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Gwinnett County Planning Division Change in Conditions Application Last Updated 5/2021

CHANGE IN CONDITIONS APPLICATION AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

PROPERTY OWNER INFORMATION*
NAME: LOWELL PROPERTY MAMAGEMENT, LLC
ADDRESS: 1310 CAPITAL CIRCLE
CITY: LAWRENCEVILLE
STATE: GEORGIA ZIP: 30043-5866
PHONE:
. PHONE: 404.389.9085
m

	ANT IS THE: ER CONTRACT PURCHASER
ZONING DISTRICTS(S): M-1 PARCEL NUMBER(S): R7044 233 ADDRESS OF PROPERTY: 1330 Capital Circle, Lav	ACREAGE: 1.94 acres
PROPOSED CHANGE IN CONDITIONS: (2) Per Zoning	Condition No. 2(a), Reduce rear yard buffer from 50ft to 28ft Condition No. 1(a), Increase Maximum Density from 12,200 sq.ft. area per acre to 17,171 sq.ft. of gross floor are per acre
RESIDENTIAL DEVELOPMENT: NO. OF LOTS/DWELLING UNITS:N/A DWELLING UNIT SIZE (Sq. Ft.):N/A GROSS DENSITY:N/A NET DENSITY:N/A	NON-RESIDENTIAL DEVELOPMENT: NO. OF BUILDINGS/LOTS:1 TOTAL GROSS SQUARE FEET:86,248 sq. ft. DENSITY:1.98 acres

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LEGAL DESCRIPTION 1330 Capital Circle, Lawrenceville, Georgia 30043

All that tract or parcel of land lying and being in Land Lot 44, 7th District, Gwinnett County, Georgia, and being more particularly described as follows:

Beginning at a ½ inch rebar fond on the Southwesterly right-of-way of Capital Circle, said point also being 563.32 feet in a Southeasterly direction from the intersection of said right-of-way and the Southeasterly right-of-way of Purcell Road; thence continuing along said right-of-way of Capital Circle, following a curve to the right, said curve having an arc distance of 50.28 feet and a radius of 1113.00 feet and being subtended by a chord bearing South 41°19'06" East a distance of 50.28 feet to a calculated point; thence continuing along said right-of-way South 40°01'27" East a distance of 262.36 feet to a ½ inch rebar found; thence leaving said right-of-way South 49°58'33" East a distance of 248.79 feet to a ½ inch rebar found on the Northeasterly side of a private drive; thence along said private drive North 49°46'00" West a distance of 304.84 feet to a ½ inch rebar found; thence leaving said drive North 47°38'42" East a distance of 299.49 feet to THE TRUE POINT OR PLACE OF BEGINNING.

Said tract or parcel of land containing 1.935 acres.

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CHANGE IN CONDITIONS APPLICANT'S RESPONSE STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

(A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

SEE, ATTACHED

- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:
 SEE, ATTACHED
- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:
- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:
- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN: SEE, ATTACHED
- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

SEE, ATTACHED

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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RESPONSE TO STANDARDS GOVERNING EXERCISE OF ZONING POWER

and

Other Material Required by the Unified Development Ordinance of Gwinnett County

Application for Change In Condition for KEVIN & J COMPANY/M. HAKIM HILLIARD

for

± 1.98 acres of land located at 1330 Capital Circle Lawrenceville, Georgia

Submitted for Applicant by:

M. Hakim Hilliard, Esquire Hilliard Starkey Law 260 Peachtree Street, NW, Suite 401 Atlanta, Georgia 30303 404.389.9085 (office) hhilliard@hstarlaw.com

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SUMMARY OF PROPOSED PROJECT

This is the application of Kevin & J Company/M. Hakim Hilliard (hereinafter referred to as the "Applicant"), the Applicant for the above-referenced application for change of conditions for approximately 1.98 acres of land located at 1330 Capital Circle, Lawrenceville, Georgia 30043 in Gwinnett County (the "Subject Property"). The Applicant currently operates a clothing distribution company next door to the Subject Property at 1310 Capital Circle for and, by this request, it seeks to expand its operation by placing an additional 33,312 sq. ft building on the Subject Property. To accommodate the construction of this building, the Applicant seeks to change two separate conditions associated with the Subject Property that were imposed when it was originally in 1988 (as a part of a larger tract of land) to accommodate the development of an office/distribution/business park. See, Gwinnett County Zoning Case Number RZ-59-88, attached hereto for your convenience. In particular, per Zoning Condition No. 2(a) imposed in 1988, the development of the site requires that a rear yard buffer of 50 feet be maintained. The Applicant seeks to reduce this buffer to 28 feet provided to accommodate the construction of a service drive to the proposed new building. In addition, per Zoning Condition No. 1(a), the Applicant seeks to increase the maximum density from allowed of 12,200 sq.ft. of gross floor area per acre to the 17,171 sq.ft. of gross floor area per acre required to accommodate its proposed new building.

The Applicant's development proposal is focused on expanding its existing business operation onto the Subject Property, but in a way that stays within the development plans of the business park where it is located. Consistent with its existing operation, its business will function entirely indoors,

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without any noticeable disturbance to any of its business neighbors in the industrial park, or any neighbors located on property contiguous to the Subject Property.

The Subject Property is located wholly within Commission District 1. In this regard, the Applicant looks forward to working with the District 1 Commissioner, the planning staff as well as the adjacent nearby residents and other community stakeholders to ensure that the development proposed herein is designed in a way that is beneficial to the community. In anticipation of these further discussions, the Applicant presents the following conditions as baseline standards for its project:

- (1) The Subject Property shall be developed substantially in accordance with the site plan filed contemporaneously herewith.
- (2) All lighting associated with the project shall be set so as to minimize the glare on adjoining properties.
- (3) The Subject Property shall be developed in accordance with the requirements outlined in the Gwinnett County Tree Ordinance.
- (4) The Subject Property shall be developed with appropriate buffers with the intention of mitigating the impact of the development of the Subject Property on adjacent and nearby properties.

The Applicant looks forward to continuing to work with all interested neighbors to discuss any and all additional conditions that respond to issues presented by the community.

(A)

WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes. The Applicant is unaware of any other land in the immediate area that is both available and suitable for the proposed use. The primary goal of land use planning is to eliminate or minimize the potential adverse effect of the dissimilar uses of adjacent tracts of land by establishing a harmonious transition between them. The traditional method of achieving this goal is through both "offsite" and "onsite" transition. Offsite transition consists of avoiding the placement of dissimilar

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which might either supplement or replace offsite transition, consists of measures imposed on or adjacent to the more intensive use to protect neighborhoods from adverse effects.

In the present matter, the Subject Property is located in a well-established, low-traffic, business park, off of Purcell Road in Gwinnett County. Other than the parcel immediately adjacent to the Subject Property which is owned by the Applicant, the other neighbors in the business parkw with similar low industrial uses. While the Applicant seeks permission to construct a building approximately 6,000 square feet larger than what is currently allowed, it is designed to look and function in a similar massing as scaling as the buildings currently occupied by its business partners.

Based upon the facts and circumstances regarding development existing in the area, and the development plan put forth by the Applicant in the foregoing request is suitable.

(B

WHETHER THE PROPOSED CHANGE OF CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No. On the contrary, the Applicant's proposed building addition is designed to function similar to its existing building next door. The activity associated with the business occurs indoors and there will not be any noticeable increase in traffic or activity associated with the new building. Fortunately, this business park was designed to be largely self-contained and not produce a noticeable impact on adjacent and nearby properties.

(C)

WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE OF CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The Subject Property cannot be economically developed by the owner as currently zoned.

Therefore, the Applicant, on behalf the owners of the tract of land at issue in this change of conditions application (the "Property"), respectfully submits that the Uniform Development Ordinance of

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Gwinnett County, as amended from time to time and known as the "Uniform Development Ordinance", to the extent that it classifies the Property in any zoning district which would preclude a change of conditions as proposed herein, is unconstitutional as a taking of property, a denial of equal protection, an arbitrary and capricious act, and an unlawful delegation of authority under the specific constitutional provisions later set forth herein. Any existing inconsistent zoning of the Property pursuant to the Uniform Development Ordinance deprives the current owner of any alternative reasonable use and development of the Property. Additionally, all other zoning classifications, including ones intervening between the existing classification and those requested herein, would deprive the current owner of any reasonable use and development of the Property. Further, any attempt by the County to impose greater restrictions upon the manner in which the property will be developed than presently exist would be equally unlawful.

Accordingly, Applicant submits that the current conditions of zoning the Applicant is seeking to amend herein, and any other zoning of the Property save for what has been requested by it as established in the Uniform Development Ordinance constitutes an arbitrary and unreasonable use of the zoning and police powers because it bears no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Property owners. All inconsistent zoning classifications between the existing zoning and the zoning requested hereunder would constitute an arbitrary and unreasonable use of the zoning and police powers because they bear or would bear no substantial relationship to the public health, safety, morality or general welfare of the public and would substantially harm the Property owner. Further, the existing inconsistent zoning classifications constitute, and all zoning and plan classifications intervening between the existing

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the owner's private property without just compensation and without due process in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia and the Due Process Clause of the Fourteenth Amendment of the United States Constitution and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States.

Further, the Applicant respectfully submits that the failure to approve the requested change of conditions would be unconstitutional and would discriminate in an arbitrary, capricious and unreasonable manner between the Property owner and owners of similarly situated property in violation of Article I, Section III, Paragraph I of the Constitution of the State of Georgia and the Equal Protection Clause of the Fourteenth Amendment of the Constitution of the United States.

Finally, the Applicant respectfully submits that Gwinnett County cannot lawfully impose more restrictive standards upon the development of the property than presently exist as to do so not only would constitute a taking of the property as set forth above, but also would amount to an unlawful delegation of their authority, in response to neighborhood opposition, in violation of Article IX, Section IV, Paragraph II of the Georgia Constitution.

This Application meets favorably the prescribed test set out by the Georgia Supreme Court to be used in establishing the constitutional balance between private property rights and zoning and planning as an expression of the government's police power, <u>Guhl vs. Holcomb Bridge Road</u>, 238 Ga. 322 (1977)

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(D)

WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES OR SCHOOLS:

Adequate stormwater management practices and construction methods will be employed as the project is developed. In addition, the impact upon utilities and schools are being studied as a part of the rezoning process, but the Applicant is confident that its development will not have an excessive or burdensome impact upon existing streets, transportation facilities, utilities or schools. The Applicant otherwise looks forward to any specific comments offered related to the proposed development plan filed herewith that may impact any of the facilities and/or services required to support the project.

(E)

WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The County's 2040 Unified Plan consists of a text and series of maps. The Plan is accompanied by a procedure to link changes in zoning with corresponding changes in the Plan in order to avoid repeating the situation in which a static land use plan and an evolving zoning map become increasingly out of step with each other. Thus, with an updated Plan in effect and a mandatory planning and zoning consistency mechanism in place, it is extremely important that any rezoning request, such as this one, be based on sound land use planning and comprehensive planning principles.

The Subject Property is wholly consistent with the Applicant's development plan, as well as the zoning district designation requested to accommodate the Applicant's proposed development.

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WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS

AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY

WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL

OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS:

Again, the primary goal of land use planning is to eliminate or minimize the potential adverse effect of the dissimilar uses of adjacent tracts of land by establishing a harmonious transition between them. In the present matter, while the Applicant proposes to develop a vacant piece of property, the thoughtful manner in which the development is planned accomplishes several important objectives in the County's 2040 Unified Plan without negatively impacting the existing and nearby uses. The scale, style and proposed functioning of the Applicant's proposed building will be an appropriate use project for the Subject Property.

The Applicant submits that its proposed development is wholly compatible with each of these adjacent and nearby uses, both existing and contemplated. As such, it is clear that this project will be supported by any new or changing conditions not anticipated by the 2040 Unified Plan.

CONCLUSION

Please know, for the past 19 years, Kevin & J Company has been offering high-quality, on-trend clothing, and accessories at affordable prices under its New square and Skillz brands to our local community. Unique among retailers, Kevin & J regularly awards scholarship money to its customers (See, examples attached), to demonstrate its on-going commitment to its customers and the communities it serves. During this time, it has been a proud member of the Gwinnett County community. For this reason, when it required more space to meet its needs, the Subject Property was the best solution. In appreciation to our customers, our company has decided to give back to our customers some of what we received.

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For the foregoing reasons, the Applicant respectfully requests that the Change of Conditions.

The Applicant also invites and welcomes any comments from adjacent and nearby communities, the planning staff of Gwinnett County and/or other officials so that any reasonable and appropriate conditions of approval can be added to this request.

M. Hakim Hilliard

For the Applicant

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PLANNING BOOK O

0666

CASE NUMBER RZ-59-88

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners held in the Berkmar High School Cafeteria, 405 Pleasant Hill Road, Lilburn, Georgia.

Present VOTE

Lillian Webb, Chairman

Ken Suffridge, District 1

Scott Ferguson, District 2

Mike Berg, District 3

Don Loggins, District 4

VOTE

On motion of $\underline{\text{COMM. SUFFRIDGE}}$, which carried $\underline{5-0}$, the following resolution was adopted:

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application to Amend the Official Zoning Map from R-100 to M-1

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PLANNING BOOK O

0687

CASE NUMBER RZ-59-88

by <u>OVESTCO CORPORATION</u> for the proposed use of
OFFICE/DISTRIBUTION/BUSINESS PARK (REDUCTION IN BUFFERS) on a
tract of land described by the attached legal description, which
is incorporated herein and made a part hereof by reference; and
WHEREAS, notice to the public regarding said Amendment
to the Official Zoning Map has been duly published in THE
GWINNETT DAILY NEWS, the Official News Organ of Gwinnett County;
and
WHEREAS, a public hearing was held by the Gwinnett
County Board of Commissioners onAPRIL 26, 1988
and objections were filed;
NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County
Board of Commissioners this the <u>26TH</u> day of <u>APRIL</u> ,
19 <u>88</u> that the aforesaid application to amend the Official Zoning
Map from R-100 to is hereby
APPROVED subject to the following enumerated conditions:

- 1. To restrict the use of the property as follows:
 - A. Office, warehouse, distribution and accessory uses at a maximum density of 12,200 square feet of gross floor area per acre zoned.
 - B. All lots shall contain a minimum of one acre.
- 2. To satisfy the following site development considerations:
 - A. Provide a 50-foot natural buffer, undisturbed except for approved access and utility crossings and replantings where sparsely vegetated, adjacent to all property lines where abutting residentially zoned property, so long as it remains residentially zoned. Such buffer shall be enhanced with evergreen trees and shrubs where sparsely vegetated. A wooden fence may be placed on either side of the buffer along the property line.

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PLANNING BOOK 8

CASE NUMBER __RZ-59-88__

0668

- B. Where the project abuts the Jackson Township subdivisions, there shall be an additional 25-foot wide buffer on the subject parcel side of the undisturbed buffer, which shall be permitted to be regraded and landscaped with evergreen trees and shrubs. The minimum height at planting shall be six feet for trees and three feet for shrubs.
- C. Provide a 25-foot wide landscape strip outside the new dedicated right-of-way of Purcell Road. Landscape strip shall contain a double staggered row of Virginia Pine trees, placed at a seven foot on center spacing, and to be at least five feet in height at time of planting. In addition, this landscape strip will be constructed so as to have a four-foot high landscaped earthen berm with a maximum slope of 3 to 1, subject to the approval of the Director of Planning and Development, along the entire length of the road frontage of the site (except for approved access crossings). Said improvements to be located outside of any public right-of-way.
- D. No more than one exit/entrance on Purcell Road.
- E. No billboards are permitted.
- F. Sign regulations as required by the 1985 Zoning Resolution shall be met as minimum standards for this development.
- G. Dumpsters shall be screened by a fence or wall. Such - wall or fence shall be constructed of materials compatible with the building exteriors.
- H. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent residential properties.
- Buildings shall be finished with architectural treatments of brick, stone, stucco or other masonry finish.
- J. Submit a landscape and tree protection plan for approval of the Development Division.
- K. Adjacent to the buffer against the Jackson Township subdivision, no building shall exceed one-story (22 feet maximum inside clearance). No loading or dock doors shall face this buffer area.
- L. All final site plans be submitted to the Planning Commission for its review and approval prior to the issuance of permits.

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PLANNING BOOK (

0669

CASE NUMBER __RZ-59-88__

- 3. To abide by the following requirements, dedications and improvements:
 - Dedicate at no cost to Gwinnett County, 40 feet of rightof-way from the centerline of Purcell Road.
 - Improve the following roadways along the entire property frontage from centerline to back of curb as follows:

26 feet from centerline of Purcell Road.

C. The location of the proposed street will be subject to the approval of the Department of Planning and Development.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: Silian Webb, Chairman

Charlotte G. Hash

RECORDED: 5-16-88

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PLANNING BOOK 6 0670

OVESTCO CORPORATION

20 ACRE TRACT ON PURCELL ROAD

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 44 of the 7th District, Gwinnett County, Georgia, containing 20 acres, as shown on plat entitled "Survey for OVESTCO CORPORTATION", prepared by Boyd, Hyer & Associates, dated May 9, 1985, and being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the intersection formed by the easterly side of Purcell Road (an 80-ft. right-of-way) with the northeast line of Land Lot 44; thence running southerly and southwesterly along the easterly and southeasterly side of Purcell Road, and following the curvature thereof, the following courses and distances:

S2 degrees 42 minutes 53 seconds W 109.37 feet to a point: S9 degrees 57 minutes 15 seconds W 104.53 feet to a point; S16 degrees 34 minutes 14 seconds W 116.86 feet to a point;

S22 degrees 5 minutes 20 seconds W 9.87 feet to a point on the southeasterly side of Purcell Road and THE TRUE POINT OF BEGINNING; FROM SAID TRUE POINT OF BEGINNING run S51 degrees 13 minutes 55 seconds E, a distance of 624.43 feet to an iron pin set on the northeast line of Land Lot 44 (which Land Lot line is also the southwest line of Land Lot 45; thence run S 30 degrees 29 minutes 35 seconds E along the northeast line of Land Lot 45, a distance of 1037.16 feet to a 3/4 inch iron thence run S 59 degrees 38 minutes 00 seconds W, a distance of 275.25 feet to a 1/2 inch alum. rod; thence N 49 degrees 59 minutes 22 seconds W, a distance of 300.11 feet to a 1/2 inch alum. rod; thence run S 60 degrees 54 minutes 01 seconds W, a distance of 153.95 feet to a point, thence run N 49 degrees 46 minutes 00 seconds W, a distance of 927.61 feet to a point on the southeasterly side of Purcell Road; thence run northeasterly, along the southeasterly side of Purcell Road, and following the curvature thereof, the following courses and distances:

N 21 degrees 46 minutes 20 seconds E, a distance of 372.93 feet to a point; N 23 degrees 58 minutes 05 seconds E, a distance of 348.18 feet to a point; N 22 degrees 05 minutes 20 seconds E, a distance of 45.49 feet to THE TRUE POINT OF BEGINNING.



HILLIARD STARKEY LAW

260 Peachiree Street, N.W., SUITE 401 Atlanta, Georgia 30303 404.389.9085

> M. HAKIM HILLIARD hhilliard@hstarlaw.com

October 20, 2021

VIA ELECTRONIC MAIL

Gwinnett County Department of Planning and Development One Justice Square 446 West Crogan Street Lawrenceville, GA 30046

> RE: Letter of Intent for Application for Change In Conditions 1330 Capital Circle, Lawrenceville, GA 30043 Tax Parcel ID Number: R7044 233

To Whom It May Concern:

This firm represents Kevin & J Company, the Co-Applicant with M. Hakim Hilliard (collectively referred to as the "Applicant"), the Applicant for the above-referenced application for change of conditions for approximately 1.98 acres of land located at 1330 Capital Circle, Lawrenceville, Georgia 30043 in Gwinnett County (the "Subject Property"). Kevin & J Company operates a clothing distribution company next door to the Subject Property at 1310 Capital Circle and, by this request, it seeks to expand its operation by placing an additional 33,312 sq. ft building on the Subject Property. To accommodate the construction of this building, the Applicant seeks to change two separate conditions associated with the Subject Property that were imposed when it was originally in 1988 (as a part of a larger tract of land) to accommodate the development of an office/distribution/business park. See, Gwinnett County Zoning Case Number RZ-59-88, attached hereto for your convenience. In particular, per Zoning Condition No. 2(a) imposed in 1988, the development of the site requires that a rear yard buffer of 50 feet be maintained. The Applicant seeks to reduce this buffer to 28 feet provided to accommodate the construction of a service drive to the proposed new building. In addition, per Zoning Condition No. 1(a), the Applicant seeks to increase the maximum density from allowed of 12,200 sq.ft. of gross floor area per acre to the 17,171 sq.ft. of gross floor area per acre required to accommodate its proposed new building.

In addition to the above, the Applicant is also requesting an administrative variance to reduce the required west side yard from 25 feet required to the 20.30 feet currently shown on its proposed site plan (highlighted in pink on the site plan) and a buffer reduction waiver

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The Applicant does not intend to construct a fence between the Subject Property and the property where it's existing business is located (contiguous to the Subject Property) at 1310 Capital Circle. The Applicant otherwise looks forward to working with planning staff to determine the appropriate fencing and landscaping which may be necessary for the rear yard and western side yard.

The Applicant looks forward to working on this request with the planning staff, the community stakeholders and other interested persons to discuss the project in more detail. We otherwise thank you for your thoughtful attention to the information provided herein.

11/

M. Hakim Hilliard

Cc: File

12/10/21 11:00AM

Gwinnett County Planning Division Change in Conditions Application Last Updated 5/2021

CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

10-21-202 Signature of Property Owner Type or Print Name and Title Signature of Notary Public **Notary Seai**

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Gwinnett County Planning Division Change in Conditions Application Last Updated 5/2021

CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Modelala	10/2012
Signature of Applicant	Date

M. HAKIM HILLIARD

AGENT/ATTORNEY

Type or Print Name and Title

Signature of Notary Public

Date

Notary Seal

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12/10/21 11:00AM

Gwinnett County Planning Division Change in Conditions Application Last Updated 5/2021

CONFLICT OF INTEREST CERTIFICATION FOR CHANGE IN CONDITIONS

	10/20/21	African follow
Signature of Applicant	Daté /	ype of Print Name and Title
1111	10/	
		M. HAKIM HILLIARD (Applicant/A
Attorney or Representative	Date /	Type or Print Name and Title
		NOA MASON
Mulba	/// 0.	O NOTA
Signature of Notary Public	10-21-2021	THE POLIC
anginature of frotary raphic	Date	Tuptary Sea
		1. 6
		COUNTY
	SURE OF CAMPAIGN CONT	
Have you, within the two years in campaign contributions aggreg Commissioners or a member of	mmediately preceding the fill	ng of this application, made a member of the Board of
Have you, within the two years in campaign contributions aggreg Commissioners or a member of	mmediately preceding the fill	ng of this application, made a member of the Board of g Commission?
Have you, within the two years in campaign contributions aggreg Commissioners or a member of	mmediately preceding the filipating \$250.00 or more to the Gylinnett County Plannir	ng of this application, made a member of the Board of g Commission?
Have you, within the two years in campaign contributions aggreg Commissioners or a member of	mmediately preceding the filipating \$250.00 or more to the Gylinnett County Plannir	ng of this application, made a member of the Board of g Commission?

Attach additional sheets if necessary to disclose or describe all contributions.

Gwinnett County Planning Division Change in Conditions Application Last Updated 5/2021

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VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR CHANGE IN CONDITIONS

THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

* NOTE: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.

PARCEL I.D. NUMBER: (Map Reference Number)	District	27 Land Lot	R7044 233 Parcel			
Signature of Applicant			961.12,2081			
Keun 3 V. Compa Type or Print Name and Title	my/M. Haka	u Hellipse	Date (Applicated)			
PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.						
	TAX COMMISSION	IERS USE ONLY	,			
(PAYMENT OF ALL PROPERT PARCEL HAVE BEEN VERIFIE BELOW)	Y TAXES BILLED T	O DATE FOR TH	IF ABOVE REFERENCED			
(PAYMENT OF ALL PROPERT PARCEL HAVE BEEN VERIFIE	Y TAXES BILLED T	O DATE FOR TH	IF ABOVE REFERENCED			
(PAYMENT OF ALL PROPERT PARCEL HAVE BEEN VERIFIE BELOW) Anta Flowers NAME	Y TAXES BILLED T	O DATE FOR TH	IF ABOVE REFERENCED			
(PAYMENT OF ALL PROPERT PARCEL HAVE BEEN VERIFIE BELOW) AntaFIDWEST	Y TAXES BILLED T	O DATE FOR TH	IE ABOVE REFERENCED RMED BY THE SIGNATURE			
(PAYMENT OF ALL PROPERT PARCEL HAVE BEEN VERIFIE BELOW) Anta Flowers NAME	Y TAXES BILLED T	O DATE FOR TH	IE ABOVE REFERENCED RMED BY THE SIGNATURE			

GWINNETT COUNTY PLANNING AND DEVELOPMENT **RECEIVED** SCALE : 1" = 50'THE REPORT OF THE PARTY OF THE 11/9/2021 12:53PM ZONING AS PER GWINNETT COUNTY, GEORGIA ZONED M-1 (LIGHT INDUSTRY DISTRICT) CAPITAL SITE BUILDING SETBACK REQUIREMENTS FRONT - 50' SIDE - 5' REAR - 50' P.O.B. 563.32' ALONG R/W TO THE R/W OF PURCELL ROAD (IF EXTENDED) LAKES MAXIMUM BUILDING HEIGHT - 45' MINIMUM LOT WIDTH - 150' OTHER BUFFERS MAY APPLY A=50.28' -R=1113.00' 41'19'06"E C=50.28' MAGNETIC ALL ISSUES OF TITLE ARE EXCEPTED ON THIS SURVEY UNLESS NOTED AS NO TITLE REPORT HAS BEEN PROVIDED VICINITY MAP (N.T.S.) LEGAL REFERENCES: P.B. 58, PG. 127 P.B. 86, PG. 88 P.B. 60, PG. 217A D.B. 52995, PG. 68 D.B. 50680, PG. 760 D.B. 50898, PG. 114 D.B. 50898, PG. 114 CROTTE PH GATE¹ N/F METRO ATLANTA WHOLESALES INC D.B. 50680, PG. 7 P.I.N. 7044 233 TRACT 2 7 N 47*38'42"E 1330 TPED VACANT LOT 50. __IPF 1/2"RB -SSMH S40°01'27"E __107.64 N/F LIGHTSEY, LOWELL F. D.B. 50898, PG. 114 **LEGEND** TRACT 1 (6) 1310 STOR MASONR N/F CAPITAL CIRCLE, INC. D.B. 14500, PG. 270 EP N49 58 33 E 27.50 N/F LIGHTSEY, LOWELL F. D.B. 9601, PG. 108— P.B. 60, PG. 217-A & P.B. 58, PG. 127 (PART OF LOT 6) AS PER "ESS & EXCEPT" IN D.S. 52995, PG. 68 D.B. P.B. PG. P.O.B. PL PWR RB SS SSMH TPED TYP WM N/F LIGHTSEY, LOWELL F D.B. 2901, PG. 128 TRACT 1 1.138 ACRES 49,608 SQ. FEET TRACT 2 1.935 ACRES 84,313 SQ. FEET FLOOD STATEMENT: THIS PROPERTY DOES NOT LIE WITHIN A FEDERAL FLOOD HAZARO AREA AS PER PANEL NO. 13135C 0072F DATED: SEPTEMBER 29, 2006 TOTAL AREA 3.074 ACRES THE SUPVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SUPVEYS IN GEORGIA AS SET FORTH BY IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.A. 15-6-67. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. OR EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON. 133,921 SQ. FEET NOTES: FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 5 SECOND THEODOUITE AND AN ELECTRONIC DISTANCE METER. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED MAS A CLOSURE PRECISION OF ONE FOOT IN 216,815 FEET AND AN ANGULAR ERROR OF OI SECOND PER ANGLE POINT AND WAS ADJUSTED BY LEAST SOURMES. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURES AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 332,945 FEET. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON, THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE CINCUMPARED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTINESS OR SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTINES. SURVEYOR'S CERTIFICATION TO "LOWELL PROPERTY MANAGEMENT, LLC. MORGAN CHASE BANK, N.A., FIRST AMERICAN TITLE INSURANCE COMPANY, CHS PROPERTY MANAGEMENT, LLC AND VARGO GROUP, LLC" INSURANCE COMPANT, CAS PROPERTY MANAGEMENT, LLC AND VARON GROUP, LLC HIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON MHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOHNTY, ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(g), 76(1), 8, 9, 11, 13, 14 & 16 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 23, 2016. DATE OF THE PLAT OR MAP:

LOWELL PROPERTY MANAGEMENT, LLC. MORGAN CHASE BANK, N.A., FIRST AMERICAN TITLE INSURANCE COMPANY, CHS PROPERTY MANAGEMENT, LLC AND VARGO GROUP, LLC

1310 & 1330 CAPITAL CIRCLE

COUNTY: GWINNETT LAND LOT: 44 DISTRICT: 7TH

PROJECT DESCRIPTION: ALTA-SURVEY FOR:

ADAM & LEE LAND SURVEYING

5640 GA. HWY. 20 S. LOGANVILLE, GA. 30052 (770)554-8995 FAX=(770)554-8134 www.adamandlee.com



	OFFICE: 8/29/16
	BY: DWJ
	FIELD: 8/22/16
//	BY: SRM
-))	SCALE: 1"=50'
٠//	SHEET #1 OF 1
"	16187

GWINNETT COUNTY

RECEIVED

12/10/21 11:00AM

	EXTERIOR M	ATERIA	L SCHEDUL	E
TAG	DESCRIPTION	MANUFACTURER	COLOR / MODEL	REMARKS
BR-1	BRICK (OTHER THAN BR-2)	GENERAL SHALE	SHADOWFIELDI STANDARD SIZEI RUNNINI	3 BOND
BR-2	BRICK (OTHER THAN BR-1)	GENERAL SHALE	MIDNIGHT MIST/ STANDARD SIZE/ RUNNIN	G BOND
FC-1	FIBER CEMENT PANEL	JAMES HARDI	SILVER HERRING REVEAL PANEL WITH RE	CESSED
ZN-1	ZINC METAL WALL PANEL	MS METAL SALES	MATTE BLACK/PVDF FINISH	
RA-1	ROOF ACCESSORY-METAL COPING	PAC-CLAD	BLACK	
RA-2	ROOF ACCESSORY-DOWNSPOUT		DARK BRONZE	
RA-3	ROOF ACCESSORY-SCUPPER		DARK BRONZE	
SV-1	STONE VENEER	BUECHEL STONE CORP	BARNWOOD BLUE ASHLAR	
C-1	CUSTOM FRP CORNICE	WORTHINGTON MILLWORK	WHITE	
FW-1	FAKE WINDOW			

BRICK TYPE AND NOMINAL SIZE

NOMINAL SIZE:
 A STANDARD METRIC BRICK HAS COORDINATING DEMENSIONS OF 7-58" Y 3-516" Y 2-1/4"
 ARCHITECTURAL SIZE:
 WORKING DIMENSIONS (ACTUAL DIMENSIONS) OF 8 X 4 X 2-2/3"
 VERTICAL COURSES 8 8"
 3 COURSES 8 8"



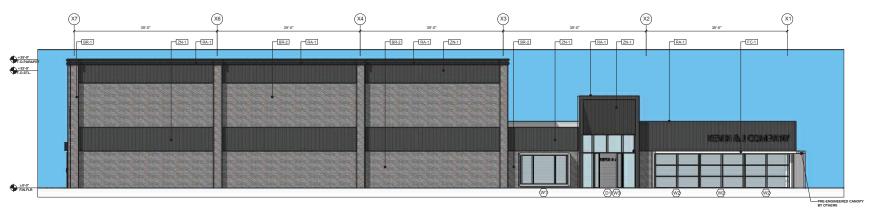






NOTES

- SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
- ALL EXTERIOR MATERIALS TO BE SELECTED BY OWNER OR CONTRACTOR. IT HAS TO MEET THE ORDINANCES OF GWINNETT COUNTY.



NW ELEVATION (FRONT) 1 A2.0 SCALE: 1/8" = 1'-0"



NE ELEVATION (OFFICE SIDE) 2 A2.0

DATE 04-07-2021 REVISIONS

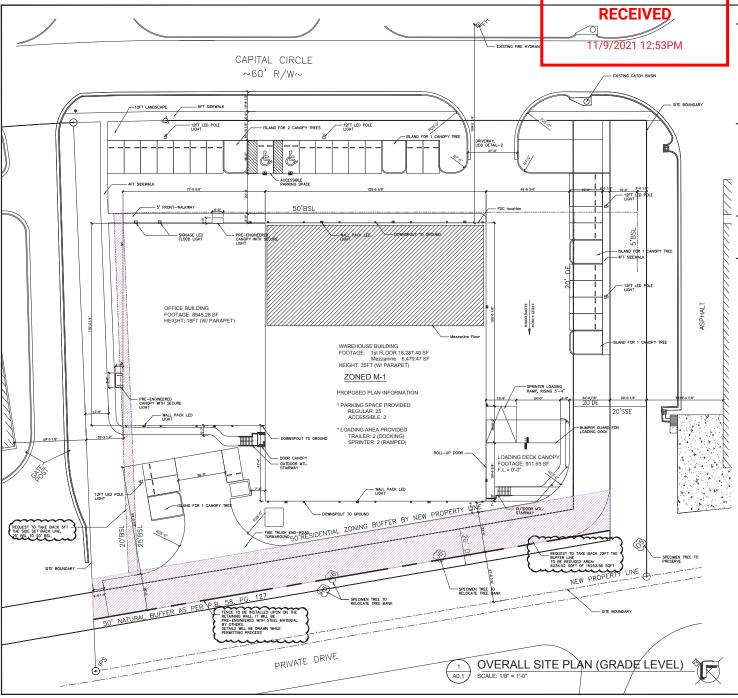
KEVIN & J COMPANY NEW WAREHOUSE & OFFICE BUILDING

10.26.21 SSJEDFOR INFORMATION ES SJ REV. DATE DESCRIPTION DWN. CHK

LOWELL PROPERTY MANAGEMENT, LLC.

BUILDING ELEVATIONS

2021020 SHEET NUMBER A2.0



PROJECT INFORMATION

Engineer: N-GINEERS. LLC Gwinnett County Sung H. Chung, PE 770.891.0023 Phone: 770.781.2115 770.781.2197 sung@n-gineers.co 450 Old Peachtree Rd NW, Ste 105 Suwanee, GA 30024 110 EAST MAIN ST. STE.100 SUMMING, GA 30340

1310 CARITAL CIR LAWRENCEVILLE CA 30043

Contact: Kevin Jang 770.986.4160 Email:

Phone:

OCCUPANCY CLASSIFICATION

LSC BUSINESS GROUP 'B

STORAGE GROUP 'S'
MODERATE-HAZARD STORAGE, GROUP 'S-1' - CLOTHING, WOOLEN WEARING APPAREL

(PER TABLE 7.3.1.2. OCCUPANT LOAD FACTOR, NFPA 101 LIFE SAFETY CODE 2018 EDITION, CHAPTER 7.)

UUL.ITPE	PARE	AREA (SQ.FT.)	UUG. TTPE (LS.U.)	UUG. LUAD	
В	OFFICE	8,545.28	150	57	-
S	WAREHOUSE	24,766.87	500	50	-
	TOTAL	33,312.15		107	-

CONSTRUCTION TYPE

IBC SPRINKLER -YES FIRE ALARM-

PROJECT SQUARE FOOTAGE

OFFICE AREA TOTAL AREA 8,545.28 SQ. FT CONSTRUCTION AREA 8,545.28 SQ. FT. WAREHOUSE AREA TOTAL AREA 24,766.87 SQ. FT CONSTRUCTION AREA 18.287.40 SQ. FT 33,312.15 SQ. FT TOTAL AREA: TOTAL CONSTRUCTION AREA 26.832.68 SQ. FT

NUMBER OF STORY 2 STORY (MEZZANINE FOR WAREHOUSE) ±35'-0" A.F.F.

- 1. ALL WALL MOUNTED ELECTRICAL, MECHANICAL, UTILITY METERS, ALL WALL MOUNTED ELECTRICAL, MECHANICAL, UTILITY METERS, AND OTHER UTILITY EQUIPMENT SHALL BE SCREENED. SCREENING HEIGHT SHALL BE EQUIAL TO THE HEIGHT OF THE EQUIPMENT. EQUIPMENT SCREENS SHALL HAVE VEGETATIVE LANDSCAPE SCREENING SHALL BE PROVIDED IMMEDIATELY IN FRONT OF THE EQUIPMENT UNITS.
- ALL GROUND MOUNTED ELECTRICAL MECHANICAL AND LIKE UTILITY EQUIPMENT SHALL BE SCREENED. SCREENING HEIGHT SHALL BE EQUAL TO THE HEIGHT OF THE EQUIPMENT. EQUIPMENT SCREENS SHALL HAVE A FNISH WHICH IS CONSISTENT WITH THE FINISH MATERIALS OF THE BUILDING FAÇADE, OR PROVIDE VEGETATIVE LANDSCAPE SCREENING IMMEDIATELY AROUND THE UNITS.
- EACH BUILDING AND ITS RELATIVE LOCATION TO PROPERTY LINES AND OTHER STRUCTURES SHALL COMPLY WITH THE 2018. INTERNATIONAL BUILDING CODE (IBC) WITH GEORGIA STATE AMENDMENTS WITH REGARDS TO THE HEIGHT AND AREA REQUIREMENTS OF IBC TABLES 504.3 504.4 & 506.2 AND THE FIRE RESISTANCE AND HORIZONTAL SEPARATION REQUIRMENTS OF IBC TABLES 601 AND 602.

SITE DEVELOPMENT NOTES AND REQUIREMENTS

- GENERAL CONTRACTOR SHALL MAINTAIN PUBLIC ACCESS AT ALL TIMES ALONG ALL GWINNETT COUNTY RIGHTS-OF-WAYS
- 2. NO PARKING OR UNLOADING OF MATERIALS SHALL OCCUR WITHIN THE PUBLIC RIGHT-OF-WAY.
- 3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STRUCTURES WITHIN THE PUBLIC RIGHT-OF-WAY AND SHALL REPAIR ANY DAMAGE CAUSED BY THE CONSTRUCTION ACTIVITIES TO THE PUBLIC RIGHT-OF-WAY AT THE GENERAL CONTRACTOR'S
- GENERAL CONTRACTOR SHALL NOR RELOCATE ANY SIDEWALK OR MULTI-USE PATH WITHIN THE COUNTY RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE GWINNETT COUNTY
- ALL STOP SIGNS AND STOP BARS SHALL BE PLACED BETWEEN THE PROPERTY BOUNDARY AND THE MULTI-USE PATH AS TO FACILITATE THE TRAFFIC STOPPING BEFORE THE MULTI-USE PATH.
- GENERAL CONTRACTOR SHALL MARK ALL CROSSWALKS AND MULTI-USE PATH CROSSINGS TO INDICATE THEM AS A PEDESTRIAN PATHWAY AFTER THE FINAL DRIVEWAY IS IN PLACE.
- ALL LANDSCAPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL CONSIST OF DROUGHT TOLERANT SPECIES.



MGINEERS 450 Old Peachtree Road NW Suite 105

.wanee, GA 30024 (770) 891-0023 E: sung@n-gineers.com

COMPANY OFFICE BUILDING ∞ŏ **NEW WAREHOUSE**

∞

KEVIN

REV. DATE DESCRIPTION DWN. CHK

CLIENT LOWELL PROPERTY MANAGEMENT, LLC. INFORMATION

SSUED

OVERALL SITE PLAN -GRADE LEVEL

FOR I PROJECT NUMBER 2021020 04-07-2021 SHEET NUMBER REVISIONS A0.1

11/9/2021 12:53PM



CIVIL ENGINEERING PLANS

KEVIN & J COMPANY NEW WAREHOUSE & OFFICE BUILDING

GWINNETT COUNTY, GEORGIA



LOCATION MAP

SHEET INDEX

OTTEST THE	<u>- LX</u>
C-0	CIVIL COVER SHEET
C-1	SITE PLAN
C-2A	INTIAL EROSION AND SEDIMENTATION CONTROL PLAN
C-38	INTERMEDIATE EROSION AND SEDIMENTATION CONTROL PL
C-2C	FINAL EROSION AND SEDIMENTATION CONTROL PLAN
C-2C	EROSION AND SECURENTATION CONTROL NOTES
C-3E	EROSION AND SEGMENTATION CONTROL NOTES
COF	EROSION AND SECRIMENTATION CONTROL DETAILS
C-3	GRADING AND DRAINAGE PLAIL
C-3A	GRADING AND DRAINAGE DETAILS
C-38	GRADING AND DRAINAGE DETAILS
C3C	GRADING AND DRAINAGE DETAILS

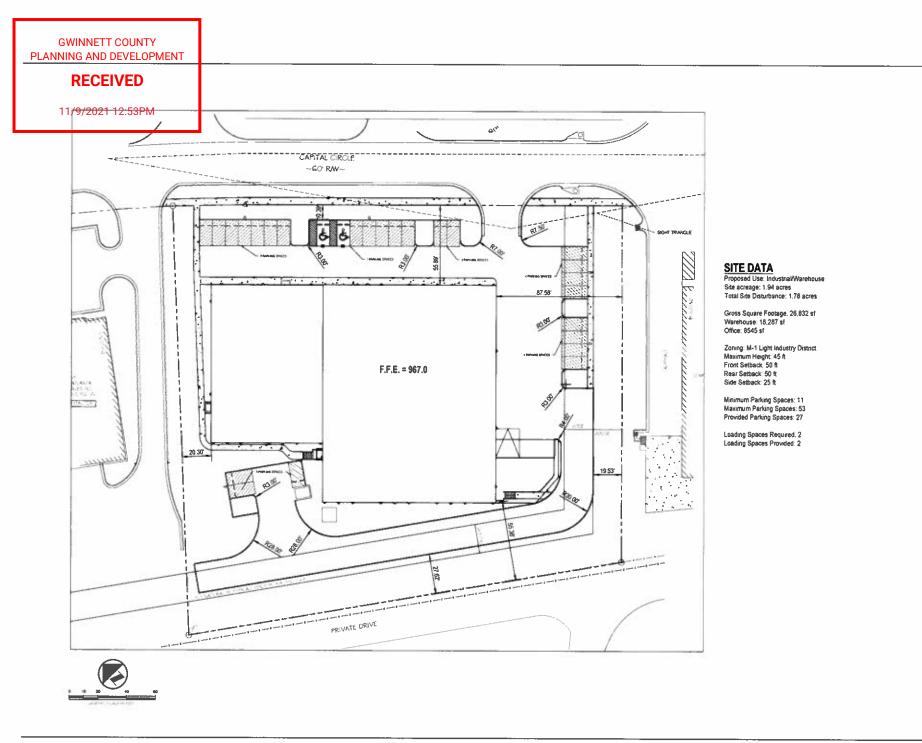
UTILITY PLAN UTILITY DETAILS NEW WAREHOUSE & OFFICE BUILDING

COMPANY

DATE DESCRIPTION DAME OF LOWELL PROPERTY MANAGEMENT, LLC

CIVIL COVER SHEET

PROJECT NUMBER 21-0517	09-09-2021
SHEET NUMBER	REVISIONS
C-0	





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KEVIN & J COMPANY
NEW WAREHOUSE & OFFICE BUILDING
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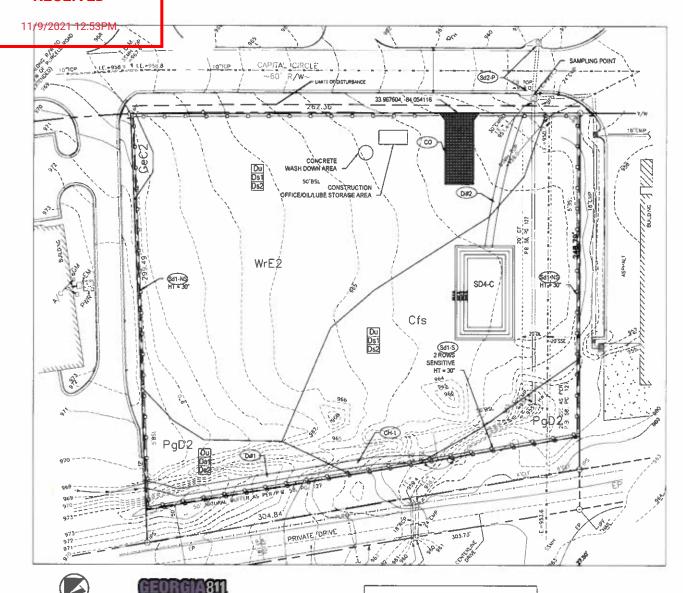
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SITE PLAN

PROJECT NUMBER	DATE
21-0517	09-09-2021
SHEET NUMBER	REVISIONS
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www.Georgiefill.com

Contact 811 halon you do



09/09/2021



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The 24 hour local contact for this site is Lowell Property Nanagement, U.C. Kevin Jang, 1310 Capital Ce Lawrenceville, GA 20043, sivitchevin@gmail.com, 770 804 4160

The private permisse is Lowel Property Management LLC. Kevin Jang. 1310 Capital Cir. Limitarium GA 30043. skitcheve@grass.com, 770 966 4160

Per 675 pages of the residence and a 32-25-250 starting

Landing and sectional and

MARKET OF THE PROPERTY CONTRACTOR ACTIVE

STORAGE CALCULATIONS (TEMPORARY SEDIMENT POND) 1 Dranage Area + 1 94 ac

- 2 . Required Sedment Storage = 130 cu yd = 3,510 cf (67 cylar, * 1.94 at drestage eree)
- 3 Assumed Excession Copts = 3.5 ft (minimum of 1.5 ft)
- 3 Determine Surface Area Requires SAmm = required sediment storage SAmm = 3.510cf / 3.5 R = 1.003 sf
- 5 Adaums shape of excelvation and determine dimensions (Approx. rucking/sers/supp. with 2 I langth to width ratio is reco Shape Rectangle Dimensions, Langth + 46 ft, Vricith + 24 ft.
- 6 Provided Storage = 4.032 pl. greater than the minimum of 3,510 cf

GACZ - GWANETT CLAY LOAN 8-10% SLOPES, ERODED
WEZ: - WEDDINGE SANDY LOAM, 10-25% SLOPES, ERODED
S - CHENNICLA SILT LOAN, 6-2% SLOPES, FREQUENTLY FLOODED
PSC: - PACOLET SANDY CLAY LOAN, 10-19% SLOPES, INDOERATELY ERODED

GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES GEORGIA SOIL AND WATER CONSERVATION COMMISSION STRUCTURAL PRACTICES STRUCTURAL PRACTICES

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INITIAL EROSION & SEDIMENTATION CONTROL PLAN

PEV DATE DESCRIPTION DWW DHK

LOWELL PROPERTY

MANAGEMENT, LLC.

21-0517 09-09-2021 SHEET NUMBER REVISIONS

C-2A

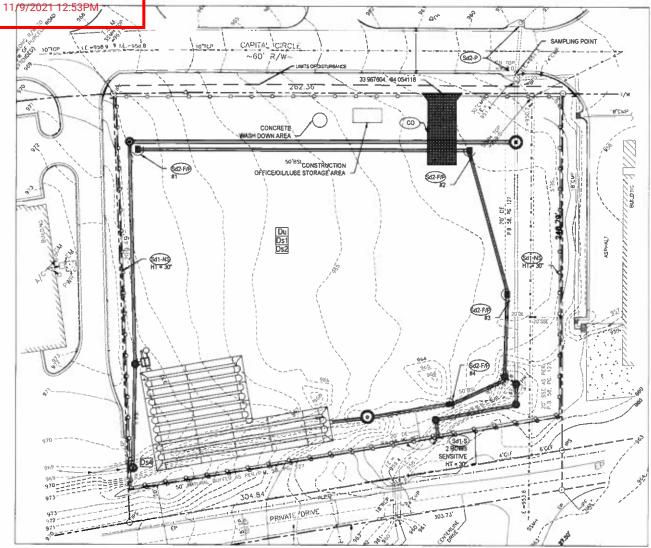
ET3 Engineering

555 Agithelie Overleux Jelles Croek GA, 30000 III p1781 8574-8828 E obsyker@otTongssownag.com GA Cost of Auth No PEF007662 to the open they may it to 1 the WALL This do noted and an equipal force area noted to be the distributed in the angular area of the county to sport of the Table and the county over some



COMPANY

NEW WAREHOUSE & OFFICE BUILDING Ø KEVIN





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The 24 hour local contact for this site is Lowell Property Management, U.C. Keven Jeng. 1310 Cupital Cir. Lawrenceville, GA 30043. skillSeven@gneal.com. 770 866 4160

The prevay permittee is Lovel Properly Menagement, LLC, Kever Jeng, 1310 Capital Cir. Laveresceville GA 30043, switcheve@gmad.com, 779 908 4160

The affiliation of the communities and it has been been as appears

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DESCRIPTION OF PROPERTY COST TRACTION ACTIONS

only while the exempty refers of the propel is a whitery of the topper today. Does maked this of Americans is, the Or Replace thinks private quite the low or private. The other amount occurs, while contained stress, contained, wh

STORAGE CALCULATIONS (TEMPORARY SEDIMENT PORE) - SQLEP #1 Assessed 1 Disanage Area #0 10 ac 2 Pepared Sectioned Storage +12 cs yd = 335 cf (67 cyter 10 18 oc drawnage asses) 3 Assurad Excustration Depth = 2 ft 3

- 3. Assumed Eucheldon (Depth = 2 ft (minimate) of 15 d.

 Ordermore Surface Alean Required
 SAmp = 13367 / 2 e 153 at

 5. Assume suape of eucoverboth and determine dimensions.
 Approve recompled shapes able 1,1 length to width ratio is incommitted
 Shapes Rectungles
 Demansions Lunger = 18 ft Widdle = 9 5 ft

 6. Provided Storage = 342 cf, greater than the minimum of 500 cf.

STORAGE CALCULATIONS (TEMPORARY SEDMENT POND) - SCLEP IT Allements 1 Drawage Area + 0.64 ac 2 Required Softmen 8 (30 pc) = 1161 cf

- 2. Regund Software Storage + 4 Solo pr = 1561 dt = 157 cpt = 157 dt = 1561 dt = 157 cpt = 157 dt = 1561 dt = 157 cpt = 157 dt = 1561 dt = 157 cpt = 157 cpt = 1561 dt = 157 cpt = 157 cpt = 1561 dt = 157 cpt = 157 cpt

STORAGE CALCULATIONS (TEMPORARY SECREENT POND): SICIAP #3 Alternate 1 Debrage Area = 6 17 ac

- 2 Required Sediment Storage + 12 cu yd + 308 cl (47 cyfac * 117 ac oranage area) 3 Assured Excavación Dago = 2 ft

- 3. Assumed Extension Dept = 2 th (member of 1 5 d) and Arap Reported SAme 1 30d of 12 th 15 de SAme 1 30d of 12 th 15 de 5. Adapter tables of electristical and deleterate dimensions. (Appas, Acategopier states on 2 11 length to excit table is accommended) beings Precision 1 to 4 th 15 de 15 de

- Fro-cost sorting* = 3.3.4.1; greater data for invariant or 330 ct 5 TORACE CLALA ACTIONS (TEMPORENT SEDMENT PCND) \$40,550 as a Assemble 1 Director Asset = 2.70 ct 5 TORACE ACTION (SEDMENT PCND) \$40,550 at 6 Assemble Clariform (Stronger = 4.70 at 6 + 1200 ct 67 Cytes* 1.70 at 6 destratings invariant 1.20 ct 7 Assemble Clariform (1.20 ct 7 Assemble Clariform (1.

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555 Ashvele Divertous: Johns Cress (LA 3000) T: 1770| 9574-9526 E etayaz@efivesgewenng.com GA Cest al Aubh Ino PEF007947



COMPANY & OFFICE BUILDING NEW WAREHOUSE ∞

REV DATE DESCRIPTION DWILLDHK

LOWELL PROPERTY MANAGEMENT, LLC.

INTERMEDIATE

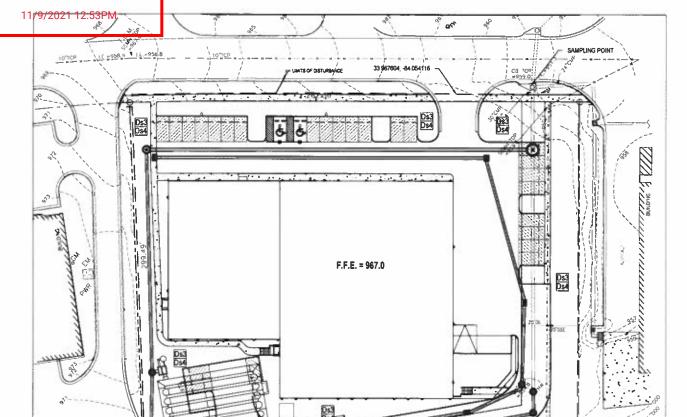
EROSION & SEDIMENTATION CONTROL PLAN PROJECT NUMBER 21-0517 09-09-2021

SHEET NUMBER REVISIONS C-2B











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COMPANY

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NEW WAREHOUSE & OFFICE BUILDING
1230Capal Cott
Linescorff, 63.3033

SITE ACREAGE = 1.94 ac TOTAL SITE DISTURBANCE = 1.78 ac Da3 ALL NON PAVED-DISTURGED AREAS

The 24 Interface) consist for this side is Lonel Property Menagement, LLC, Kevin Jang, 1510 Capital Cr Linearizando, GA 30043, skilzheve@gmail.com, 770 908 4180

The prinary primitive is Leviel Property Management, LLC, Kevel Jong, 1310 Capital Or. Lawrenceville GA 20043. shiftsevin@gmail.com. 770.986.4160.

The Indeletion Of Enson And Septembericon Control Measures And Precision Shad Octor Pier 1 to The Control Measures And Precision Shad Octor Pier 1 to The Control Telephone Control Telepho

The GPS location of the construction exit is 33 967604 -84 054116

OVERNETT EROSION & SEDIMENTATION CONTROL NOTES:

EXISTING SITE DESCRIPTION
The existing site is a vecant persely wooded industrial lot

DESCRIPTION OF PROPOSED CONSTRUCTION ACTIVITY
The proposed project consists of a warehouse building with adjunctivent eccess drive-ways perlang species and infrastructure

PROJECT RECEIVED WATERS
The USE's appreciate by Control County, which the receiveds waters of this project is a tribulary of the Upper Fallow Revision Countries County, which have received with a property which at is not an impaired purpose supports under the bor in critime. This other adjacent present, likes, residental areas, westerds, of with the Afficial Countries.





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PEV DATE DESCRIPTION DWG DW LOWELL PROPERTY MANAGEMENT, LLC.

FINAL EROSION & SEDIMENTATION CONTROL PLAN

21-0517	09-09-2021
C-2C	REVISIONS

SITE ACREAGE + 1.5 DEGEIVED

The 24 hour total contact for this site is Lowell Property Management, LLC, Kever Jano. 1310 Capta C Lemmonrille GA 30043, shiftness regions; susceptive LC Never Jong 1310 Capta C Lemmonrille GA 30043, shiftness regions cont. 770 906 4160

The printing perhatics a Conset Proprint Interagement, U.C. Never Jang, 1310 Captal Lemmonrievite GA 30043, shiftness@gmad.com, 770 906 4160

EXISTING SITE DESCRIPTION The existent size is a vacant carbable wooded industries as:

DESCRIPTION OF PROPOSED CONSTRUCTION ACTIVITY he proposed project consists of a werehouse building with appurturent access divensive

<u>PROJECT INCOMING WATERS</u>
The ISSA is operated by Committee County, white the recovering violates of the project is a brought of the Upper Televir Rheu toolstad SIO LF downstream is the elect of the project's which this is not an impaired these beginner under the bor in criterie. No other adjacent steems believe the confidence of the project of the

EROSION SEDIMENTATION AND POLLUTION CONTROL CERTIFICATES

"I carely that the permittee's Eroscon, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive-system of boot management practices required by the George Vieter Quality Control Act and the document Triangel for Eroscon and Seament Cortrol in Georges" (Manuall) published by the Georgia Soil and Water Conservation Commission as of January 1 of the year in which the tand-decurrence Conservation Commission as of January 1 or the year in which the lated-clearizing activity was permitted, provides for the lateroping of the solvening wasset(s) or the lampsing of the stortwaster outsits and that the designed system of best management productors and sampling methods is expected to meet the requirements contained in the General INPOES Permit No. GRAFICOUGH 1.

T carrier where contains of low that this Plan was precious after a site year to the locations.

EROSION SEDIMENTATION AND POLLUTION CONTROL NOTES The following statements are referenced from "Authorication to Crackarge Under the Nethone Pollutari Cacharge Binniston System Statements Cacharges Association will Constitution Address, for Stand Asine Developments" Cerosis Permit No GAP 100001 (as arge Under the National approaches. For Purposes of this plan ET3 Engineering U.C is line design professional of

- This is a common development project with a total acreege less their 50 acres. The initial plan data is Suptember 10m, 3021. Previsions are shown on individual sheets.
- The raid plant date discharative (INI, XXI. Thresholds are brown on inchedial phracies, well-write required plant plant buyer contraction activity alles the efficience sees of The permit on the project plant pl
- such that additional latine is in equipped.

 More-serving a circles patied in the contribution's when the '25 or '50-book undebuttend stream buffers as resourced from the point of ensested departation or water. 25-less of the casespillar manifested buffers are resistanced from the Jungaticensity Determination Latine However, they adopted the properties of the review of permission contribution of the reconsistency commercies and permission.

 The particular buffers are contributed with all cours on the project, therefore no buffer venture is such as the project.
- 6 The primary permitten(s) shall errend their Plan whenever there is a change in design. The princip permisses) shall arrents their man whenever their a 6 change in design, construction, operation, or representation, which has a specificate effect of BiRFs with a hydratic complement (i.e. those BiRFs where the design is based upon randfall enemary, duration and shall himpostary of storages in a of the Plan privings to be self-price on withmesting is significately minimizing publishes from sources identified shore Plan (iii) \$\text{2.5} Amendments to the Plan must be certainty of a steep professional as provided in \(\text{1.5}\).
- Whatte millionibit, including weete building meterate, shell not be decharged to visiters of the State, accept as authorated by a Section 404 permit.
- The State excited as Author/ord by a Siction A-74 perms. The session of reducers from the side shall be prevented by the installation of ensure and sedemant control measures and practices prior to lated disturbing activities. Schools of Emancine control measures will be mentioned at all the sizes. If it is implementation of the export-ord Pleas doze not provide for effective services control caldidates of occase and admirted control measures will be emplanment of control or three for sedemant securities.
- 10. Any disturbed area left exposed for a penod greater than 14 days shall be suppoped with
- 10. Any disturbed area bit is proceed by a connect greater than 1.4 shys shall be spatially dis-mutation to thereposity, seeding.

 11. Welstein of the disturbed is concrete trucks at the set or profibilistic Concrete vestations of the traces concrete merce challes. Response and the report of velocities of only to selected in a trace concrete merce challes. Response and the report of velocities of only the selected in a best free application of the seed of the board response and credent of the disoptional sense area of provinct the season sensitive from flowing from the season of the seed of the seed of the seed of the seed of the sense flower from the season of the seed of the sense. Concrete merce challes, response and the seed of velocities, (i) there were any con-et concrete research from the seed of the Seed Ocean one of Contrete Proficious Contrete seed on the seed of the se
- sections from the lates summarized print washing, selected by the function, 4 of 1 Permonal conceiver requirement from the superpolar was service and the selected of the contraction of the contraction

Nemation of implaces a for required in cases where implaces to be receiption and to deminister with relevant in describing of obligation, or wise explant of its product contribution of product poses title real to asterminister continuements stuch as finel products and residents exercise for outdoor sets.

All post continuements of the contribution of the products and residents exercise for outdoor sets.

All post continuements products from the side will be contributed to set of the product of the continuement of the contribution of devertion system.

- views quasar convexis after the indistriptional deletration system.

 All politisents from wells deletions procedure, set adoletion, instead and reason of proteinest products, converted truck velocities, dis, should say of freed occur, will be consolated by the independentation for interpretament procedure procedure for the interpretament procedure procedure for the interpretament procedure procedure for the procedure of the interpretament procedure procedure for procedure of the interpretament procedure and the procedure of the interpretament procedure of the interpre Ризвись врисвіс ринсьоні

Petroloum based products - contensors for products such as fuels, futnozots and term Péroteur based products : container los products such es bels, bonomis and prix val de inspected despré telés dans la glas lins autuleur entre elember and manimier dans évaporations and regular primeraires mantimisers of such equipment experient marinitativos questirs autoritativos productivos productivos productivos valor d'amango retifica a provintionos temporaris fucirios plans, shell lavie a sepondery contamiente lever la productivos temporaris fucirios plans, shell lavie a secondaria, contamiente lever la productivos temporaris fucirios plans, shell lavie a substituto contamiente de la productivos temporaris fucirios plans, shell lavie a substituto contamiente de la productivos temporaris fucirios de la productivo fucirios participante de la productivo de la contamiente de la productivo contamiente del discolar la requierció polici and productivo plans del productivo contamiente del discolar la requierció polici and productivo contamiente del discolar la requierció polici and productivo contamiente del social la requierció polici and productivo contamiente del productivo contamiente de

Paints/fessheutrokents - all products will be stored in spray seemed original co-when not in use survival products will not be discharged to the stormweller coll-ystem; worse product invalents used with these products and product overse be disposed of according to manufacturier's specifications and recommendation

role truck weshing - no concrete trucks will be allowed to week or decharge

Fertilizen/her/bitcites - these products will be applied at rates that do not exceed the manufacturen's specifications or above the guidalines set forth in the crop essablisher or in the grance menual for encoden and scalemant contact or Georgia, any storage of three materials will be under cool in second contact.

- Non-identivester decharges except for flows from fire lighting activities, yources of non-identivester from a 2 of the print to but are continued with all main is a 2 of the print to but are continued with alternative of a 2 of the print to but are continued as a 2 of the print to but are continued as a 2 of the print to but are continued as a 2 of the print to but are continued as 2 of the decharge remains for the non-internative components) of the decharge remains for the non-internative components of the decharge. Alternative DBMs 1 of alternative DBMs 1 are used on the project.
- 7. Americko BMPs: No alternative (BMPs) are used on this project.

 8. Developed not investment buildins application to state vietness. The same are state vietness, building of any other than 200 feet of the project user it is the responsibility of the owner and correspons to extend that is state vietness couldn's are encounteded upon.

 10. Development of or-vietness without and all state vietness writers. 200 feet of the project state. There are not overland or state vietness recorded on over vietness. 200 feet of the project state. It is not because of the owner of the contractive state vietness recorded on overvietness. 200 feet of the project state. It is not because of the owners of the contractive state vietness recorded on overvietness. 200 feet of the project state. It is not overvietness of the contractive state vietness recorded and the vietness recorded upon.

 2. According to Pitod Insuprove Pitol Vietness vietness date to be stated at the of C. Standards followers.

FRED. (VR.)	Pro-Developed Coefficient	Post-Developed Coefficient
2	0.9	0.6
10	0.5	0.0
75	6.5	0.6
100	0.5	0.6



- REPECTIONS AND RECORD NEEDING.

 I Each say when any type of consistation actually has labeled place at a parmary permitted as an orthodop permitted in the primary permitted as the control provided as the primary permitted as the sakes perpopulary process are general, used or handled for solid in all sales from vanerus and expensional and the place actions as the pointing and the sales are provided as the primary permitted as the primary permitted as the primary and the provided as the primary and the provided as the primary and an actual provided as the primary and the th
- Measure and record carded within disturbed areas of the sale that have not mur fine stablication once every 24 hours except any non-vorking Saturday, non-vorking Su and non-vorking Federal holdsly. The data collected for the purpose of complexes this permit shall be representative of the monopred activity. Measurement of revital
- and convoluting Falletin fricating y care gain, were remainded pathody. Measurement of martial may be premit whether for previoused and the most previoused of an interest martines are supposed at all reviews of the sele fivenes or the selection of selections of a selection of previous and as several, of the previous or the selection and as several, of these previous selections and as several of the previous or the selection of the second-involved or the following at least of the confidence of the following selection of the second-involved or the following selection of the selection of the second-involved or the second-involved or the second or the second-involved or the second-involv revising by: whorlever occurs hist, deluthed steek of the private permitters.

 The disvertisement is provided to the private permitter of the private permitters are exposed to precopation, and (c) amust and correct measures, discount and sections are sectionally in the private permitter of the p

- In a series of the properties for the region. The previous promotion is previously appropriate for the region. The previous promotion is the region of the properties and the properties of the properties and the properties of the properties and the properties a

MAINTENANCE
This plan includes a description of procedures to ensure the lanely imperiencence registron ensures and segment control measures and other protective measures.

SAMPLING REQUIREMENTS

SAMP MR RECOMPRISENTS

The permit requires the monatoring of nephetometers but dely in receiving valency, or outside in accordance with the permit requires the monatoring of nephetometers but dely many land disturbance are accordance with the construction of segle-full-informers which are not part of a subdivision in a part of a subdivision of segle-full-informers which are not part of a subdivision in a part of a subdivision of segle-full-informers or involve will be destined.

The following procedures constitute EPD's guidelines for sampling surpose

a Semalar Requestrants shall include the following

(1) A LISSE topographic map, a topographic map or a drawing preferred to as a topograph map) that is a scale equal to or more detailed from a 1.54000 map showing the location of the same of the same of the stand stance constitution, (a) the because of all previous and intermittent streams, and other values because is shown on a LISSE topographic map, and in other locations are subject to the same standard and intermittent to the same standard and sam personal and intermillent streams and other water

other located during mandetory field verification, into which the approvages is discharged and (b) the receiving water strator quality sampling locations. When the permittee has or to vide a USGS topographic map and the receiving water(s) is not shown on the USGS. Topographic map the location of the receiving waterpt) study be helip-drawn on the USGS topographic map from where the

riginitic map more water trap.

Additional map more water to the point where the recurring water(s) to the point where the recurring water(s) water (s) in the point where the property map.

(2) A written narrative of the specific ananyosal methods used to collect handle and apalicas (6). Where sampling participal to (a) (b) or (c) above is indused but not possible for not the samples including quality controlliquelty assurance procedures. This namebus must include précrite sampling methodology for each sampling location.

(3) When the permittee has determined that some or all outsits will be sampled, a recover must be included on the Plan for the ATU lamits) selected from Appendix ID. This rationals
must enclude the size of the construction size the collaboration of the size of the sortice water. (9). Eviding construction activities, i.e., those that are occurring or to before the effective drawings alon, and the type of recovering violents) (to _ trout stream or supporting viern violent financing, and (1) - viry soldstornal stromations. Exploration processory to be part of the Plan. EPD will provide written notice to the permitting of the information crossassing and the

- 0 Semple Typer All semaning shall be collected by "grain semples" and the analysis of Pleas samples must be concluded in secondaries with methodology and less procedures assistation by a 100°F Port 13 Entered volve less procedures Novo bear approved, the package adcusted adcustment talled "POPES them Neight Sempling Guidance Discussed, EPA 33-34-64. Oil "neighbors additioned accurrent, EPA 33-34-64. Oil "neighbors but may be presented by the EPP.
- (1). Sample containers should be labeled prior to collecting the sample
- C). Samples should be well mixed switch transferring to a secondary contains
- (3) Large mouth, well cleaned and revised glass or pleatic jers should be used for coloring samples. The jers should be cleaned thoroughly to avoid continentation.

(4) Men,will, automatic or namy stage semplany may be valicad. Samplan required by this point should be analyzed immediately, but, on the case later than 45 hours alter collection. However, samples from automatic semplant must be conflicted in that the him to accord to the collection of the properties of the collection of the collection. When the collection is suffered to the collection of the desired and the desired extracts contrained contrained analysis or activated cannot be activated cannot be activated and the collection of the desired and the desired and the collection of the collection of

correctly with a property calibrated furbidimeter. Samples are not required to be cooled

(5) Sampling and enalyses of the recoving water(s) or outsits beyond the minim frequency stated in this permit must be reported to EPD as specified in Part IV E

(1) For construction activities the primary permittee this it sample off increwing water(s), or a condition), or a condition (or a condition) of increment and increment and increment and increment and incrementation of the increment activity and representation of the victim quality of the receiving water(s) and/or the same activities activity and or presentation of the victim quality of the receiving water(s) and/or the same activities activities activities activities activities.

- (iii) The districtations between for each recovering selectly must be bearn characterism of the confusions of the last settlement of the company from the permission during (i.e., ii.d. discharing further permission of the selection of the selection of any other astermants described, or associated with the permission described, where performent several coverablement amenglas from accross the recovering solders; a may need to be belien and the architecture cherage of the arbitrates of these permissions are considered value.
- 186 ideals the semples should be taken from the horzontal and vertical center of the

(2) However where measual and automatic sampling are introsolder (as defined in this permit), or are beyond the permittee a context, the permittee shall take samples as soon as possible, but in no case more than hiere (12) hours after the beginning of the storm-water conceases.

(3) Sampling by the permittee shall occur for the following qualifying awards

- (a). For each area of the site that decharges to a recoving water in from an outfail, the first rain event that reaches or exceeds 0.5 inch with a bitchmeater decharge that occurs during while business bounds as defined on the potent all their of brevering and globarge programs. Now deep compressed, but plant to complete or firms grading operations, in the orthologies area of the location associated as the submying location.
- (bit im addition to (a) allows. But each even of the site that discharges to a recovery valide (im-prove an utility, the first feer event that needs to exceed \$1.5 acts with a stormwater concluppt that cours during revent demands have as a relief resid to the primer developed and suffer the first sampling event or affer all image springer previous have been composed to the first feer and a first, and a first and a first springer to event the control selected as the businging.
- (c) At the time of sampling performed gursuent to (a) and (b) above, if BMPs in any area of the late that decherges to a receiving sessor or from an outfall are not properly designed, statistics and maintened, corrective action shall be defined and implemented within two butteress offers, and fact-outful, samples shall be taken from discharges been that ever of the butteress offers, and fact-outful, samples shall be taken from discharges been that ever of the statement. site for each subsequent rain event that reaches or aucesta 0.5 mch during normal but hours' until the selected furcisity standard is attained, or until post-atorm event inspections determine that BMPs are properly distanced, installed and maintained.
- request because them was no discharge), the permises in accordance with Part.

 10 0.4 a (II). must scharge a written austication in the respection report of very sampling was not performed. Providing the justification disease for twice the permises of my autosequent. sampling obligations under (s), (b) or (c) above, and
- rel, colored control control colored c

"Home that the purintees may choice to meet the requirements of (a) and above by collecting farbolds samples from thy bin dwell that reaches or encedit 0.5 ench and allows for sampling all may take of the day set week.

PERPORTING.
The applications primitities for required to submit the sampling results to the EPO at the editions abover in Part 1 C. Or privilessed ridge of the more legislating properties of the properties of t

At samping reports shall include the following reformation.
The nimfell amount, date: exact place and time of sampling or measurements

- ornel who performed the sampling and pressurement
- The nemetals of the certified personnel who performed the sameting and investment. The district amount performed the performed the sameting and investment. The limital performs were districted. The territory of the certified personnel who performed the analyses. The sameting of the certified personnel who performed the analyses destination and within procedures, when analysis for the periphical techniques or

- Noots used.
 The return of such analyses, including the bench sheets, estimatest readouts, replace dates on tapes, usc, used to determine those results, estimatest readouts. Results which exceed 1000 HTU " and Confidence salement that sampling was consumed as per the Plan.
- 3 All entities commissionalence required by this permit shall be submissed by return report conflict making for smaller service) to the appropriate Distance Officer of the EPTD accounts and the permit of the system. The premits and select indicate a copy of the EPTD accounts of application of the permits of the system. The premits and entitled as one of the entities of the entitle of the entitle of the entitle of the entitle of the entities of the entities of entities of the entitle of the entitle of the entitle of the entities of the entities of the entities of the entitle of the entitle of the entitle of the entitle of the entities of the entities of the entities of the entitle of the entitle of the entitle of the entities of the entitle of the entities of the entitle of the entities of the entitie

In a size of the side is 1.94 socies, the particle sister dramage area is less than 5 square risks and the trooning aster is classified as a valent water. Everefore the allowage matching for this project is 75 ft ft.)

RETENTION OF RECORDS

Euro Laylor

Elleut Taylor, P.E.
Ceotrgle Professional Engineer Inc. PEG45622
Lavel 8 Cartifled Quelgn Professional — Cartifle
Expires 06/29/2024

- The primary permittee shall retain the following reports at the construction will or the The primary permittee shall retain the following reports at the construction will or the records shall be madely available at a designated element following from commencer of construction until such three as a NOT is submitted in occordance with Part VI.
- A copy of all hospice of intent submitted to EPD

 A copy of the Ensure. Sedimentation and Pollubon Control Plan required by this perm.
 The design professional's report of the results of this separation conducted in



66 Authorie Guestonia Johna Crissa (IA 300) I (779) 857 6-9829. E abouter@orlangenessing.com GA Cost of Aulis No. PEFG07642





YN∀ BUILDING $\overline{\Delta}$ ⋈ OFFICE ō Ō ∞ಶ **FOUSE** Ø WAREH EVIN

REV. DATE DESCRIPTION UNM JOH. OWELL PROPERTY

EROSION & SEDIMENTATION CONTROL NOTES

MANAGEMENT, LLC

21-0517 09-09-2021 SHEET NUMBER REVISIONS.

C-2D

CLEARING PHASE IN PRECEIVED and

The connector shall observe the project segaence shown on the plans. the contractor shall maintain careful scheduling and performance to ensure that land stepped of as saltural cover is exposed only $\frac{1}{2}$ $\frac{1}{$

The owner agrees to provide and maintain off-street puring on the subject property during

No staging areas: instends storage, concrete wish out areas, or detris burning and burist hours shall be facilitied within 500 feet of designated tree protection seems.

A grow of the approved lang disturbance place and cerms shall be present on the sale at all

Prior to commercing tend disturbance activity, limits of land disturbance shall clearly and accurately to district state with states indicate, or other appropriate means, and shall be economic to definitional with states indicate in other appropriate means, and shall be demandated for the dustmon of the continuous activity. He tend disturbance shall occur outside the limits indicated on the approved plans.

Phot to any other construction, a stabilized construction entrance shell be constructed at each point of entry to or as 4 from the aste or onto any public readway.

The following intell erosion control massures shall be implemented prior to any other

- The converting freeze orders control measures plants are impressed print to party control constitutions activity.

 1. The constitution exist shall be placed as shown on the plant.

 2. Invendestar shall be destinated when of constitution exit, all permeter ecoson control and stormwister messagement devices whall be installed as shown on the cleaning phase.
- eroson corers plan.

 Tree protection fencing shall be installed goor to the start of any land disturbing activity.

White sever (1) days after restallation of mala eroson control measures, the side contractor and scientists an interaction by the project design professional an other construction control measures. If a control c

After approval of sistes enterior control installation. The contractor may proceed with cleaning and gradients, as cleaning permits the contractor shell construct sectment points as shown on paths.

The contractor can utilize cleaned trace as better brush sediment control where shall grading acts one will not occur.

No burn or bury pile shall be permitted on the construction sale without written permittered by the owner and/or the engineer of record.

All sit fences must meet the requirements of section 171-temporary sit tenus for the cognitional of transportation, state of Georgie standard specifications, 1963 addon

Much or temporary growing shall be applied to all exposes areas within 7 days of land delivrisance, all delivrised areas lieft mulcred more than 30 days shall be stabilized with

Sediment and eroson control measures must be checked after each rain event, each device is 30 be interchanged or replaced if sediment accumulation has reached helf the capacity of the device. Additional devices must be notated if herr charmels have developed.

The construction exit whill be maintained is a condition which will prevent track or flow of intel drink public right-of-less? This may require periodic tep desiring with 11-37 of states is conditions derived, all meterials topland, droppind, validated or tracked from a vehicle only public road-lessy or rata latter date must be removed enteropolishy.

Contractor shall inspect erosion control measures at the end of each working day to ensure

Finish to rotal, operate of member all ensuon control measures soll result in all construction being stocoed on the site until such measures are corrected back to the approved plans.

GRADING PHASE NOTES

CHARLING PROSE TO LISS
Using construction the contractor shall maintain careful acheduling and performance to seasure that lend shapping of its netural ground cover is as posed only in small quantities, and transfer lend shallons before permanent ension prosection is explicitly to.

Earthwork operations in the vicinity of stream buffers shall be carefully controlled to avoid dumping at alonghing into the buffer areas.

Erosen control devices shell be installed immediately talks ground disturbance occurs, it is, the contractor's responsibility to accomplate estudion control firs all distingly patterns director as 4-anous states owing construction, and aller the begone of erosen control devices accompley. Any difficulty in controlling ensured large any phase of construction shell be reported to the decorp professional emmediately.

The contractor shall establish betters at the top of all slopes under construction. Cut and fe

Storm drain outsit prosection shall be proced at all outsit headwalls as soon as the headwall is constructed.

All discasps twelse and graded orbots shall be appliced with vegistable over as soon as final grade is achieved. Match or temporate grissang shall be applied to all exposed arries within 7 days of lind distantance. All discarded arrises left residently for more than 30 days shall be standard with temporary gloresing.

The contractor shall meintain the sediment gong unit permanent group sediment shall be cleaned put of the cond when it was he one that of the dect of the beau

Shifth or terregram present shell be assisted to the exceed arrang within 7 days of land. disturbance all disturbed aleas left matched for more than 30 days shall be stablished with DURBERD YNDOORNA

Sediment and emission combot measures must be checked after each rain event, each device 4 to be mentained or replaced if sedment accumulation has reached half the capacity of the device. Additional devices must be installed if new channels have governed.

Contractor shall inspect control measures at the end of each working day to ensure measures are functioning properly. The combraction out which he maintained in a condition which will prevent track or flow of much only pashe opti-d-very. This may require periodic log-dissaring with 17-3 of stone, as conditions perivants all meanines spilling coppied, vershed or tracead from a vehicle data bulbs readway or into shore draw must be removed

Failure to install, operate or maintain all erosion control maintains, will regult in all construction triang stooped on the job until such measures are corrected back to the authorized erosion control plans.

CONSTRUCTION SCHEDULE FEB 2022 MANCH 2022 APRIL 2022 ITAL PERMETER AND SEDMENT STORAGE BUPS LEARNIC AND GRUNDING ROSION CONTROL DEVICES PARING THERMARY NCCETATION NETRASTRUCTURE CONTRIDCTION (INCLUD. UTILITIES)



FINAL PHASE NOTES

First The contracts shall maintain the sadmant pand until permanent groundcover a establishe sediment shall be cleaned out of the pond when it naches one time of the dept of the brain all neckesy and perhang shoulders should be gressed as soon as fined grade is achieved.

Sediment and eroson control measures shall be checked after such sen event, such device is to the maintained or replaced if sediment accumulation has reached one half the capacity of the device. Additional devices must be installed if new shannels have developed.

Failure to visital, operate or maintain all erosion control integrums will result in all construction being stopped on the job until such measures are corrected back to the approved erosion coroor plane.

Upon completion of the project and receipt of the desplaces of completion, the contractor shall immove all temporary enough control measures and dispose of them unless noted opening on plants.

PERMIT COVERAGE

Their plan in as betan field-parts to best it the requestibility undus the state of decimina-decarbatiset of industrial seguintes, employed the profit color devision in the cost one. Partial for one and the state of an unfortunitation to dedicate understand expert the industrial decarbot quantities estate before a transfer to decarbot seguint the employer focus and constituction and their seguint of the cost o

MANAGEMENT PRACTICES AND PERMIT VIOLATIONS (PART III D)

- 1. Best management practices are required for all construction services and must be implemented in accordance with the diseast associations contained in the "minus for content and subject or contain of visiting to previous mode," and position of visiting to Georgia proper diseast, exhibitions, and minerinance of timps a shed constitute a complete defines to see year date to by the director or to any other allegation of noncompliance, were per in d 3 and part is d 4.
- 7. Failure to propurly direign, initiall, or resistant brrg's shall constitute a volation of the permit require velocities that less to considered a volation of during the counts of the permitter transfer inspections principles transfer which have represented the production requires an extension or the velocities of the states, the permitter shall be represented to the permitter and service or the volations of the volations or EUTP or acconditions only part of 2 of the permitted in the visit of the volations or EUTP or acconditions only part of 2 of the permitted or the visit of the volations of the volation
- 3 A discharge of storm water nardf flora dischards areas where being's have not been properly designed installed, and mentioned saled contable a separate vollation for sacting which with subsidiate from floration from sacting which with subsidiate from floration from sacting which with subsidiate from floration in the furthed of notioning increased more than ten (10) explorategets furthed with 5th waters classified as time, treament or more than 160 or floration. According to the voltage subproving water value over the sacting floration. farenes, regardless of a permittee's corplication under part 4 big, and part 4 b 3 h.

AUTHORICED DISCHARGES (PART I C)

- 1. All discharges of storm water associated with construction activity that will result in fand disturbance equal to or greater than one acre. part ι c 1 a
- 2 . All discharges covered by this permit shall be composed energy of storm water except as provided in pain i c 2 and pay is a 2 of the permit.
- Authorized mired storm water decharges part (i.e. 2
 A. The introdints abuse or activity other than construction is located on the same site as.
- A. The inflatibility shouldoor receiving other than construction is bacterial on the same size as the communication which yeard as an interpretability part of the construction school; B. This somments obscribings associated with inflatibility about the review of the size where continuous and-chools are occurring even or configuration with the terms of the primit C. Somm vallet obscribings associated with installabel policy from the arrang of the size where multiplied anxiety down the construction size occurring are covered by a different where multiplied anxiety down the construction size occurring are covered by a different where multiplied anxiety down the construction size occurring are covered by a different construction. where industrial activity other than construction are occurring any opversor by a street NPDES general paired or individual paired authorizing such decharges and the discharges are in completicly with a different NPDES paired.
- 4 The following nen-storm water discharges may be authorized by this permit previded the non-storm water component of the discharge is explicitly in the plan and is in compliance with part in 4.7 part is 4.2.
 A. Even security in the following in the previous properties of the previous properties.
- Fire fighting activities. Fire hydrant flushing.
- Potable water sources including water line flushing. Irageton diaming Air conditioning condensate
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 Uncontainerated ground valer, and
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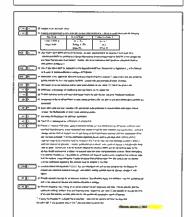
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B. Descharges that are that delined with sources of non-storm vester other than other piles which there are side of the statistic test of the side of the sid

COMPLANCE WITH WATER CLAUITY STANCARDS PART I C. 4. For dechanges authorized by the parms shall cause validations of Georgius in-assessmental quality standards as previous by the rules and regulations for water quality control. Chapter 301-3-5-03.









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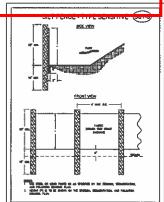
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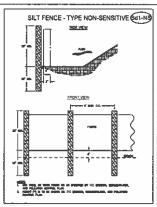
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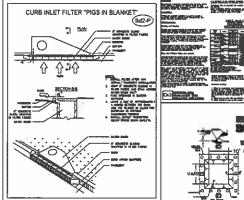
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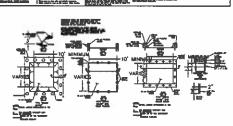
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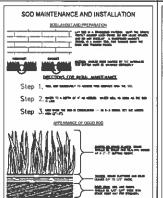


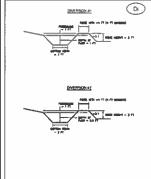
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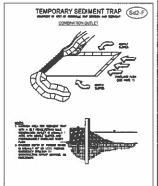
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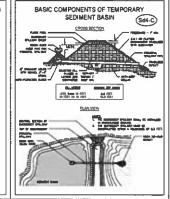
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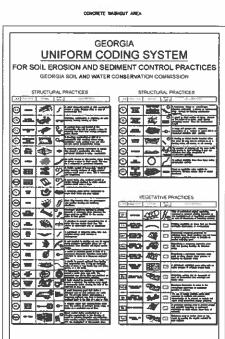






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555 Advisor Divertion James Creek GA 30005 F 1770; 9574-8028 E etrojot@elTvingbowing.com GA Cent of Ayes Inc. PEF007942



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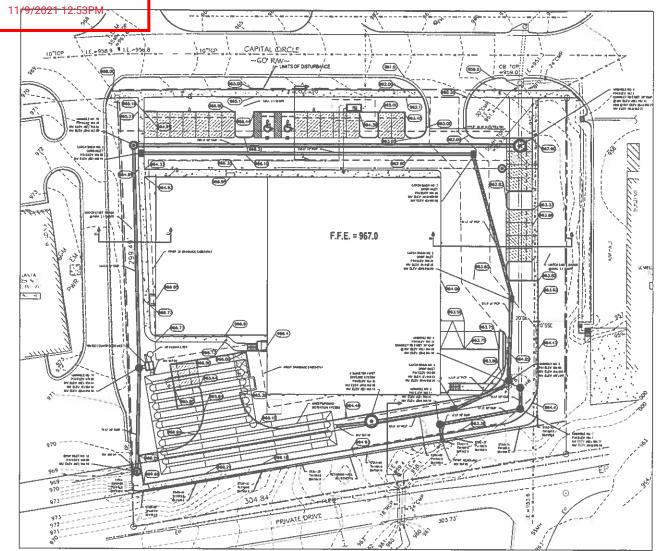
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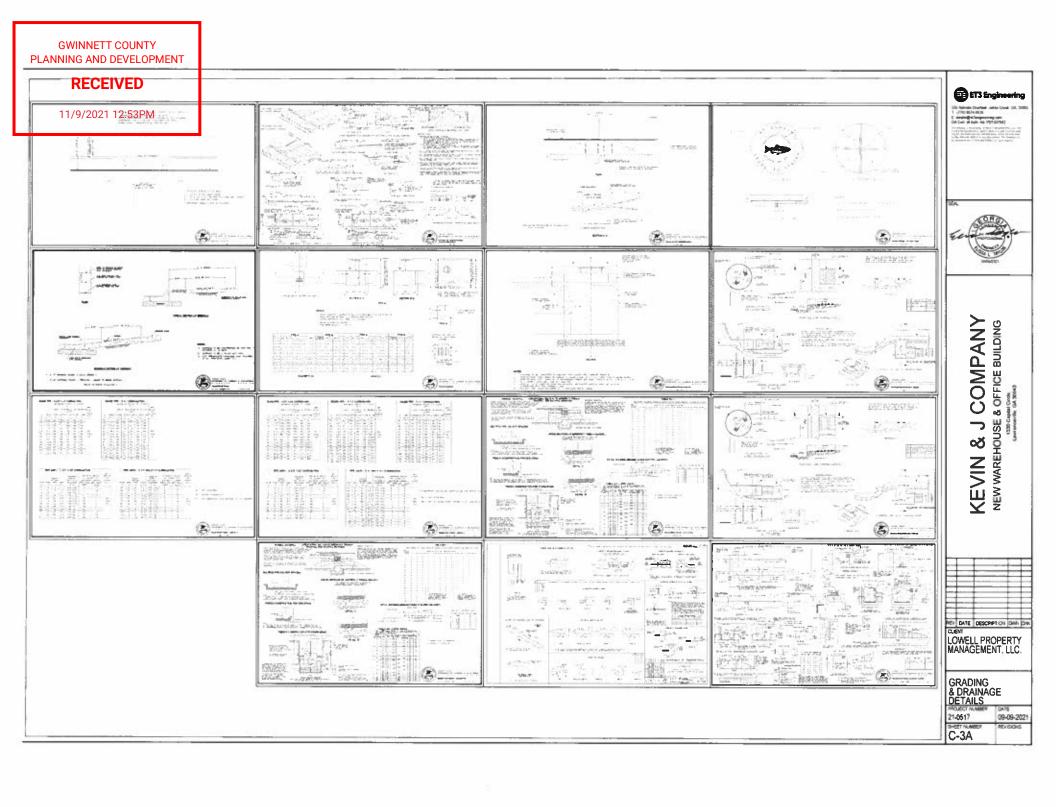
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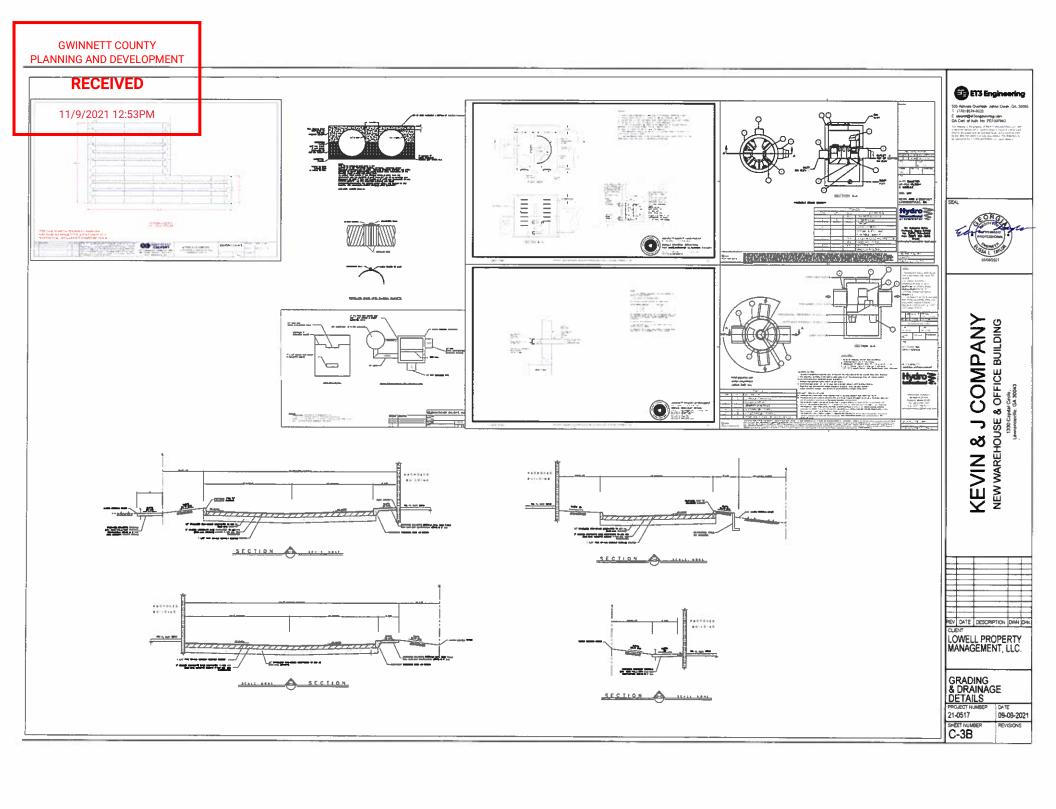
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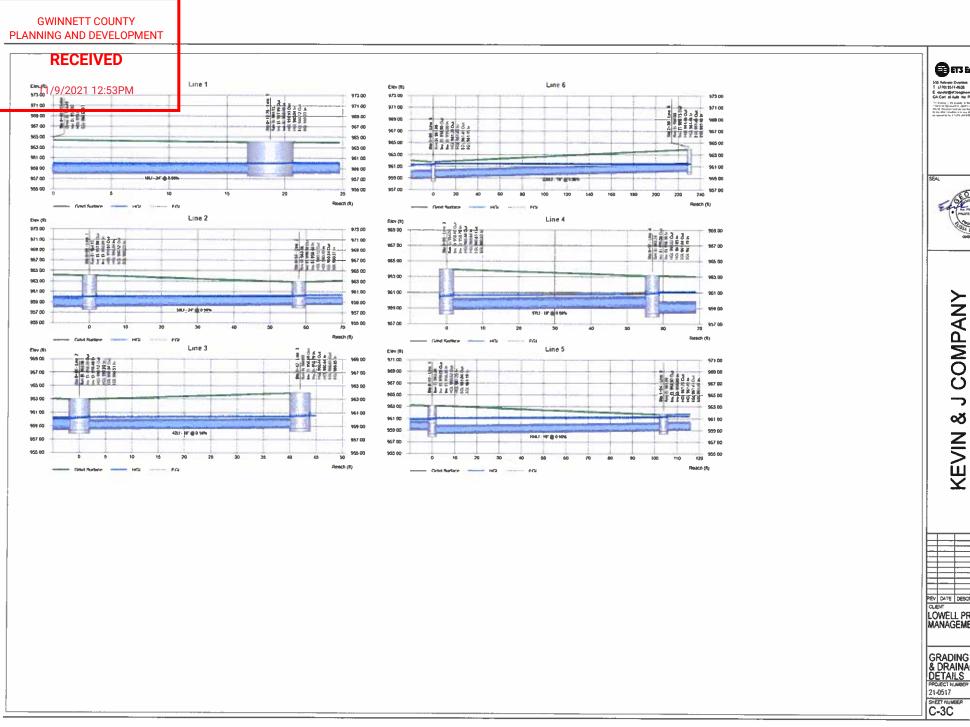
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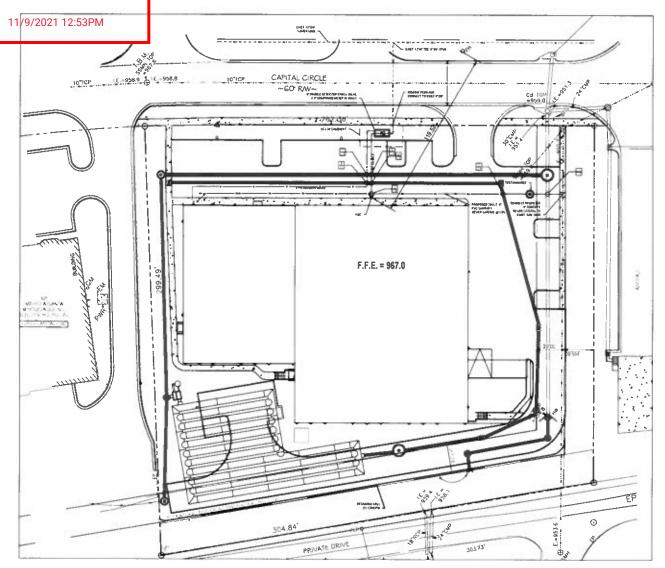
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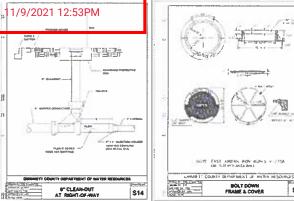
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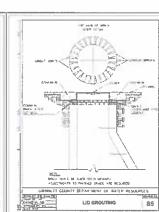
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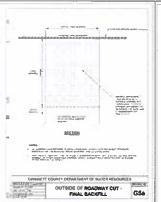
UTILITY PLAN

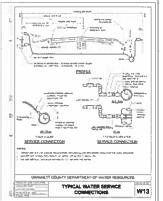
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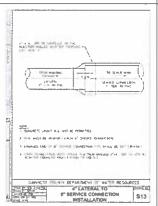
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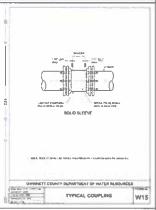




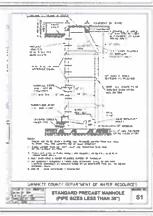


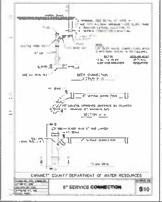


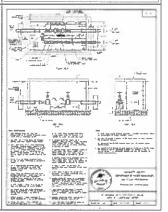




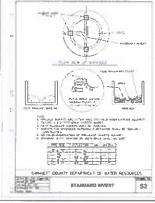
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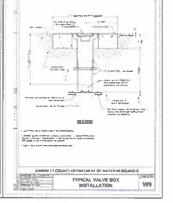


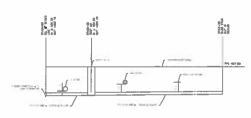












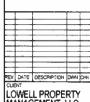
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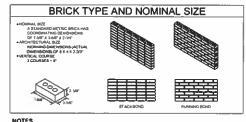
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NOTES

- SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN
- 2 ALL EXTERIOR MATERIALS TO BE SELECTED BY OWNER OR CONTRACTOR IT HAS TO MEET THE DROMANCES OF OWNER IT COUNTY

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