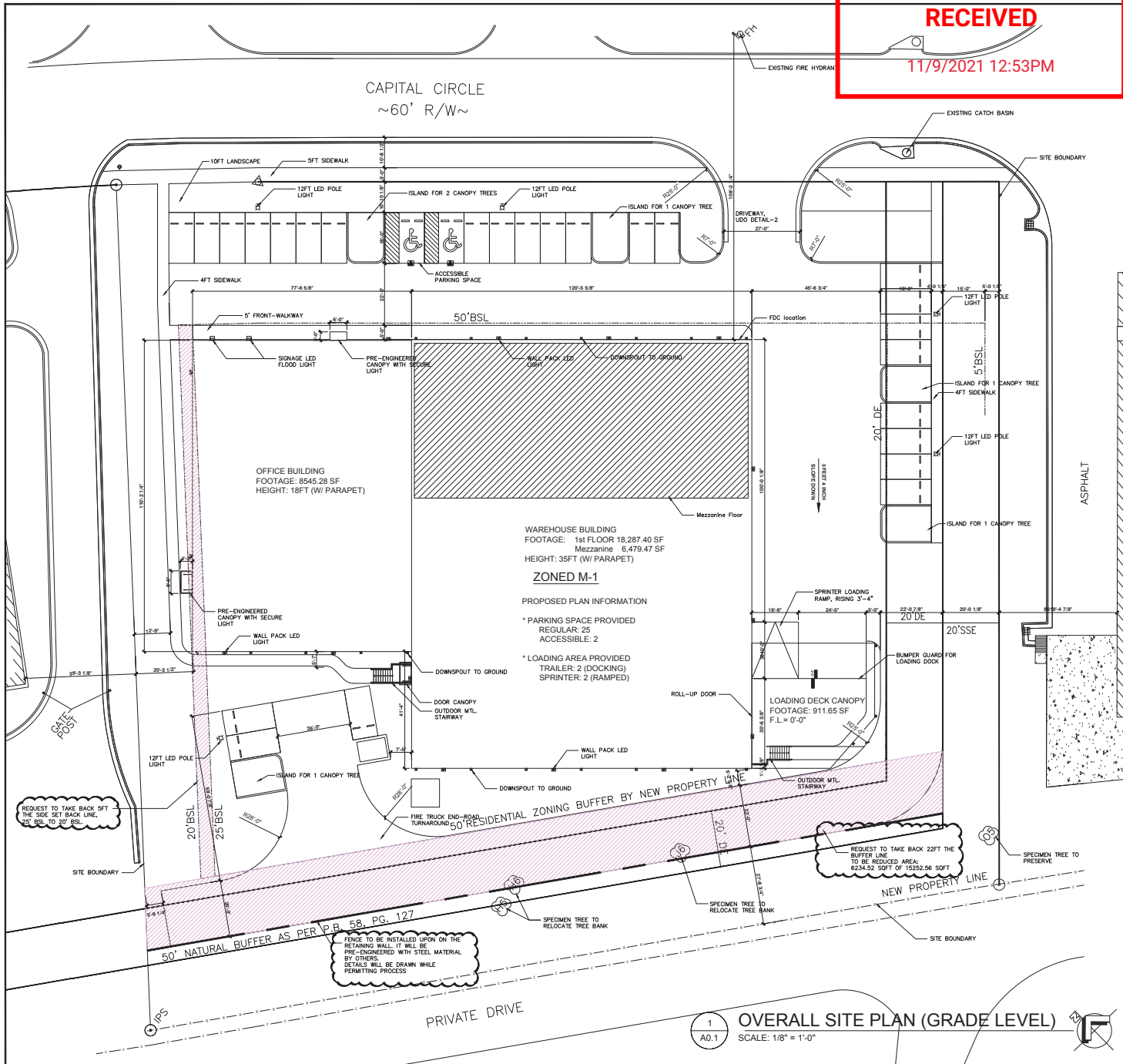
OFFICE AREA	WAREHOUSE AREA	TOTAL AREA
TOTAL AREA: 8,545.28 SQ. FT.	TOTAL AREA: 24,766.87 SQ. FT.	TOTAL AREA: 33,312.15 SQ. FT.
CONSTRUCTION AREA: 8,545.28 SQ. FT.	CONSTRUCTION AREA: 18,287.40 SQ. FT.	CONSTRUCTION AREA: 26,832.68 SQ. FT.
NUMBER OF STORY: 2 STORY (MEZZANINE FOR WAREHOUSE)		
BUILDING HEIGHT: 43'-0" A.F.F.		

- NOTE:
- ALL WALL MOUNTED ELECTRICAL, MECHANICAL, UTILITY METERS, AND OTHER UTILITY EQUIPMENT SHALL BE SCREENED. SCREENING HEIGHT SHALL BE EQUAL TO THE HEIGHT OF THE EQUIPMENT. EQUIPMENT SCREENS SHALL HAVE A FINISH WHICH IS CONSISTENT WITH THE FINISH MATERIALS OF THE BUILDING FAÇADE, OR PROVIDE VEGETATIVE LANDSCAPE SCREENING IMMEDIATELY AROUND THE UNITS.
 - ALL GROUND MOUNTED ELECTRICAL, MECHANICAL, AND LIKE UTILITY EQUIPMENT SHALL BE SCREENED. SCREENING HEIGHT SHALL BE EQUAL TO THE HEIGHT OF THE EQUIPMENT. EQUIPMENT SCREENS SHALL HAVE A FINISH WHICH IS CONSISTENT WITH THE FINISH MATERIALS OF THE BUILDING FAÇADE, OR PROVIDE VEGETATIVE LANDSCAPE SCREENING IMMEDIATELY AROUND THE UNITS.
 - EACH BUILDING AND ITS RELATIVE LOCATION TO PROPERTY LINES AND OTHER STRUCTURES SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) WITH GEORGIA STATE AMENDMENTS WITH REGARDS TO THE HEIGHT AND AREA REQUIREMENTS OF IBC TABLES 504.3, 504.4, & 506.2 AND THE FIRE RESISTANCE AND HORIZONTAL SEPARATION REQUIREMENTS OF IBC TABLES 601 AND 602.

SITE DEVELOPMENT NOTES AND REQUIREMENTS

- GENERAL CONTRACTOR SHALL MAINTAIN PUBLIC ACCESS AT ALL TIMES ALONG ALL GWINNETT COUNTY RIGHTS-OF-WAYS
- NO PARKING OR UNLOADING OF MATERIALS SHALL OCCUR WITHIN THE PUBLIC RIGHT-OF-WAY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STRUCTURES WITHIN THE PUBLIC RIGHT-OF-WAY AND SHALL REPAIR ANY DAMAGE CAUSED BY THE CONSTRUCTION ACTIVITIES TO THE PUBLIC RIGHT-OF-WAY AT THE GENERAL CONTRACTOR'S EXPENSES.
- GENERAL CONTRACTOR SHALL NOT RELOCATE ANY SIDEWALK OR MULTI-USE PATH WITHIN THE COUNTY RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE GWINNETT COUNTY.
- ALL STOP SIGNS AND STOP BARS SHALL BE PLACED BETWEEN THE PROPERTY BOUNDARY AND THE MULTI-USE PATH AS TO FACILITATE THE TRAFFIC STOPPING BEFORE THE MULTI-USE PATH.
- GENERAL CONTRACTOR SHALL MARK ALL CROSSWALKS AND MULTI-USE PATH CROSSINGS TO INDICATE THEM AS A PEDESTRIAN PATHWAY AFTER THE FINAL DRIVEWAY IS IN PLACE.
- ALL LANDSCAPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL CONSIST OF DROUGHT TOLERANT SPECIES.

KEVIN & J COMPANY
NEW WAREHOUSE & OFFICE BUILDING
1330 Capital Circle,
Lawrenceville, GA 30043



1
A0.1 OVERALL SITE PLAN (GRADE LEVEL)
SCALE: 1/8" = 1'-0"

ISSUED FOR INFORMATION

REV.	DATE	ISSUED FOR INFORMATION	ES	SJ
10.26.21	10/26/2021	ISSUED FOR INFORMATION	ES	SJ

CLIENT: LOWELL PROPERTY MANAGEMENT, LLC.

TITLE: OVERALL SITE PLAN - GRADE LEVEL

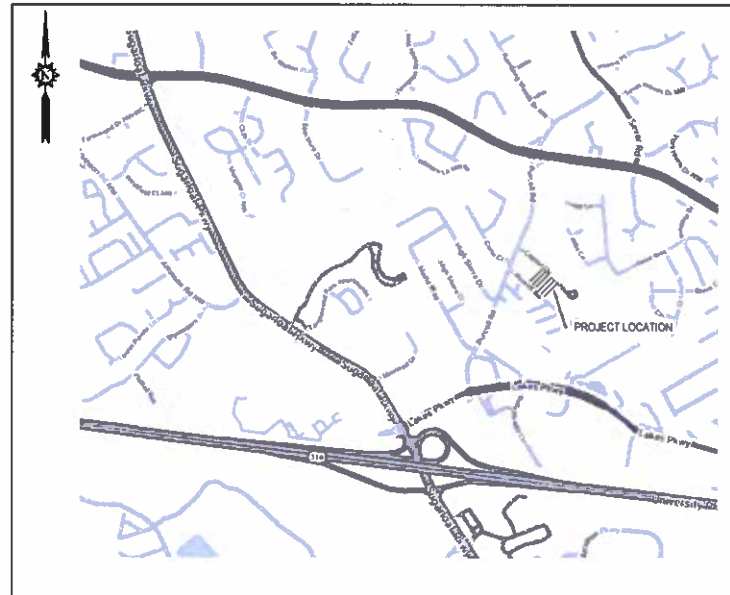
PROJECT NUMBER: 2021020 DATE: 04-07-2021

SHEET NUMBER: A0.1 REVISIONS:

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CIVIL ENGINEERING PLANS
FOR
KEVIN & J COMPANY
NEW WAREHOUSE & OFFICE BUILDING
GWINNETT COUNTY, GEORGIA



LOCATION MAP

SHEET INDEX

C-0	CIVIL COVER SHEET
C-1	SITE PLAN
C-2A	INITIAL EROSION AND SEDIMENTATION CONTROL PLAN
C-2B	INTERMEDIATE EROSION AND SEDIMENTATION CONTROL PLAN
C-2C	FINAL EROSION AND SEDIMENTATION CONTROL PLAN
C-2D	EROSION AND SEDIMENTATION CONTROL NOTES
C-2E	EROSION AND SEDIMENTATION CONTROL NOTES
C-2F	EROSION AND SEDIMENTATION CONTROL DETAILS
C-3	GRADING AND DRAINAGE PLAN
C-3A	GRADING AND DRAINAGE DETAILS
C-3B	GRADING AND DRAINAGE DETAILS
C-3C	GRADING AND DRAINAGE DETAILS
C-4	UTILITY PLAN
C-4A	UTILITY DETAILS



555 Ashvale Overton, Jones Creek, GA 30005
T 770-954-4020
F 770-954-4020
E et3eng@et3engineering.com
CA Cert. of Reg. No. PEP-52942
This is a preliminary drawing. It is not to be used for construction or for any other purpose without the written consent of ET3 Engineering. All rights reserved. © 2021 ET3 Engineering, Inc.



KEVIN & J COMPANY
NEW WAREHOUSE & OFFICE BUILDING
1330 Capital City
Lawrenceville, GA 30043

REV	DATE	DESCRIPTION	OWN	CHK

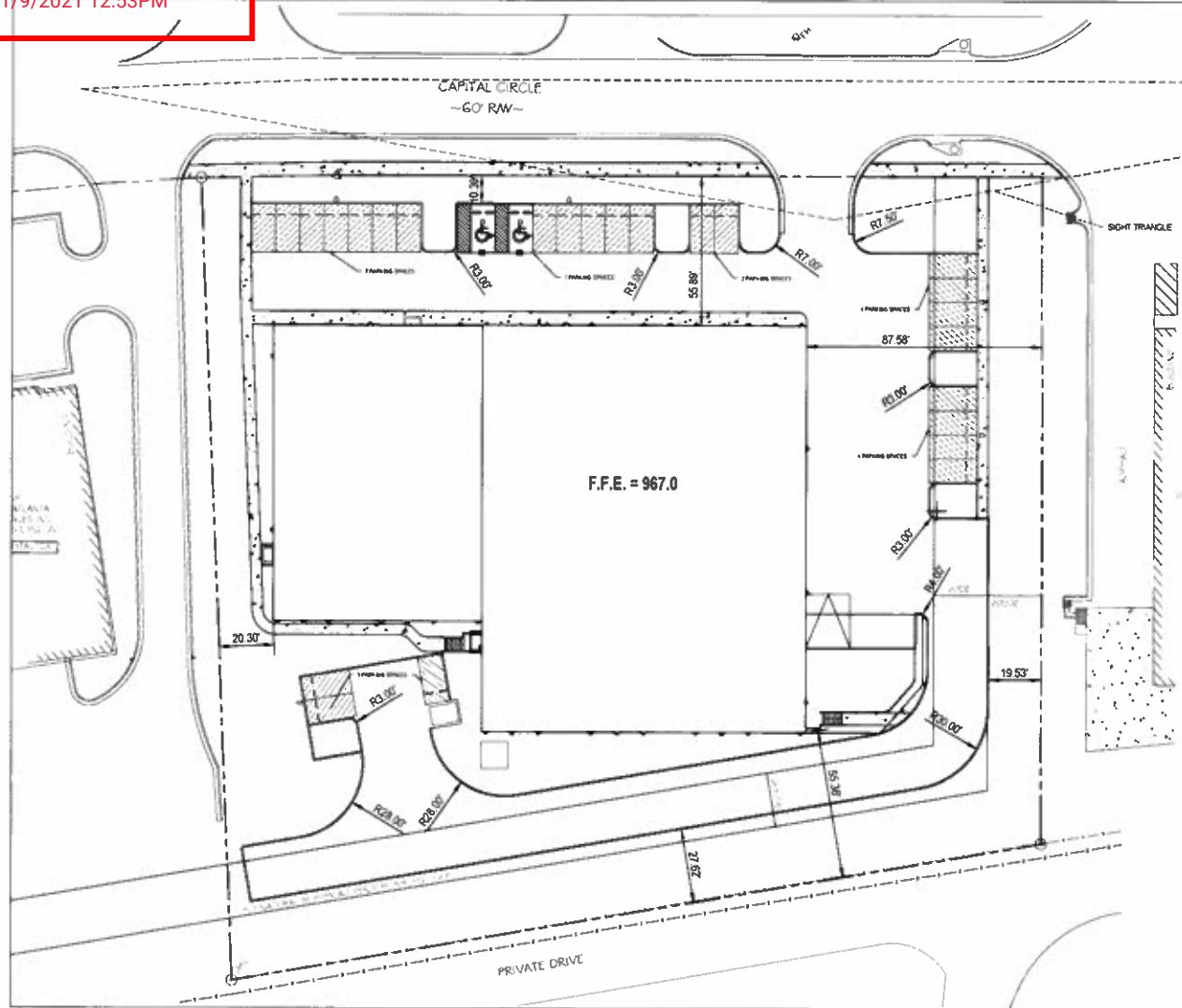
CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

PRELIMINARY
CIVIL COVER SHEET

PROJECT NUMBER	DATE
21-0517	09-09-2021
SHEET NUMBER	REVISIONS
C-0	

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SITE DATA

Proposed Use: Industrial/Warehouse
Site acreage: 1.94 acres
Total Site Disturbance: 1.78 acres

Gross Square Footage: 26,832 sf
Warehouse: 18,287 sf
Office: 8545 sf

Zoning: M-1 Light Industry District
Maximum Height: 45 ft
Front Setback: 50 ft
Rear Setback: 50 ft
Side Setback: 25 ft

Minimum Parking Spaces: 11
Maximum Parking Spaces: 53
Provided Parking Spaces: 27

Loading Spaces Required: 2
Loading Spaces Provided: 2

ET3 Engineering
 305 Anthony Overton, Johns Creek, GA 30095
 T 770.754.8328
 E et3e@et3engineering.com
 GA Cert of Reg. No. PE3201643
 License: Professional Engineer
 The seal is required on all drawings and shall be placed in the bottom right corner of the drawing. It shall be used in accordance with the provisions of the Georgia Professional Engineers Act of 1993, as amended.



KEVIN & J COMPANY
 NEW WAREHOUSE & OFFICE BUILDING
 1330 Capital Circle
 Lawrenceville, GA 30046

REV	DATE	DESCRIPTION	DWA	CHK

CLIENT:
LOWELL PROPERTY MANAGEMENT, LLC.

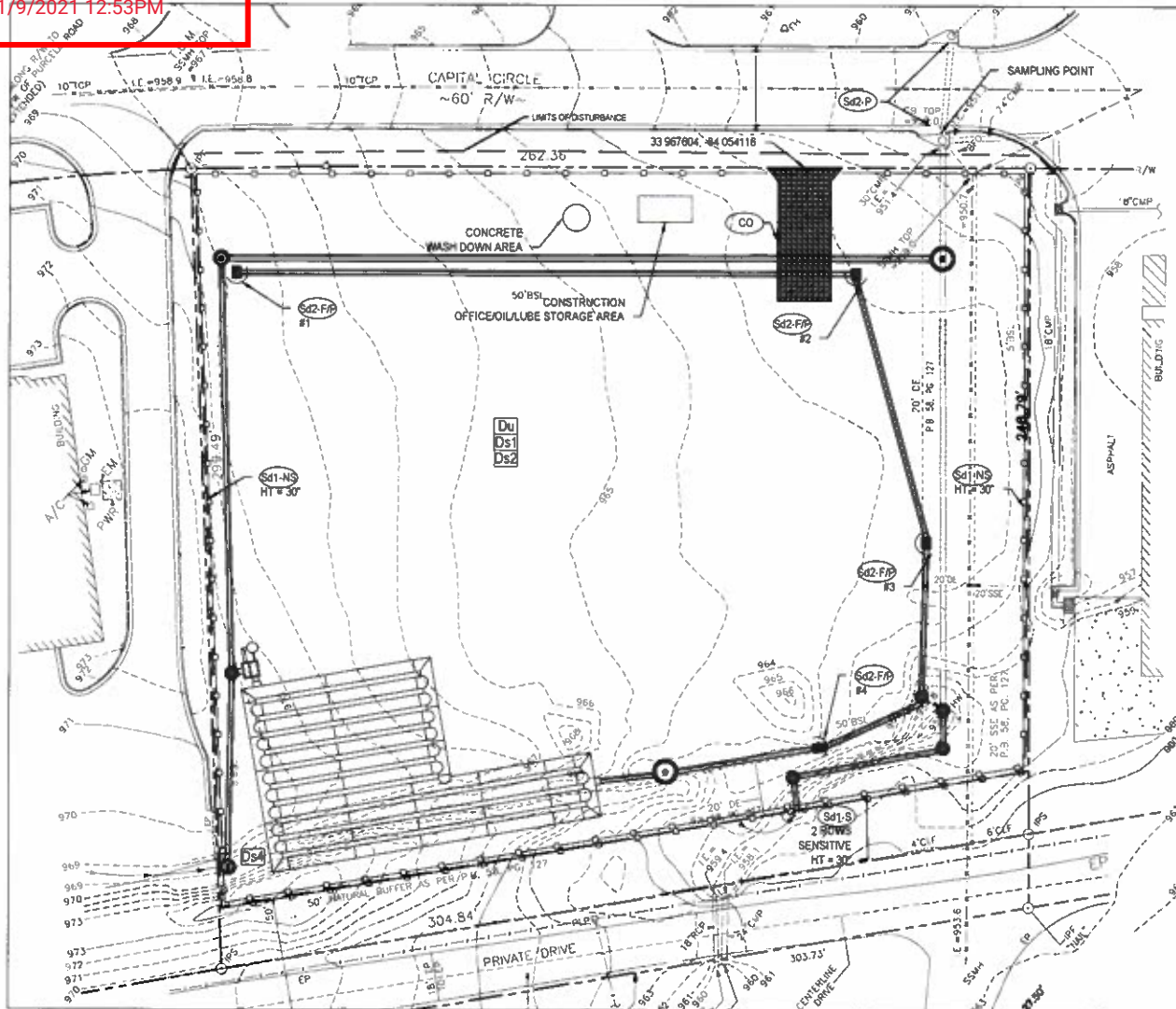
SITE PLAN

PROJECT NUMBER 21-0517	DATE 09-09-2021
SHEET NUMBER C-1	REVISIONS



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GENERAL SPECIAL EROSION CONTROL MEASURES

- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE ACCORDING TO THE BEST MANAGEMENT PRACTICES (BMP) LISTED IN THE ATTACHED EROSION CONTROL MEASURES CHECKLIST.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMAIN IN PLACE UNTIL THE EROSION CONTROL MEASURES CHECKLIST IS SIGNED OFF BY THE ENGINEER.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMAIN IN PLACE UNTIL THE EROSION CONTROL MEASURES CHECKLIST IS SIGNED OFF BY THE ENGINEER.
- CONSTRUCTION SHALL BE SCHEDULED TO AVOID THE MOST SENSITIVE PERIODS OF THE YEAR (E.G., RAINY SEASON).

SETBACKS

1. TO THE NORTH LINE: 10 FT

2. TO THE SOUTH LINE: 10 FT

3. TO THE EAST LINE: 10 FT

4. TO THE WEST LINE: 10 FT

The 24-hour local contact for the site is Lowell Property Management, LLC, Kevin Jeng, 1310 Capital Dr., Lawrenceville, GA 30043, kuc@lpm.com, 770.988.4160

The primary permittee is Lowell Property Management, LLC, Kevin Jeng, 1310 Capital Dr., Lawrenceville, GA 30043, kuc@lpm.com, 770.988.4160

CONSTRUCTION OBSERVATIONS

The project shall comply with all applicable regulatory agency permits, zoning, parking, and other requirements.

PROJ. & CONSTRUCTION NOTES

THIS PLAN IS APPROVED FOR SUBMITTAL TO THE GWINNETT COUNTY PLANNING AND DEVELOPMENT DEPARTMENT. IT IS THE RESPONSIBILITY OF THE APPLICANT TO OBTAIN ALL NECESSARY PERMITS FROM THE APPLICANT'S LOCAL JURISDICTION. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICANT'S LOCAL JURISDICTION.

STORAGE CALCULATIONS (TEMPORARY SEDIMENT POND) - Sd2-P #1 - Average

- Drainage Area = 0.18 ac
- Required Sediment Storage = 12 cu yd = 538 cf (67 cubic ft @ 0.18 ac drainage area)
- Assumed Excavation Depth = 2 ft (minimum of 1.5 ft)
- Determine Surface Area Required
SA_{min} = 3367.2 sq ft = 183 sf
- Assume shape of excavation and determine dimensions.
(Approx. rectangular shape with 2:1 length to width ratio is recommended)
Shape: Rectangle
Dimensions: Length = 18 ft, Width = 9 ft
- Provided Storage = 342 cf, greater than the minimum of 538 cf

STORAGE CALCULATIONS (TEMPORARY SEDIMENT POND) - Sd2-P #2 - Average

- Drainage Area = 0.14 ac
- Required Sediment Storage = 43 cu yd = 1161 cf (67 cubic ft @ 0.14 ac drainage area)
- Assumed Excavation Depth = 3 ft (minimum of 1.5 ft)
- Determine Surface Area Required
SA_{min} = 1161 cf / 3 ft = 387 sf
- Assume shape of excavation and determine dimensions.
(Approx. rectangular shape with 2:1 length to width ratio is recommended)
Shape: Rectangle
Dimensions: Length = 28 ft, Width = 14 ft
- Provided Storage = 1176 cf, greater than the minimum of 1161 cf

STORAGE CALCULATIONS (TEMPORARY SEDIMENT POND) - Sd2-P #3 - Average

- Drainage Area = 0.17 ac
- Required Sediment Storage = 12 cu yd = 508 cf (67 cubic ft @ 0.17 ac drainage area)
- Assumed Excavation Depth = 2 ft (minimum of 1.5 ft)
- Determine Surface Area Required
SA_{min} = 508 cf / 2 ft = 154 sf
- Assume shape of excavation and determine dimensions.
(Approx. rectangular shape with 2:1 length to width ratio is recommended)
Shape: Rectangle
Dimensions: Length = 18 ft, Width = 9 ft
- Provided Storage = 324 cf, greater than the minimum of 508 cf

STORAGE CALCULATIONS (TEMPORARY SEDIMENT POND) - Sd2-P #4 - Average

- Drainage Area = 0.10 ac
- Required Sediment Storage = 47 cu yd = 1268 cf (67 cubic ft @ 0.10 ac drainage area)
- Assumed Excavation Depth = 3 ft (minimum of 1.5 ft)
- Determine Surface Area Required
SA_{min} = 1268 cf / 3 ft = 423 sf
- Assume shape of excavation and determine dimensions.
(Approx. rectangular shape with 2:1 length to width ratio is recommended)
Shape: Rectangle
Dimensions: Length = 29 ft, Width = 15 ft
- Provided Storage = 1305 cf, greater than the minimum of 1268 cf

DRAINAGE LEGEND

	PROJ. STORM DRAIN		PROJ. STORM DRAIN
	EXISTING STORM DRAIN		PROJ. STORM DRAIN
	PROJ. STORM DRAIN		PROJ. STORM DRAIN
	PROJ. STORM DRAIN		PROJ. STORM DRAIN
	PROJ. STORM DRAIN		PROJ. STORM DRAIN
	PROJ. STORM DRAIN		PROJ. STORM DRAIN



Elissa Taylor 09/08/2021
 Elissa Taylor, P.E.
 Georgia Professional Engineer No. PE045822
 Level II Certified Design Professional - Certification No. 0000084800
 Expires 06/29/2024

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SEAL

GEORGIA PROFESSIONAL ENGINEER
 ELSA J. TAYLOR
 No. 0000084800

KEVIN & J COMPANY
 NEW WAREHOUSE & OFFICE BUILDING
 1310 Capital Circle
 Lawrenceville, GA 30043

REV.	DATE	DESCRIPTION	BY	CHK.

CLIENT: **LOWELL PROPERTY MANAGEMENT, LLC.**

INTERMEDIATE
 EROSION & SEDIMENTATION
 CONTROL PLAN

PROJECT NUMBER 21-0517	DATE 09-08-2021
SHEET NUMBER C-2B	REVISIONS

**GWINNETT COUNTY
PLANNING AND DEVELOPMENT**

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CLEARING PHASE
Prior to land disturbing activities, the contractor shall maintain a construction meeting with the area site development inspector.

The contractor shall observe the project conditions shown on the plans. The contractor shall maintain careful scheduling and performance to ensure that land slopping of its natural cover is exposed only for the minimum duration before permanent erosion protection is established.

The owner agrees to provide and maintain off-site parking on the subject property during the entire construction period.

No staging areas, material storage, concrete wash-out areas, or debris burning and burial bins shall be located within 500 feet of designated fire protection areas.

A copy of the approved land disturbance plan and permit shall be present on the site at all times.

Prior to commencing land disturbance activity, limits of land disturbance shall clearly and accurately be delineated with stakes, rebar, or other appropriate means, and shall be delineated for the duration of the construction activity. No land disturbance shall occur outside the limits delineated on the approved plans.

Prior to any other construction, a stabilized construction entrance shall be constructed at each point of entry to or from the site or onto any public roadway.

The following erosion control measures shall be implemented prior to any other construction activity:

- The construction site shall be placed as shown on the plans.
- Immediately after the establishment of construction and all permanent erosion control and stormwater management devices shall be installed as shown on the clearing phase erosion control plan.

True protection fencing shall be installed prior to the start of any land disturbing activity.

Within seven (7) days after installation of initial erosion control measures, the site contractor shall schedule an inspection by the project design professional. No other construction activities shall occur until the project professional approves the installation of land erosion control measures. If unforeseen conditions exist in the field that warrant additional erosion control measures, the contractor must contact any additional erosion control devices deemed necessary by the project professional during the site inspection.

After approval of initial erosion control installation, the contractor may proceed with clearing and grubbing activities, as clearing plans, the contractor shall construct sediment ponds as shown on plans.

No burn or any pits shall be permitted on the construction site without written permission by the owner and/or the engineer of record.

All soil banks must meet the requirements of section 171 temporary soil banks for the duration of transportation, state of Georgia standards specifications, 1985 edition.

Much or temporary grassing shall be applied to all exposed areas within 7 days of land disturbance. All disturbed areas left unexcavated more than 30 days shall be protected with temporary vegetation.

Sediment and erosion control measures must be checked after each rain event, each device is to be maintained or replaced if sediment accumulation has reached half the capacity of the device. Additional devices must be installed if new channels have developed.

The construction site shall be maintained in a condition which will prevent trash or flow of mud into public right-of-way. This may require periodic top dressing with 1" of straw or conditions demand, all materials spilled, dropped, washed or tracked from a vehicle onto public roadway or into storm drain must be removed immediately.

Contractor shall inspect erosion control measures at the end of each working day to ensure proper functioning.

Failure to install, operate or maintain all erosion control measures will result in all construction being stopped on the site until such measures are corrected back to the approved plans.

CLEARING PHASE NOTES
During construction the contractor shall maintain careful scheduling and performance to ensure that land slopping of its natural ground cover is exposed only in small quantities, and throughout limited durations before permanent erosion protection is established.

Earthwork operations in the vicinity of stream buffers shall be carefully controlled to avoid dumping or slopping into the buffer areas.

Erosion control devices shall be installed immediately after ground disturbance occurs. It is the contractor's responsibility to accomplish erosion control for all drainage patterns created at various stages during construction, and after the cessation of erosion control devices.

The contractor shall establish barriers at the top of slopes under construction. Cut and fill slopes shall not exceed 3:1.

Storm drain erosion protection shall be placed at all outlet headwalls as soon as the headwall is constructed.

All drainage swales and graded areas shall be protected with vegetative cover as soon as final grade is achieved. Mulch or temporary grassing shall be applied to all exposed areas within 7 days of land disturbance. All disturbed areas left unexcavated for more than 30 days shall be stabilized with temporary grassing.

The contractor shall maintain the sediment pond until permanent groundcover is established. Sediment shall be cleaned out of the pond when it reaches one third of the depth of the basin.

Mulch or temporary grassing shall be applied to all exposed areas within 7 days of land disturbance. All disturbed areas left unexcavated for more than 30 days shall be stabilized with temporary grassing.

Sediment and erosion control measures must be checked after each rain event, each device is to be maintained or replaced if sediment accumulation has reached half the capacity of the device. Additional devices must be installed if new channels have developed.

Contractor shall inspect erosion control measures at the end of each working day to ensure proper functioning.

Failure to install, operate or maintain all erosion control measures will result in all construction being stopped on the site until such measures are corrected back to the approved erosion control plans.

FINAL PHASE NOTES
The contractor shall maintain in the sediment pond and permanent groundcover is established sediment shall be cleaned out of the pond when it reaches one third of the depth of the basin. All roadway and parking shoulders should be graded as soon as final grade is achieved.

Sediment and erosion control measures shall be checked after each rain event, each device is to be maintained or replaced if sediment accumulation has reached one half the capacity of the device. Additional devices must be installed if new channels have developed.

Failure to install, operate or maintain all erosion control measures will result in all construction being stopped on the job until such measures are corrected back to the approved erosion control plans.

Upon completion of the project and receipt of the certificate of completion, the contractor shall remove all temporary erosion control measures and devices from the site unless noted otherwise on plans.

PERMIT COVERAGE
THIS PLAN HAS BEEN PREPARED TO MEET THE REQUIREMENTS UNDER THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. INVESTIGATION IN PROGRESS (IN) GENERAL PERMIT NO. GAD 1000 FOR AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION ACT (NPDES) FOR A STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FOR CONSTRUCTION DEVELOPMENT.

MANAGEMENT PRACTICES AND PERMIT VIOATIONS (PART II D)

- Best management practices are required for all construction activities and must be implemented in accordance with the design specifications contained in the "Manual for Erosion and Sediment Control in Georgia" to prevent or reduce the pollution of waters of Georgia proper design, installation, and maintenance of BMP's shall constitute a complete defense to any action by the Director or by any other allegation of non-compliance with part c 1 and part c 4.
- Failure to properly design, install, or maintain BMP's shall constitute a violation of the permit. Routine inspections shall be conducted a minimum of once during the course of the permit's routine inspections BMP failures are observed which have violated the permit's deposition into waters of the state, the permittee shall correct the BMP failure and shall submit a summary of the violations to EPD in accordance with part v 2 of the permit.
- A discharge of storm water runoff from disturbed areas where BMP's have not been properly designed, installed, and maintained shall constitute a violation for each day on which such discharge results in the turbidity of receiving water(s) being increased by more than ten (10) nephelometric turbidity units for waters classified as trout streams or more than twenty-five (25) nephelometric turbidity units for waters supporting warm water fisheries, regardless of a permittee's construction under part i b and part i 2.3 b.

AUTHORIZED DISCHARGES (PART I C)

- All discharges of storm water associated with construction activity that will result in land disturbance shall be to or greater than one acre part i c 1 a.
- All discharges covered by this permit shall be contained entirely of storm water except as provided in part i c 2 and part a 2 of the permit.
- Authorized named storm water discharges part i c 2:
 - A. The industrial discharge or activity other than construction is located on the same site as the construction activity and is an integral part of the construction activity.
 - B. The stormwater discharges associated with industrial activity from the areas of the site where construction activities are occurring are in compliance with the terms of the permit.
 - C. Storm water discharges associated with industrial activity from the areas of the site where industrial activity other than construction are occurring are covered by a different NPDES general permit or individual permit authorizing such discharges and the discharges are in compliance with a different NPDES permit.
- The following non-storm water discharges may be authorized by the permit provided the non-storm water component of the discharge is exclusively on the site and in compliance with part v 4 7 part a 2:
 - A. Fire fighting activities.
 - B. Fire hydrant flushing.
 - C. Potable water sources including water line flushing.
 - D. Irrigation draining.
 - E. Air conditioning condensate.
 - F. Springs.
 - G. Uncontaminated ground water, and
 - H. Foundation or footing drains where the flow are not contaminated with process materials or pollutants.

RESTRICTIONS ON COVERAGE (PART I C 3)

- The following storm water discharges from construction sites are not authorized by this permit:
- A. Storm water discharges associated with an industrial activity that originates from the site after construction activities have been completed and the site has undergone final stabilization.
 - B. Discharges that are mixed with storm-water or non-storm water other discharges which are identified in part a 2 of this permit and which are in compliance with part v 4 7 (non-storm water discharges) of the permit.
 - C. Storm water discharges associated with industrial activity that are subject to an existing NPDES individual or general permit, such discharges may be authorized under this permit after an existing permit stream provided the existing permit does not establish numeric limitations for such discharges, and
 - D. Storm water discharges from construction sites that the director (EPD) has determined to be or may reasonably be expected to be contributing to a violation of a water quality standard.

COMPLIANCE WITH WATER QUALITY STANDARDS (PART C 4)

No discharges authorized by this permit shall cause violations of Georgia's stream water quality standards as provided by the rules and regulations for water quality control, chapter 301-3-3-.03.

CONSTRUCTION SCHEDULE

ACTIVITY	JAN 2022	FEB 2022	MARCH 2022	APRIL 2022
INITIAL PERMITTER AND SEDIMENT STORAGE BMP'S				
CLEARING AND GRUBBING				
EROSION CONTROL DEVICES				
GRAVING				
TEMPORARY VEGETATION				
INFRASTRUCTURE CONSTRUCTION (INCL. UTILITIES)				
PAVING				
FINAL GRADING & LANDSCAPING				
PERMITTER SIGN OFF				
SEMI-DURABLE OF BMP'S				

REVISIONS

NO.	DATE	DESCRIPTION	DWN	CHK
1	01/20/22	ISSUE FOR PERMIT		
2	01/20/22	ISSUE FOR PERMIT		
3	01/20/22	ISSUE FOR PERMIT		
4	01/20/22	ISSUE FOR PERMIT		
5	01/20/22	ISSUE FOR PERMIT		
6	01/20/22	ISSUE FOR PERMIT		
7	01/20/22	ISSUE FOR PERMIT		
8	01/20/22	ISSUE FOR PERMIT		
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28	01/20/22	ISSUE FOR PERMIT		
29	01/20/22	ISSUE FOR PERMIT		
30	01/20/22	ISSUE FOR PERMIT		



KEVIN & J COMPANY
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1330 Capital Circle
Lawrenceville, GA 30043

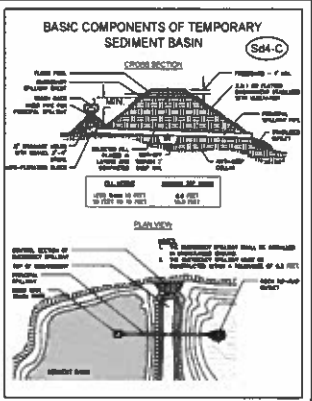
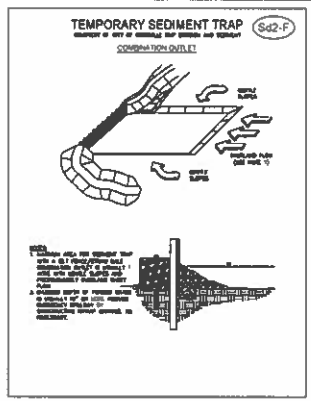
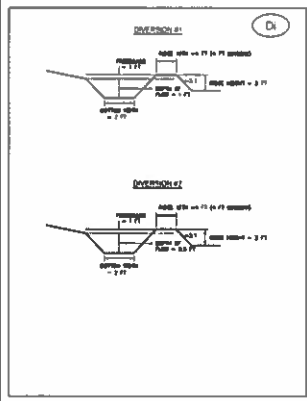
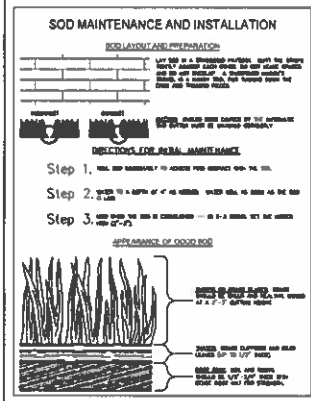
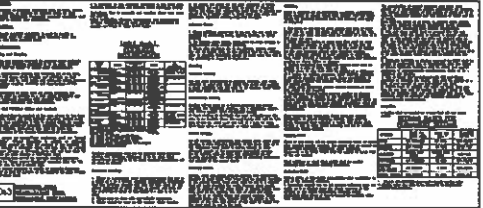
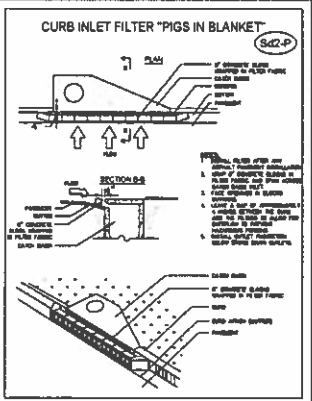
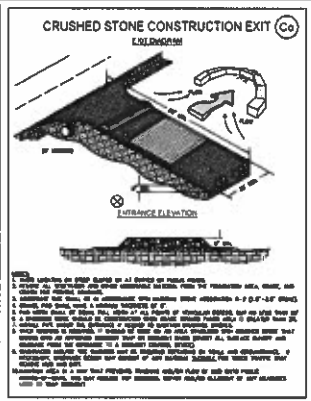
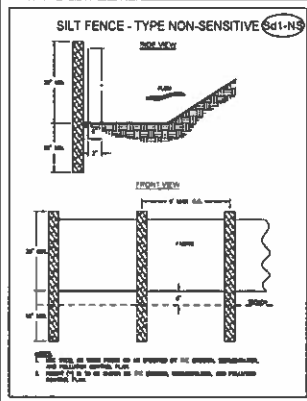
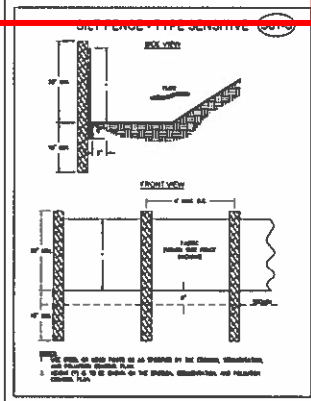
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CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

EROSION & SEDIMENT CONTROL NOTES
PROJECT NUMBER: 21-0517
DATE: 09-09-2021
SHEET NUMBER: C-2E
REVISIONS:

Kevin Taylor
Kevin Taylor, P.E.
Georgia Professional Engineer No. PE045822
Level 1 Certified Design Professional - Certification No. 0000094800
Expires 08/29/2024

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GEORGIA UNIFORM CODING SYSTEM
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES		STRUCTURAL PRACTICES	
Code	Description	Code	Description
S41-N	Silt Fence - Type Sensitive	S41-N3	Silt Fence - Type Non-Sensitive
C6	Crushed Stone Construction Exit	S42-P	Curb Inlet Filter "Pigs in Blanket"
S42-F	Temporary Sediment Trap	S44-C	Basic Components of Temporary Sediment Basin
VEGETATIVE PRACTICES			
V1	Grass Sod Mats	V2	Grass Sod Mats
V3	Grass Sod Mats	V4	Grass Sod Mats
V5	Grass Sod Mats	V6	Grass Sod Mats
V7	Grass Sod Mats	V8	Grass Sod Mats
V9	Grass Sod Mats	V10	Grass Sod Mats
V11	Grass Sod Mats	V12	Grass Sod Mats
V13	Grass Sod Mats	V14	Grass Sod Mats
V15	Grass Sod Mats	V16	Grass Sod Mats
V17	Grass Sod Mats	V18	Grass Sod Mats
V19	Grass Sod Mats	V20	Grass Sod Mats
V21	Grass Sod Mats	V22	Grass Sod Mats
V23	Grass Sod Mats	V24	Grass Sod Mats
V25	Grass Sod Mats	V26	Grass Sod Mats
V27	Grass Sod Mats	V28	Grass Sod Mats
V29	Grass Sod Mats	V30	Grass Sod Mats
V31	Grass Sod Mats	V32	Grass Sod Mats
V33	Grass Sod Mats	V34	Grass Sod Mats
V35	Grass Sod Mats	V36	Grass Sod Mats
V37	Grass Sod Mats	V38	Grass Sod Mats
V39	Grass Sod Mats	V40	Grass Sod Mats
V41	Grass Sod Mats	V42	Grass Sod Mats
V43	Grass Sod Mats	V44	Grass Sod Mats
V45	Grass Sod Mats	V46	Grass Sod Mats
V47	Grass Sod Mats	V48	Grass Sod Mats
V49	Grass Sod Mats	V50	Grass Sod Mats



Kevin Taylor 08/08/2021
Date
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REV: DATE DESCRIPTION OWN CRE
CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

EROSION & SEDIMENTATION CONTROL DETAILS
PROJECT NUMBER: 21-0517 DATE: 08-09-2021
SHEET NUMBER: C-2F REVISIONS:

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REV	DATE	DESCRIPTION	QMR	DRW

CLIENT
LOWELL PROPERTY
MANAGEMENT, LLC.

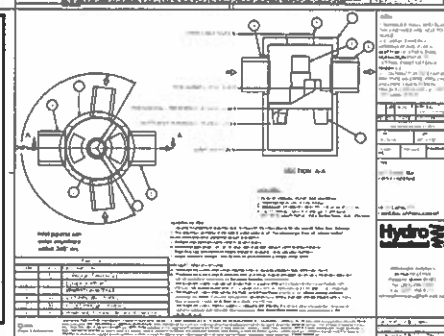
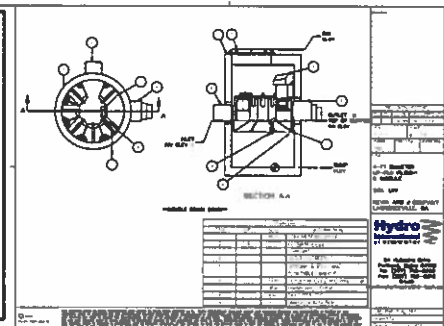
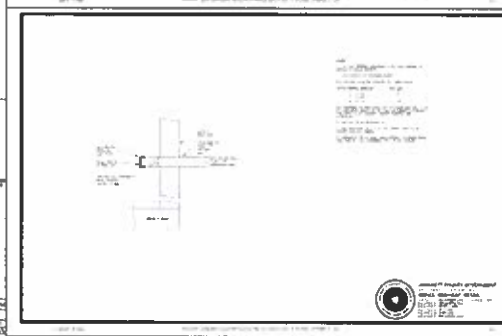
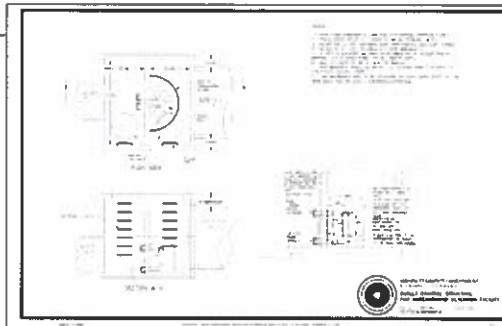
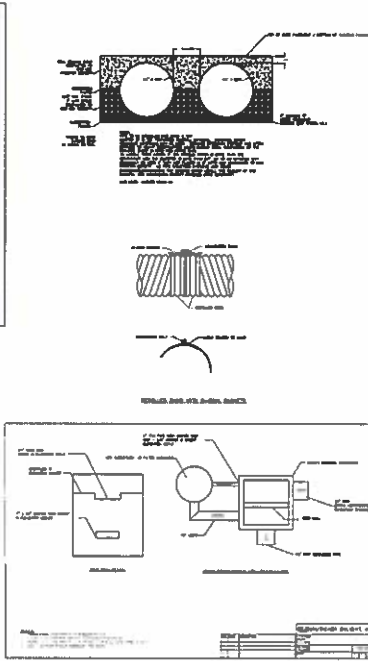
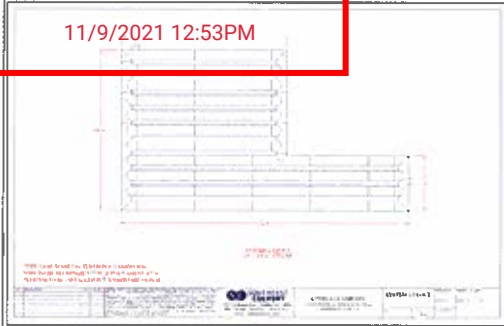
GRADING
& DRAINAGE
DETAILS

PROJECT NUMBER	DATE
21-0517	09-09-2021

SHEET NUMBER	REVISIONS
C-3A	

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GA Cert. of Auth. No. PE1329842

Hydro
Professional Engineer
LISA L. TAYLOR
0808021

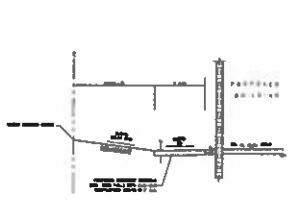
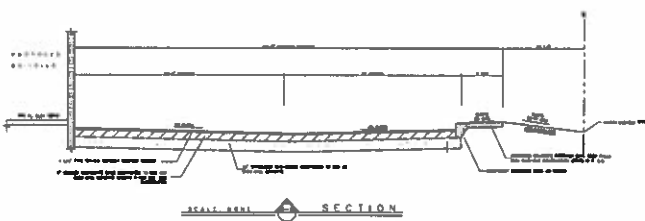
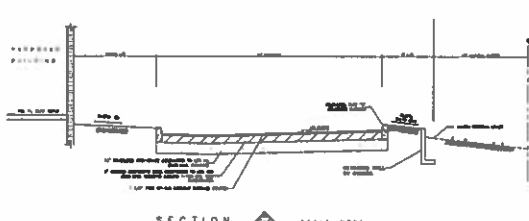
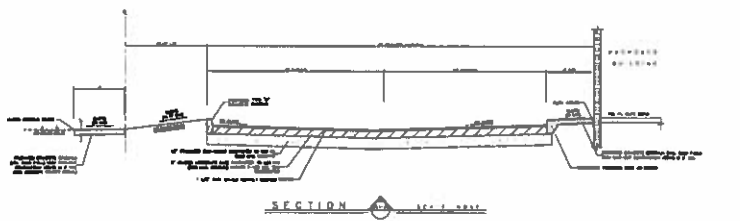
KEVIN & J COMPANY
NEW WAREHOUSE & OFFICE BUILDING
1330 Capital Circle, Suite 100
Lawrenceville, GA 30043

REV	DATE	DESCRIPTION	DWA	CHK

CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

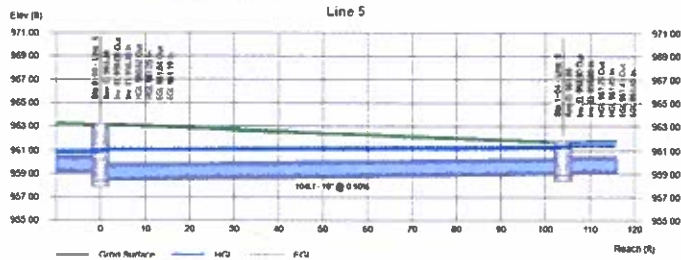
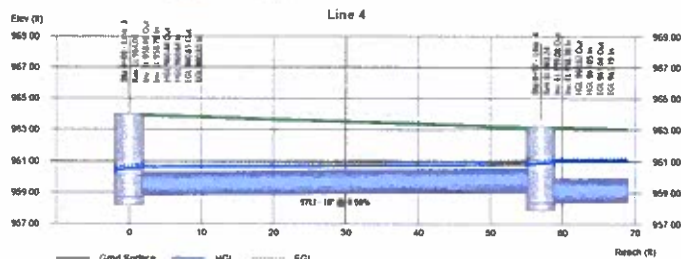
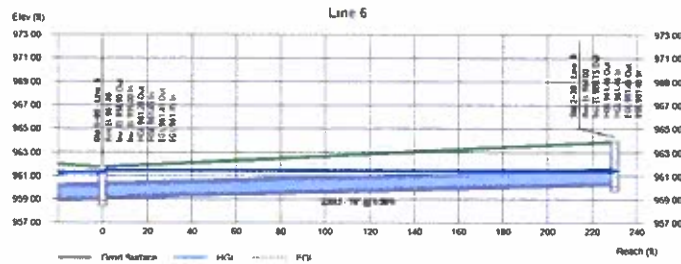
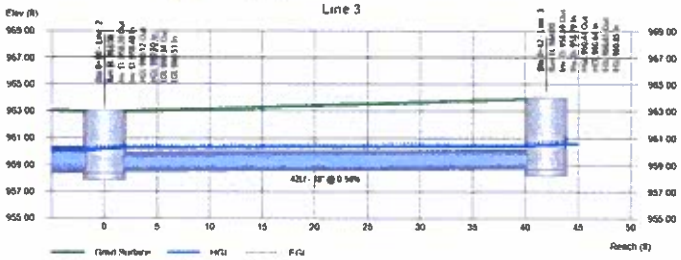
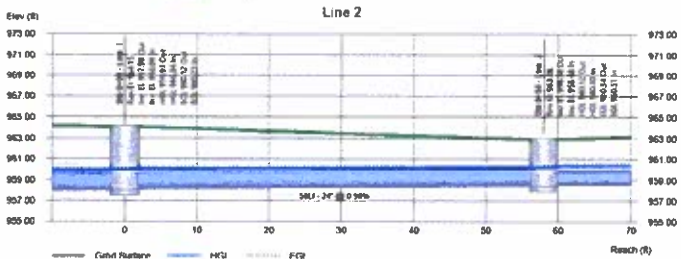
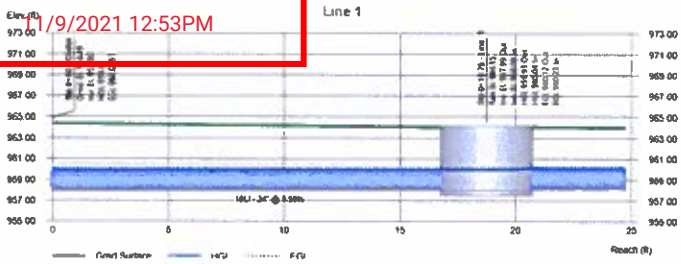
GRADING & DRAINAGE DETAILS

PROJECT NUMBER 21-0517	DATE 09-09-2021
SHEET NUMBER C-3B	REVISIONS



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 T 770-524-8025
 E etj@etjengineering.com
 GA Cert. of Auth. No. PE1907942



KEVIN & J COMPANY
 NEW WAREHOUSE & OFFICE BUILDING

1330 Capital Circle
 Lawrenceville, GA 30046

REV	DATE	DESCRIPTION	DRAWN	CHKD

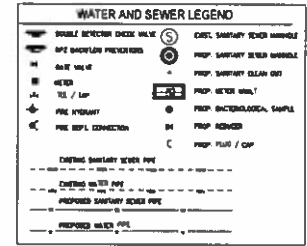
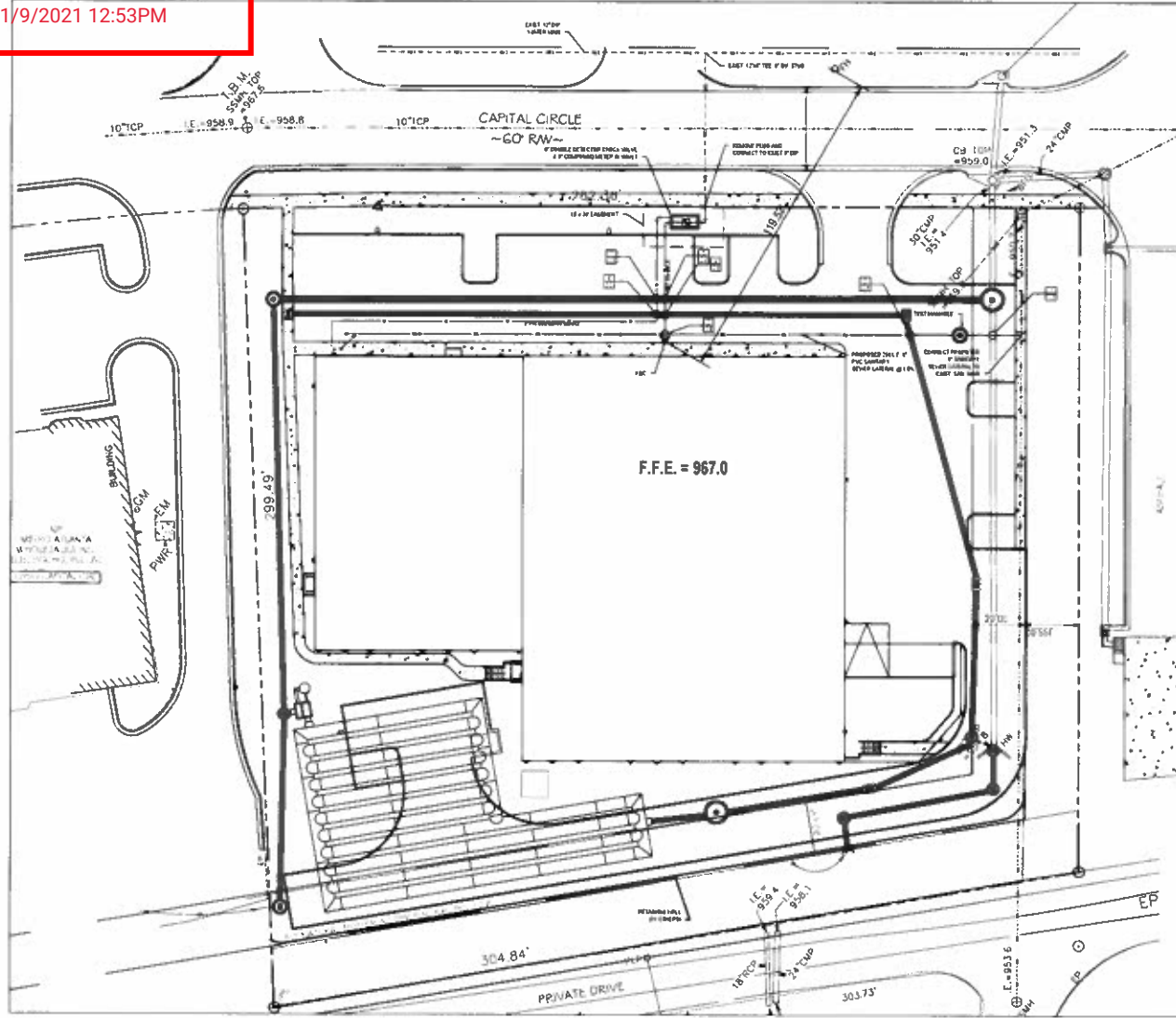
CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

GRADING & DRAINAGE DETAILS

PROJECT NUMBER 21-0517	DATE 09-09-2021
SHEET NUMBER C-3C	REVISIONS

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SYMBOLS FOR FITTINGS, VALVES, ETC. ARE DIMENSIONAL ONLY AND DO NOT REFLECT ACTUAL SIZE FOR ACTUAL DIMENSIONS REFER TO MANUFACTURER'S SPECIFICATIONS.

- WATER & SEWER NOTES:**
- NO GATE VALVES IN CURBS
 - SLOPE ON PIPES UNLESS NOTED OTHERWISE. SLOPE SHALL BE IN ACCORDANCE WITH THE DESIGNER'S INTENT.
 - ALL SANITARY SEWER CLEANOUTS LOCATED IN FOUNDATION ARE TO BE TRAP AND PIPED.
 - WATER SHALL BE AVAILABLE TO THE PROPERTY BEFORE ANY CONSTRUCTION COMMENCES.
 - ALL EXISTING WATER AND SEWER SERVICES TO THE PROPERTY THAT ARE NOT TO BE MAINTAINED SHALL BE CUT AND CAPPED AND REMOVED IN ACCORDANCE WITH THE DESIGNER'S INTENT. EXCEPT AS NOTED OTHERWISE.
 - AFTER WATER AND SEWER CONNECTIONS, INSURE ALL POINTS OF ENTRY ARE PROPERLY SEaled AND PROTECTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
 - ALL EXISTING SERVICES IN THIS PLAN ARE IN THE GROUND ONLY.
 - ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE DESIGNER HAS NOT CONDUCTED FIELD SURVEYS FOR THE EXISTING UTILITIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

- PIPE LINE NOTES:**
- ALL PROPOSED PIPE LINES, SERVICE LINES, CONNECTIONS, ETC. SHALL BE INSTALLED BY A LICENSED PIPE LINE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
 - ALL PIPE LINES ARE TO BE INSTALLED BY CERTIFIED PIPE LINE CONTRACTORS TO BE MAINTAINED AND REPAIRED.
 - UPON COMPLETION OF PROPOSED UTILITY WORK, THE CONTRACTOR SHALL SUBMIT A "UTILITY AS-BUILT" DRAWING TO THE DESIGNER. THIS DRAWING SHALL BE MAINTAINED BY THE CONTRACTOR AND MADE AVAILABLE TO THE DESIGNER UPON REQUEST.
 - PIPE LINE SYSTEMS SHALL BE PROTECTED BY ALL APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

- UNDERGROUND UTILITIES NOTES:**
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE DESIGNER HAS NOT CONDUCTED FIELD SURVEYS FOR THE EXISTING UTILITIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL EXISTING UTILITIES SHALL BE PROTECTED BY ALL APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - CONSTRUCTION IS RESPONSIBLE FOR PROTECTING ALL UTILITIES IN THE LOCATION SHOWN ON THIS PLAN.

- LANDSCAPE COORDINATION NOTES:**
- EXISTING AND PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL UTILITIES SHALL BE PROTECTED BY ALL APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

NO.	DATE	DESCRIPTION	BY	CHECKED
01	11/09/21	ISSUED FOR PERMIT	[Signature]	[Signature]
02	11/09/21	REVISED PER COMMENTS	[Signature]	[Signature]
03	11/09/21	REVISED PER COMMENTS	[Signature]	[Signature]



150 Andrew Dr. Jones Creek, GA 30099
 1 770 824-8824
 E. ets@ets-engineering.com
 GA Cert. of Public Works #RE0000424



KEVIN & J COMPANY
 NEW WAREHOUSE & OFFICE BUILDING
 1330 Capital Circle
 Lawrenceville, GA 30046

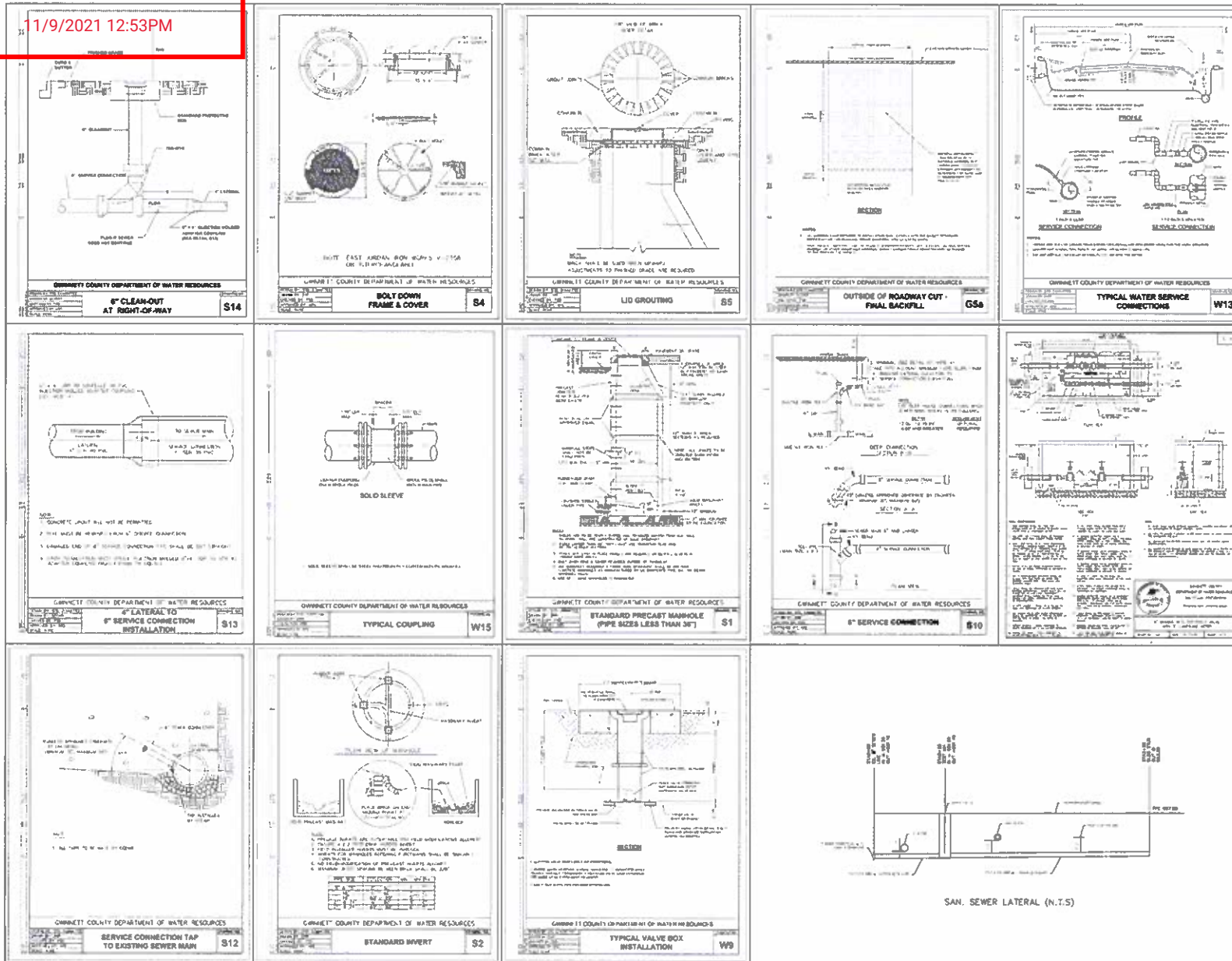
REV	DATE	DESCRIPTION	OWN	CHK.
01	11/09/21	ISSUED FOR PERMIT	[Signature]	[Signature]

UTILITY PLAN

PROJECT NUMBER	DATE
21-0517	09-09-2021
SHEET NUMBER	REVISIONS
C-4	

RECEIVED

1/9/2021 12:53PM



ET3 Engineering
 150 Albany Cherokee Area Comm. GA 30005
 770-838-6030
 E. et3eng@et3engineering.com
 GA Cert of Auth. No. PE000962

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KEVIN & J COMPANY
 NEW WAREHOUSE & OFFICE BUILDING
 1330 Cassville Circle
 Lawrenceville, GA 30043

REV	DATE	DESCRIPTION	DWA	CHK

CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

UTILITY DETAILS

PROJECT NUMBER 21-0517	DATE 09-09-2021
SHEET NUMBER C-4A	REVISIONS

RECEIVED

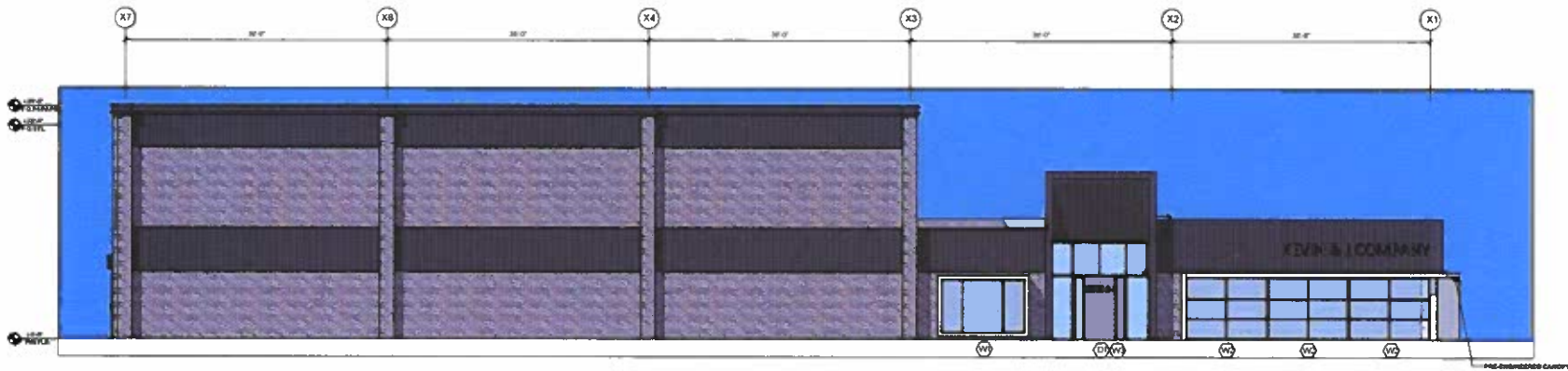
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BRICK TYPE AND NOMINAL SIZE

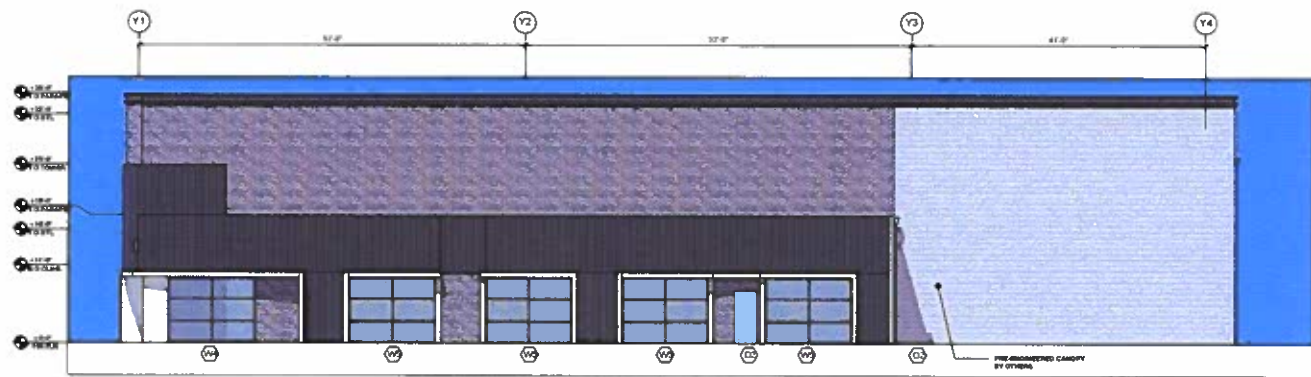
- NOMINAL SIZE**
A STANDARD METRIC BRICK HAS COORDINATING DIMENSIONS OF 1-5/8" x 2-3/4" x 7-1/4"
- ARCHITECTURAL SIZE**
WORKING DIMENSIONS (ACTUAL DIMENSIONS) OF 6 x 4 x 2-3/4"
- VERTICAL COURSE**
3 COURSES = 8"

Running Bond
Stack Bond
3 COURSES = 8"

- NOTES**
1. SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH BODY.
 2. ALL EXTERIOR MATERIALS TO BE SELECTED BY OWNER OR CONTRACTOR. IT HAS TO MEET THE REQUIREMENTS OF GWINNETT COUNTY.



1
A2.0
NW ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"
NOTES: 1. FINISH FLOOR ELEVATION = -0.00'



2
A2.0
NE ELEVATION (OFFICE SIDE)
SCALE: 1/8" = 1'-0"
NOTES: 1. FINISH FLOOR ELEVATION = -0.00'



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www.n-engineers.com

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1330 Capital Circle
Lawrenceville, GA 30043

REV	DATE	DESCRIPTION	BY	CHK

CLIENT: **LOWELL PROPERTY MANAGEMENT, LLC.**

TITLE: **BUILDING ELEVATIONS**

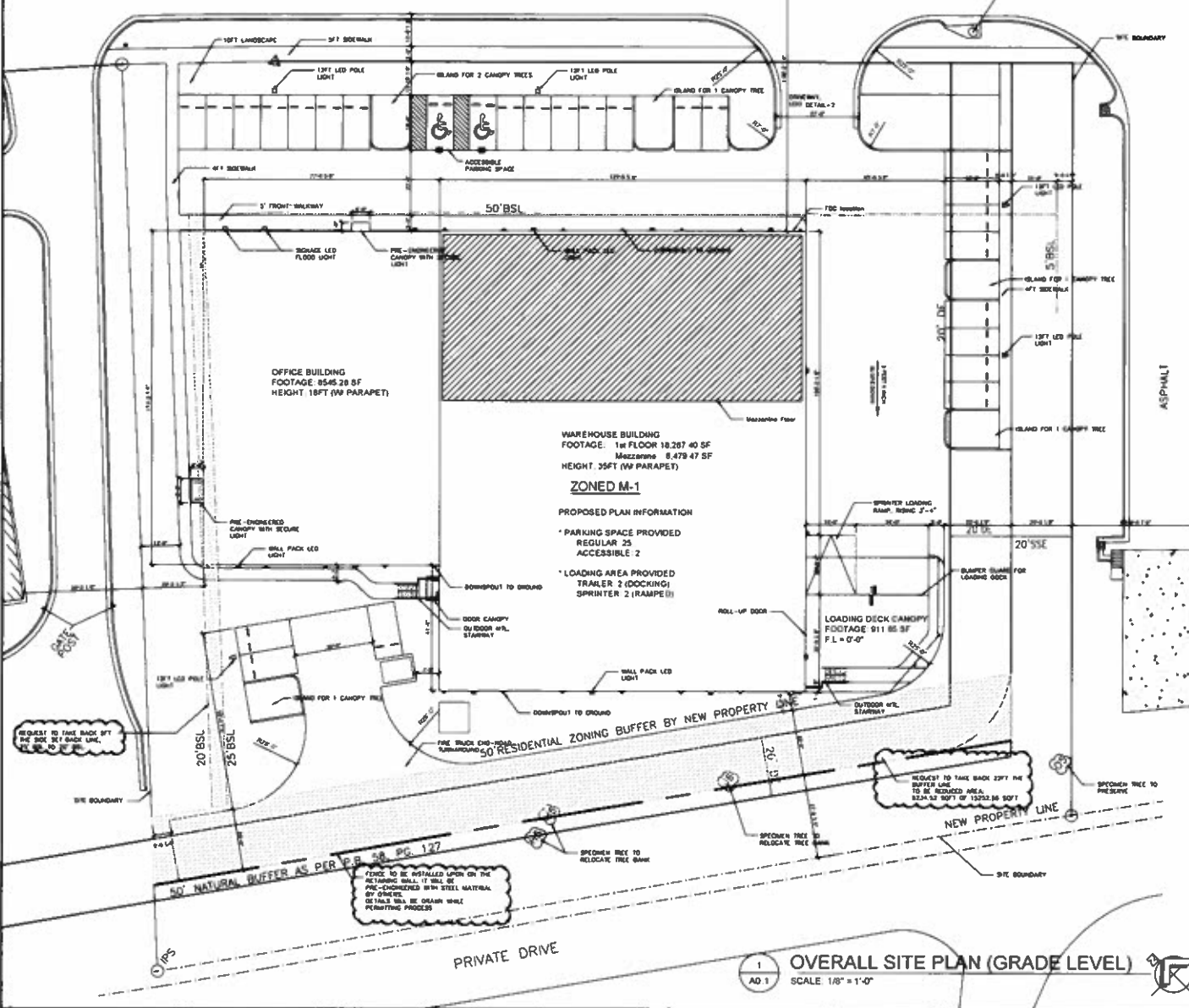
PROJECT NUMBER: 2021020	DATE: 04-07-2021
SHEET NUMBER: A2.0	REVISIONS:

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11/9/2021 12:53PM

CAPITAL CIRCLE
~60' R/W~



1 OVERALL SITE PLAN (GRADE LEVEL)
AD 1 SCALE 1/8" = 1'-0"

PROJECT INFORMATION

Engineer	NGCENGINEERS, LLC	Architect	Gwinnett County
Contact	Samir Choudhry PE	Department	Community Development Department
Phone	770 881 0823	Phone	770 781 2315
Email	samir@ngcengineers.com	Fax	770 781 2197
Address	426 Old Peachtree Rd NW Ste 105 Buckhead GA 30304	Address	146 EAST BASK ST STE 100 BURNINGHAM GA 30340
Client	LOWELL PROPERTY MANAGEMENT LLC		
Address	1130 CAPITAL CIRCLE LAWRENCEVILLE GA 30043		
Contact	Karen Arpa		
Phone	770 888 6460		
Email	karap@ngcengineers.com		

OCCUPANCY CLASSIFICATION

LSC

BUSINESS GROUP: 10
STORAGE GROUP: 31
MODERATE HAZARD STORAGE GROUP: 31-1
CLASSIFIED WORKER HEARING APPOINT

(PER TABLE 7.3.1.2 OCCUPANT LOAD FACTOR: NFPA 101 LIFE SAFETY CODE 2018 EDITION CHAPTER 7)

OCC TYPE	TIME	AREA (SQ FT)	OCC TYPE & B CT	OCC LOAD
1	OFFICE	8545.28	109	930
2	WAREHOUSE	24,766.87	50	1238
TOTAL		33,312.15		2168

CONSTRUCTION TYPE

IBC

EXISTING	TYPE A-B
SPRINKLER	YES
FIRE ALARM	NO

PROJECT SQUARE FOOTAGE

OFFICE AREA	CONSTRUCTION AREA
TOTAL AREA: 8545.28 SQ FT	TOTAL AREA: 24,766.87 SQ FT
CONSTRUCTION AREA: 8545.28 SQ FT	CONSTRUCTION AREA: 18,287.40 SQ FT
TOTAL AREA: 33,312.15 SQ FT	TOTAL CONSTRUCTION AREA: 23,074.80 SQ FT

NUMBER OF STORY: 2 STORY (MEZZANINE FOR WAREHOUSE)
137' 0" A - 1

- NOTE**
1. ALL WALL MOUNTED ELECTRICAL MECHANICAL, UTILITY METERS, AND OTHER UTILITY EQUIPMENT SHALL BE SCREENED. SCREENING HEIGHT SHALL BE EQUAL TO THE HEIGHT OF THE EQUIPMENT. SCREENING SHALL HAVE VEGETATIVE LANDSCAPE SCREENING SHALL BE PROVIDED IMMEDIATELY IN FRONT OF THE EQUIPMENT UNITS.
 2. ALL GROUND MOUNTED ELECTRICAL MECHANICAL, AND LIKE UTILITY EQUIPMENT SHALL BE SCREENED. SCREENING HEIGHT SHALL BE EQUAL TO THE HEIGHT OF THE EQUIPMENT. EQUIPMENT SCREENS SHALL HAVE A FINISH WHICH IS CONSISTENT WITH THE FINISH MATERIALS OF THE BUILDING FACADE, OR PROVIDE VEGETATIVE LANDSCAPE SCREENING IMMEDIATELY AROUND THE UNITS.
 3. EACH BUILDING AND ITS RELATIVE LOCATION TO PROPERTY LINES AND OTHER STRUCTURES SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) WITH GEORGIA STATE AMENDMENTS WITH REGARD TO THE HEIGHT AND AREA REQUIREMENTS OF IBC TABLES 504.3, 504.4, & 508.2 AND THE FIRE RESISTANCE AND HORIZONTAL SEPARATION REQUIREMENTS OF IBC TABLES 601 AND 602.

- SITE DEVELOPMENT NOTES AND REQUIREMENTS**
1. GENERAL CONTRACTOR SHALL MAINTAIN PUBLIC ACCESS AT ALL TIMES ALONG ALL GWINNETT COUNTY RIGHTS-OF-WAY.
 2. NO PARKING OR UNLOADING OF MATERIALS SHALL OCCUR WITHIN THE PUBLIC RIGHT-OF-WAY.
 3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STRUCTURES WITHIN THE PUBLIC RIGHT-OF-WAY AND SHALL REPAIR ANY DAMAGE CAUSED BY THE CONSTRUCTION ACTIVITIES TO THE PUBLIC RIGHT-OF-WAY AT THE GENERAL CONTRACTOR'S EXPENSES.
 4. GENERAL CONTRACTOR SHALL NOT RELOCATE ANY SIDEWALK OR MULTI-USE PATH WITHIN THE COUNTY RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE GWINNETT COUNTY.
 5. ALL STOP SIGNS AND STOP BARS SHALL BE PLACED BETWEEN THE PROPERTY BOUNDARY AND THE MULTI-USE PATH AS TO FACILITATE THE TRAFFIC STOPPING BEFORE THE MULTI-USE PATH.
 6. GENERAL CONTRACTOR SHALL MARK ALL CROSSWALKS AND MULTI-USE PATH CROSSINGS TO INDICATE THEM AS A PEDESTRIAN PATHWAY AFTER THE FINAL DRIVEWAY IS IN PLACE.
 7. ALL LANDSCAPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL CONSIST OF DROUGHT TOLERANT SPECIES.



1330 Capital Circle
Lawrenceville, GA 30043

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KEVIN & J COMPANY
NEW WAREHOUSE & OFFICE BUILDING

REV	DATE	DESCRIPTION	Drawn By

CLIENT
LOWELL PROPERTY MANAGEMENT, LLC.

TITLE
OVERALL SITE PLAN -GRADE LEVEL

PROJECT NUMBER	DATE
2021020	04-07-2021
SHEET NUMBER	REVISIONS
A0.1	

ISSUED FOR INFORMATION