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REZONING APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
Century Communities of Georgia, LLC NAME: <u>c/o Parker Poe Adams & Bernstein, LLP</u>	NAME: <u>Deer Creek Properties, Inc.</u>
ADDRESS: <u>1075 Peachtree St, NE, Ste 1500</u>	ADDRESS: <u>3772 Smithtown Rd</u>
CITY: <u>Atlanta</u>	CITY: <u>Suwanee</u>
STATE: <u>Ga</u> ZIP: <u>30309</u>	STATE: <u>Ga</u> ZIP: <u>30024</u>
PHONE: <u>678-690-5732</u>	PHONE: _____
EMAIL: <u>shaunadams@parkerpoe.com</u>	EMAIL: _____
CONTACT PERSON: <u>Shaun Adams</u> PHONE: <u>678-690-5732</u>	
CONTACT'S E-MAIL: <u>shaunadams@parkerpoe.com</u>	
APPLICANT IS THE:	
<input type="checkbox"/> OWNER'S AGENT <input type="checkbox"/> PROPERTY OWNER <input checked="" type="checkbox"/> CONTRACT PURCHASER	
PRESENT ZONING DISTRICTS(S): <u>RA-200</u> REQUESTED ZONING DISTRICT: <u>OSC</u>	
PARCEL NUMBER(S): <u>R3007 005</u> ACREAGE: <u>54.59</u>	
ADDRESS OF PROPERTY: <u>Duncan Creek Road, Buford, Ga 30519</u>	
PROPOSED DEVELOPMENT: <u>Open Space Conservation - Single Family Detached Subdivision</u>	

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units <u>100</u>	No. of Buildings/Lots: _____
Dwelling Unit Size (Sq. Ft.): <u>2,500-3,163</u>	Total Building Sq. Ft. _____
Gross Density: <u>1.83</u>	Density: _____
Net Density: <u>1.83</u>	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

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Gwinnett

PRE-APPLICATION INFORMATION FORM

NOTE: Once the Pre-Application Meeting is complete, staff will provide the applicant with a signed copy of this form. This signed copy must be submitted with your official zoning/variance application.

Applicant Information:

Name: Scott Orbizo

Company: Century Communities

Mailing Address: 3091 Governors Lake Drive, Suite 200

City, State, Zip Code: Norcross, GA 30071

Phone Number: 470-344-2384 Email Address: Scott.Urbizo@centurycommunities.com

Project Summary:

Address of Project: Property ID R3007 005 Duncan Creek Road, Gwinnett County, Georgia

Name of Project: Duncan Creek

Application Type (Rezoning, Change in Conditions, Special Use Permit, Buffer Reduction, Variance, Other):
Rezoning from RA-200 to OSC with 2.2 DU/AC

Total Project Acreage: 54.54 Total Square Footage: _____ Total Number of Lots/Units: 119

Detailed Description (Include Proposed Use(s) and Square Footage of Floor Area for each use): _____

Single Family Residential 5500 SF Minimum Lot Size.

Pre-Application Information Form Submittal Checklist:

- Completed Pre-Application Information Form
- One PDF digital version of Concept Plan

For Internal Use Only:

Pre-Application Meeting Date: 3/22/2022

Staff Printed Name: SUSHMITA ARJYAL Signed: Sushmita Arjyal

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Gwinnett

PRE-APPLICATION MEETING MINUTES

Subject Property: Duncan Creek Road (R3007 005)

Application Type: Rezoning

Date: 3/22/2022

Attendees:

Name	Organization	Title	Email
Sushmita Arjyal	Gwinnett County Planning and Development	Senior Planner	sushmita.arjyal@gwinnettcounty.com
Carolina Angulo	Gwinnett County Planning and Development	Planner I	carolina.angulo@gwinnettcounty.com
Scott Urbizo	Century Communities	Applicant	Scott.urbizo@centurycommunities.com

Summary of Request:

- The applicant is proposing to rezone a 54.54-acre property located along Duncan Creek Road from RA-200 (Agriculture-Residence District) to OSC (Open Space Conservation District) for a single-family residential community.
- The applicant has stated that the outparcel indicated on the proposed site plan will be annexed into the city of Braselton.

Comments:

- The property is located within the Emerging Suburban Character Area of the 2040 Unified Plan which designates areas that are currently mainly residential, but have not yet matured into established communities due to relatively large amounts of remaining, undeveloped land. Potential development types include open space conservation subdivisions. More information about this character area can be found in [Chapter 5](#).
- The property is not within any overlay districts.
- Review the OSC dimensional standards in [Section 210-50](#). Submit a site plan that demonstrates compliance with the OSC zoning district:
 - Minimum lot size: 7,500 SF with sewer
 - Maximum net density: 2.5
 - Minimum lot width: 60 feet
 - Minimum front setback: 25 feet
 - Minimum side setback: 7.5 feet
 - Minimum rear setback: 30 feet
 - Minimum heated floor area: 1,400 SF
 - Minimum common area: 25%
 - Minimum building height: 35 feet
- Provide the following information on the site plan:
 - Gross and net acreage
 - Common area locations and calculations
 - Streets-- New streets and roadways must comply with [Section 900-20](#). Approved cul-de-sac streets may be no longer than 600 feet in length ([Section 210-50.14 A.](#))
 - Sidewalks labeled with typical width ([Section 900-90](#))
 - Required or proposed setbacks
 - Required or proposed buffers and transition areas ([Section 210-50.13](#))

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Structure setback – all proposed improvements including, but not limited to, driveways, dumpsters, parking facilities, pavement, or retaining walls will be located a minimum of 5 feet from any buffer (Section 610-20.4)

- Building locations labeled with square footage and height
- Building services and dumpster locations
- Required or proposed parking spaces (Section 240-20)
 - Minimum 2 spaces per dwelling
 - Maximum 6 spaces per dwelling
- Stormwater management facilities
- Drainage and utility easements
- Submit a Zoning Exhibit that includes the following information:
 - Location map
 - Plan showing applicable details
 - Specifications, calculations, and applicable percentages for conservation areas
 - Review Architectural Design Category 2. Provide color elevations of front, sides, and rear of all typical units, including proposed building materials, building heights and any other structures.
 - Other architectural and engineering data necessary to demonstrate conformity with applicable standards
- In the Letter of Intent, list all variances (Title 2) and waivers (Title 3) that will be applied for. Variances and waivers can be applied for concurrent with the rezoning and will be approved or denied by the Planning Commission/Board of Commissioners
- Relevant Links: [Rezoning Application](#), [Variance Application](#), [Waiver Application](#), [Administrative Variance Application, Procedures and Instructions, Deadlines, Previous Applications](#)
- To obtain information such as a Legal Description or Boundary Survey, complete an Open Records Request (see attached form).
- Be advised, the Verification of Current Paid Property Taxes must be signed by the Tax Commissioner Office.

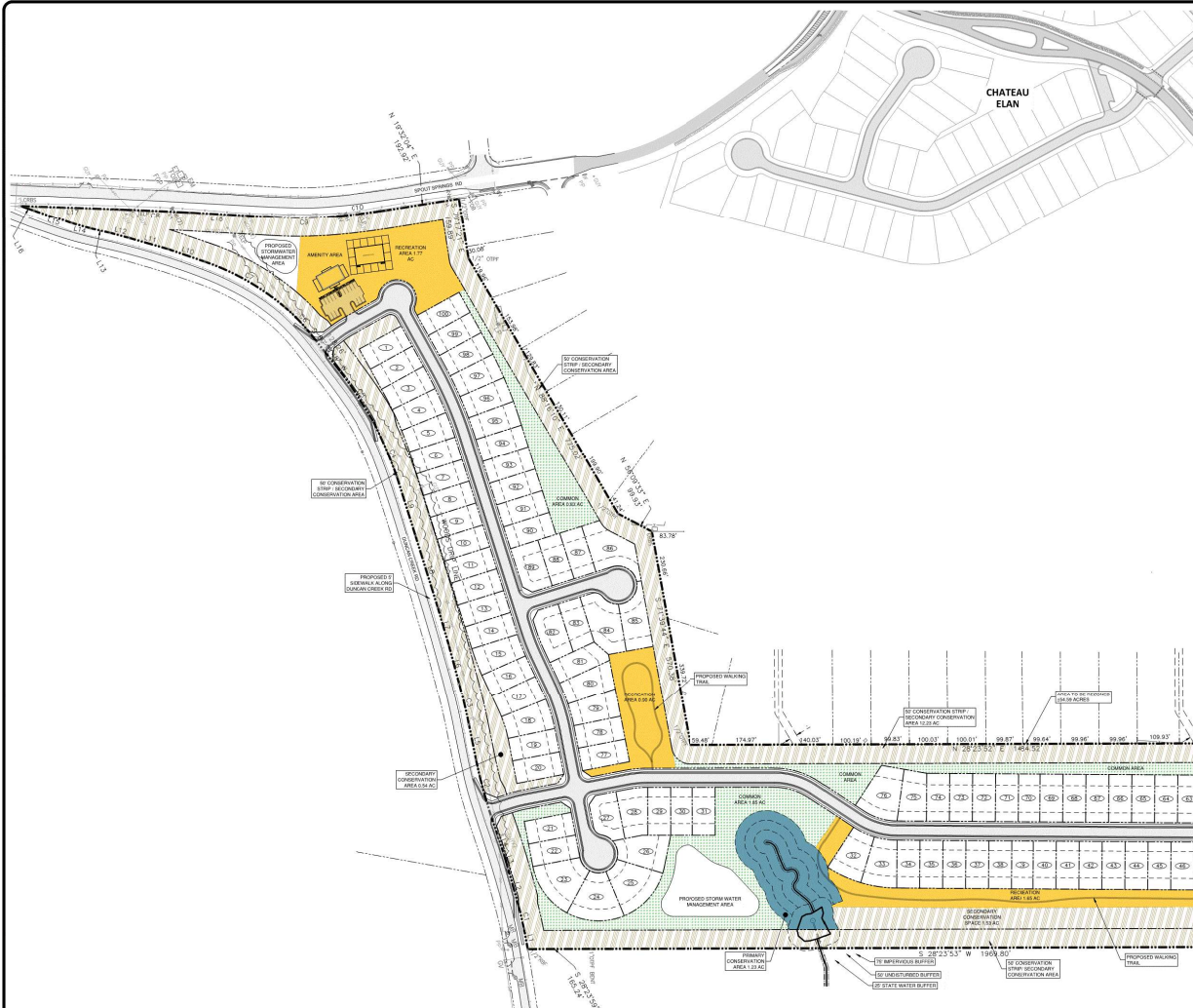
Schedule:

Application Deadline: 4/7/2022

Withdrawal Deadline: 5/13/2022

Planning Commission Meeting: 6/7/2022 OR 6/8/2022

Board of Commissioners Meeting: 6/28/2022



CONSERVATION AREA NOTES:

SITE AREA: 699.2 ACRES
 TOTAL AREA: 454.59 ACRES
 PROPOSED AREA TO BE REZONED: 454.59 ACRES
 PROPOSED AREA TO REMAIN AS CURRENTLY ZONED: 114.61 ACRES
 FUTURE RIGHT-OF-WAY TAKE: 10.35 ACRES

REQUIRED CONSERVATION AREA FOR THE 454.59 ACRE AREA:
 TOTAL CONSERVATION AREA: 25% TOTAL SITE (174.85 AC)
 PRIMARY CONSERVATION AREA: 15% MIN. OF TOTAL CONSERVATION (2.05 AC)

PROPOSED CONSERVATION AREA FOR THE 454.59 ACRE AREA:
 TOTAL CONSERVATION AREA: 117.47 ACRES (25.8% OF PROJECT AREA)
 PRIMARY CONSERVATION AREA: 10.37 ACRES (18.1% OF CONSERVATION AREA)
 SECONDARY CONSERVATION AREA: 114.30 ACRES (81.9% OF CONSERVATION AREA)

PROPOSED RECREATION AREA:
 TOTAL RECREATION AREA: 14.32 ACRES (7.9% OF PROJECT AREA)

PROPOSED COMMON AREA:
 TOTAL COMMON AREA: 16.80 ACRES (10.6% OF PROJECT AREA)

PROPOSED TOTAL OPEN AREA: 127.68 ACRES (50.7% OF PROJECT AREA)

VARIANCE NOTES:

* VARIANCE IS NEEDED TO EXCEED THE MAXIMUM ALLOWABLE CUL-DE-SAC ROAD LENGTH.

ZONING NOTES:

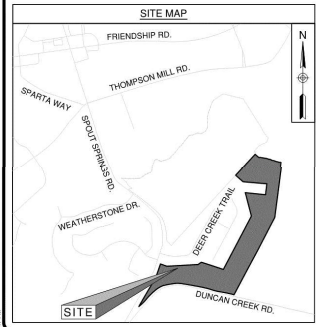
SITE AREA: 699.2 ACRES
 GROSS AREA: 454.59 ACRES
 AREA TO BE REZONED: 454.59 ACRES
 AREA TO REMAIN AS ZONED: 114.61 ACRES

SITE ZONING:
 EXISTING ZONING: RA-200 (GWINNETT COUNTY)
 PROPOSED ZONING: OSC (GWINNETT COUNTY)

ZONING REQUIREMENTS:
 MIN. LOT WIDTH: 60'
 MIN. AREA: 7,500 SQFT
 BUFFER AREA: 50' BUFFER SURROUNDING THE PERIMETER OF THE SITE.

BUILDING SETBACKS (PROPOSED):
 FRONT: 25 FT
 SIDE: 7.5 FT
 REAR: 30 FT

PROPOSED LOT SUMMARY:
 TOTAL PROPOSED LOTS: 100
 PROPOSED DENSITY: 1.85 DU/AC
 ALL ROADS TO BE PUBLIC.

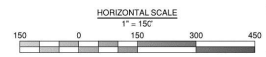
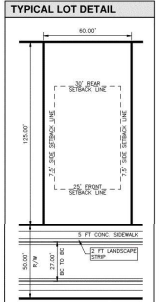
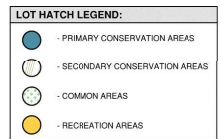


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	1104.23'	59.95'	59.94'	N 74°29'33" W
C2	1367.48'	153.90'	153.82'	N 76°23'10" W
C3	1771.91'	111.85'	111.85'	N 74°32'40" W
C4	1323.56'	158.08'	157.98'	N 84°32'47" W
C5	1323.56'	154.04'	153.96'	S 84°39'56" W
C6	482.36'	96.68'	96.52'	S 74°26'16" W
C7	651.24'	241.66'	240.28'	S 58°03'55" W
C8	8894.63'	183.81'	183.81'	N 311°11'15" E
C9	1094.11'	160.11'	159.97'	N 275°0'19" E
C10	1897.49'	137.13'	137.10'	N 21°40'05" E

LINE	BEARING	DISTANCE
L1	N 72°07'58" W	56.01'
L2	N 77°11'59" W	101.96'
L3	N 77°43'45" W	42.53'
L4	N 80°00'39" W	100.20'
L5	N 72°51'57" W	93.77'
L6	N 76°21'12" W	105.04'
L7	N 77°46'31" W	102.63'
L8	N 78°42'46" W	196.80'
L9	N 78°54'18" W	163.22'
L10	S 47°26'04" W	101.51'
L11	S 44°39'16" W	107.04'
L12	S 43°29'01" W	51.88'
L13	S 41°27'36" W	52.23'
L14	S 44°21'58" W	51.29'
L15	S 48°14'18" W	104.77'
L16	S 48°00'16" W	36.01'
L17	N 30°35'44" E	257.25'
L18	N 31°46'46" E	221.51'
L19	S 49°31'56" E	81.27'
L20	S 83°58'00" E	206.61'
L21	S 80°55'40" E	222.44'
L22	S 72°45'08" E	148.29'

GENERAL SITE NOTES:

- ADDRESS: DUNCAN CREEK RD, LAND LOT 7, DISTRICT 3
- PROPERTY ID: R3007 005
- ALTERNATE ID: 254055
- PROPERTY CLASS: RESIDENTIAL VACANT
- TOTAL AREA: 69.2



DATA SOURCE NOTE:

"THE TOPOGRAPHIC AND ELEVATION DATA SHOWN HEREON WAS OBTAINED FROM GWINNETT COUNTY GIS AND IS NOT CERTIFIED AS CORRECT BY THIS ENGINEER. USERS OF THIS DATA DO SO AT THEIR OWN RISK."

GEORGIA
Professional Seal
THOMAS C. O'BARR
 ENGINEERING & LAND SURVEYING
 GWCOC LEVEL 1 DESIGN PROFESSIONAL CERT. #00000562

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 (706) 681-1111 OFFICE
 (706) 681-7129 FAX
 www.mred.com

DUNCAN CREEK SPOUT SPRINGS ROAD GWINNETT COUNTY, GA

MASTER PROPOSED LAYOUT PLAN

DATE: JUNE 1, 2022
 JOB NO.: 2022-003
 SCALE: AS SHOWN

C1.0
 SHEET NUMBER 1



CONSERVATION AREA NOTES:

SITE AREA: 69.2 ACRES
 TOTAL AREA: 454.59 ACRES
 PROPOSED AREA TO BE REZONED: 14.61 ACRES
 PROPOSED AREA TO REMAIN AS CURRENTLY ZONED: 14.61 ACRES
 FUTURE RIGHT-OF-WAY TAKE: 10.35 ACRES

REQUIRED CONSERVATION AREA FOR THE 154.59 ACRE AREA:
 TOTAL CONSERVATION AREA: 25% TOTAL SITE (15.85 AC)
 PRIMARY CONSERVATION AREA: 15% MIN. OF TOTAL CONSERVATION (2.05 AC)

PROPOSED CONSERVATION AREA FOR THE 154.59 ACRE AREA:
 TOTAL CONSERVATION AREA: 17.47 ACRES (32.0% OF PROJECT AREA)
 PRIMARY CONSERVATION AREA: 12.17 ACRES (18.1% OF CONSERVATION AREA)
 SECONDARY CONSERVATION AREA: 14.30 ACRES (81.9% OF CONSERVATION AREA)

PROPOSED RECREATION AREA:
 TOTAL RECREATION AREA: 14.32 ACRES (7.9% OF PROJECT AREA)

PROPOSED COMMON AREA:
 TOTAL COMMON AREA: 16.80 ACRES (10.8% OF PROJECT AREA)

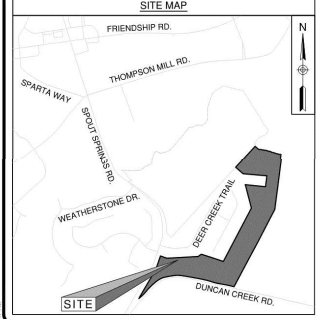
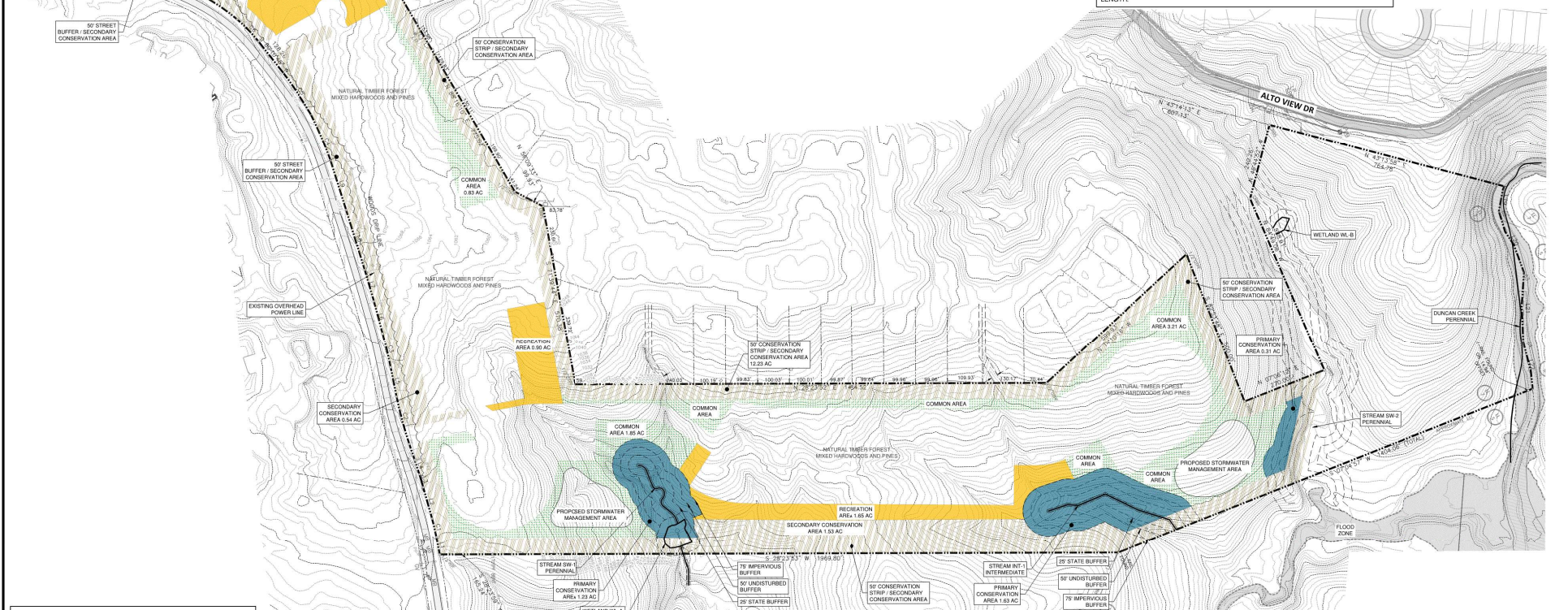
PROPOSED TOTAL OPEN AREA:
 127.88 ACRES (50.7% OF PROJECT AREA)

VARIANCE NOTES:
 * VARIANCE IS NEEDED TO EXCEED THE MAXIMUM ALLOWABLE CUL-DE-SAC ROAD LENGTH.

OWNER'S CERTIFICATION:
 THE PROPERTY OWNER AND DEVELOPER HEREBY CERTIFY THAT TIMBER HARVESTING ACTIVITY HAS NOT OCCURRED ON THE PROPERTY IN THE PREVIOUS 24 MONTHS PRIOR TO FILING AN APPLICATION FOR OSC ZONING.

SITE NOTES:

- THE PROPERTY DOES NOT CONTAIN STEEP SLOPES GREATER THAN 25% GRADE.
- THE SITE DOES NOT CONTAIN ANY AREAS WITHIN A 100 YEAR FLOOD HAZARD ZONE PER THE FEMA FIRM MAPS 13135C0019G, 13135C0020G, AND 13135C0029G.
- THE SITE DOES NOT CONTAIN ANY OPEN FIELDS, MEADOWS, OR PRIME AGRICULTURAL LAND.
- THE SITE DOES NOT CONTAIN ANY KNOWN HISTORICAL, ARCHAEOLOGICAL, OR OTHER SIGNIFICANT FEATURES.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	1104.23'	59.95'	59.94'	N 74°29'33" W
C2	1367.48'	153.90'	153.82'	N 76°23'10" W
C3	1771.91'	111.86'	111.85'	N 74°32'40" W
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C8	5894.63'	183.81'	183.81'	N 311°11'15" E
C9	1094.11'	160.11'	159.97'	N 27°50'19" E
C10	1897.49'	137.13'	137.10'	N 21°40'05" E

LINE	BEARING	DISTANCE
L1	N 72°07'58" W	56.01'
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L12	S 43°29'01" W	51.88'
L13	S 41°57'56" W	92.23'
L14	S 44°21'58" W	51.29'
L15	S 48°14'18" W	104.77'
L16	S 48°00'16" W	36.01'
L17	N 30°35'44" E	257.25'
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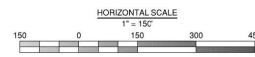
GENERAL SITE NOTES:

- ADDRESS: DUNCAN CREEK RD., LAND LOT 7, DISTRICT 3
- PROPERTY ID: R3007 005
- ALTERNATE ID: 254053
- PROPERTY CLASS: RESIDENTIAL VACANT
- TOTAL AREA: 69.2

LOT HATCH LEGEND:

- Primary Conservation Areas
- Secondary Conservation Areas
- Common Areas
- Recreation Areas

DATA SOURCE NOTE:
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GEORGIA PROFESSIONAL ENGINEER
 THOMAS C. O'BARR
 GOWC LEVEL 1 DESIGN PROFESSIONAL CERT. #000008262

811
 Three Square Building
 1001 Highway 90 NE

MAXWELL REDDICK AND ASSOCIATES

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 4225 WILMINGTON BLVD.
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 979-489-7129 FAX
 979-489-7129 MOBILE
 1500 NORTHERNWOODS PKWY.
 SUITE 300
 ALPHARETTA, GA 30009
 404-884-1818 OFFICE
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DUNCAN CREEK SPOUT SPRINGS ROAD GWINNETT COUNTY, GA EXISTING FEATURES SITE ANALYSIS

TITLE SHEET
 DATE: JUNE 1, 2022
 JOB NO.: 2022-003
 SCALE: AS SHOWN

DRAWING NUMBER
C2.0
 SHEET NUMBER 2

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7/7/2022

LEGAL DESCRIPTION

ALL THAT CERTAIN PARCEL TRACT OR PARCEL OF LAND CONTAINING 54.59 ACRES, LOCATED IN LAND LOT 7 OF THE 3RD DISTRICT OF GWINNETT COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED ON AN ALTA/NSPS SURVEY FOR CENTURY COMMUNITIES OF GEORGIA, LLC BY MAXWELL-REDDICK AND ASSOCIATES DATED JUNE 03, 2022, WHICH READS AS FOLLOWS.

BEGINNING AT A CAPPED REBAR SET (CRBS) LOCATED AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY OF SPOUT SPRINGS ROAD (80' RIGHT-OF-WAY) AND THE NORTHERN RIGHT-OF-WAY OF DUNCAN CREEK ROAD, THENCE ALONG THE EASTERN RIGHT-OF-WAY OF SPOUT SPRINGS ROAD THE FOLLOWING COURSES AND DISTANCES, NORTH 30°35'44" EAST A DISTANCE OF 257.25' TO A POINT; THENCE NORTH 31°11'15" EAST CLOCKWISE ALONG THE ARC OF A CURVE (ARC=183.81', RADIUS=8894.63'), WHICH SUBTENDS A CHORD DISTANCE OF 183.81' TO A POINT; THENCE NORTH 31°46'46" EAST A DISTANCE OF 221.51' TO A POINT; THENCE NORTH 27°50'19" EAST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=160.11', RADIUS=1094.11'), WHICH SUBTENDS A CHORD DISTANCE OF 159.97' TO A POINT; THENCE NORTH 21°40'05" EAST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=137.13', RADIUS=1897.49'), WHICH SUBTENDS A CHORD DISTANCE OF 137.10' TO A POINT; THENCE NORTH 19°32'04" EAST A DISTANCE OF 192.92' TO A 1/2" OPEN TOP PIPE FOUND (1/2"OTPF); THENCE LEAVING THE EASTERN RIGHT-OF-WAY OF SPOUT SPRINGS ROAD SOUTH 70°17'21" EAST A DISTANCE OF 159.89' TO A 1/2" OPEN TOP PIPE FOUND (1/2"OTPF); THENCE NORTH 88°16'10" EAST A DISTANCE OF 775.02' TO A 1/2" OPEN TOP PIPE FOUND (1/2"OTPF); THENCE NORTH 56°09'33" EAST A DISTANCE OF 99.92' TO A CAPPED REBAR SET (CRBS); THENCE SOUTH 71°39'44" EAST A DISTANCE OF 570.38' TO A 1/2" OPEN TOP PIPE FOUND (1/2"OTPF); THENCE NORTH 28°23'52" EAST A DISTANCE OF 1484.52' TO A 1/2" OPEN TOP PIPE FOUND (1/2"OTPF); THENCE NORTH 14°10'16" WEST A DISTANCE OF 599.93' TO A 1/2" OPEN TOP PIPE FOUND (1/2"OTPF); THENCE SOUTH 82°53'48" EAST A DISTANCE OF 500.00' TO A CAPPED REBAR SET (CRBS); THENCE NORTH 07°06'12" EAST A DISTANCE OF 270.00' TO A CAPPED REBAR SET (CRBS); THENCE SOUTH 48°34'18" EAST A DISTANCE OF 357.61' TO A CAPPED REBAR SET (CRBS); THENCE SOUTH 07°04'57" WEST A DISTANCE OF 612.91' TO A T-RAIL FOUND; THENCE SOUTH 28°23'53" WEST A DISTANCE OF 1969.80' TO A BENT 1" OPEN TOP PIPE FOUND (1"OTPF); THENCE SOUTH 28°23'59" WEST A DISTANCE OF 165.24' TO A 1/2" REBAR FOUND (1/2"RBF) LOCATED ON THE NORTHERN RIGHT-OF-WAY OF DUNCAN CREEK ROAD (60' RIGHT-OF-WAY); THENCE ALONG THE NORTHERN RIGHT-OF-WAY OF DUNCAN CREEK ROAD THE FOLLOWING COURSES AND DISTANCES, NORTH 72°07'58" WEST A DISTANCE OF 56.01' TO A POINT; THENCE NORTH 74°29'54" WEST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=59.95', RADIUS=1112.78'), WHICH SUBTENDS A CHORD DISTANCE OF 59.94' TO A POINT; THENCE NORTH 77°11'59" WEST A DISTANCE OF 101.96' TO A POINT; THENCE NORTH 77°43'45" WEST A DISTANCE OF 42.53' TO A POINT; THENCE NORTH 80°00'39" WEST A DISTANCE OF 100.20' TO A POINT; THENCE NORTH 76°23'10" WEST CLOCKWISE ALONG THE ARC OF A CURVE (ARC=153.90', RADIUS=1367.48'), WHICH SUBTENDS A CHORD DISTANCE OF 153.82' TO A POINT; THENCE NORTH 72°51'57" WEST A DISTANCE OF 93.77' TO A POINT; THENCE NORTH 74°32'40" WEST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=111.86', RADIUS=1771.91'), WHICH SUBTENDS A CHORD DISTANCE OF 111.85' TO A POINT; THENCE NORTH 76°21'12" WEST A DISTANCE OF 105.04' TO A POINT; THENCE NORTH 77°46'31" WEST A DISTANCE OF 102.63' TO A POINT; THENCE NORTH 78°42'46" WEST A DISTANCE OF 196.80' TO A POINT; THENCE NORTH 78°54'18" WEST A DISTANCE OF 163.22' TO A POINT; THENCE NORTH 84°32'47" WEST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=158.08', RADIUS=1323.56'), WHICH SUBTENDS A CHORD DISTANCE OF 157.98' TO A POINT; THENCE SOUTH 84°39'56" WEST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=154.04', RADIUS=1323.56'), WHICH SUBTENDS A CHORD DISTANCE OF 153.96' TO A POINT; THENCE SOUTH 80°10'48" WEST A DISTANCE OF 128.26' TO A POINT; THENCE SOUTH 74°26'16" WEST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=96.68', RADIUS=482.36'), WHICH SUBTENDS A CHORD DISTANCE OF 96.52' TO A POINT; THENCE SOUTH 58°03'55" WEST COUNTERCLOCKWISE ALONG THE ARC OF A CURVE (ARC=241.66', RADIUS=651.24'), WHICH SUBTENDS A CHORD DISTANCE OF 240.28' TO A POINT; THENCE SOUTH 47°26'04" WEST A DISTANCE OF 101.51' TO A POINT; THENCE SOUTH 44°39'16" WEST A DISTANCE OF 107.04' TO A POINT; THENCE SOUTH 43°29'01" WEST A DISTANCE OF 51.88' TO A POINT;

GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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7/7/2022

THENCE SOUTH 41°27'36" WEST A DISTANCE OF 52.23' TO A POINT;
THENCE SOUTH 44°21'58" WEST A DISTANCE OF 51.29' TO A POINT;
THENCE SOUTH 48°14'18" WEST A DISTANCE OF 104.77' TO A POINT;
THENCE SOUTH 48°00'16" WEST A DISTANCE OF 36.01' TO A CAPPED REBAR SET (CRBS),
WHICH IS THE POINT OF BEGINNING.

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STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Yes, approval of the proposed Rezoning Application will permit a use that is suitable in view of the use and development of adjacent and nearby properties. The Property is located at the northeast intersection of Spout Springs Road and Duncan Creek Road. The northern and eastern property boundaries are adjacent to incorporated Town of Braselton and the Chateau Elan Legends Golf Course. The proposed Open Space Conservation subdivision is compatible with existing residential uses while preserving environmentally sensitive areas on the Property.

- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

No, the proposed Rezoning Application will not adversely affect the existing use or usability of any of the nearby properties. The proposed zoning classification is consistent with existing residential uses and is specifically called out in the 2040 Comprehensive Plan as a potential development type within the Emerging Suburban Character Area.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Due to the size, shape, location, topography, and environmental features, the Property does not have a reasonable economic use as currently zoned. Rather, the proposed rezoning would achieve the stated intent of the 2040 Comprehensive Plan by developing a large tract of land into a low density single family residential community with natural amenities and a design focused on preserving the surrounding environment.

- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

No, the proposed rezoning will not result in an excessive or burdensome use of transportation and utility infrastructure, or the schools. The Property has access to Spout Springs Road and is convenient to State Road 347, both of which provide easy access to I-85 and I-985. Further, the proposed OSC zoning is compatible with surrounding uses and the 2040 Comprehensive Plan.

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(E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

The proposed Rezoning Application is in conformity with the policy and intent of the 2040 Comprehensive Plan. The Property is located within the Emerging Suburban Character Area of the 2040 Future Development Map. Encouraged land uses for this Character Area included single family residential subdivisions, including Open Space Conservation subdivisions as requested here, that are developed on large undeveloped tracts of land. The proposal achieves the goal of the 2040 Comprehensive Plan while providing an environmentally friendly design with natural amenities that is consistent with surrounding uses.

(F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

The Applicant submits that the character of the surrounding development and high quality of the proposed homes in conjunction with the preservation of natural surroundings that achieve the policy and intent of the 2040 Comprehensive Plan, provide supporting reasons for approval of the Rezoning Application. Further, the anticipated growth in Gwinnett County and results of the Housing Study suggest a strong need for diversity of housing product, including the Emerging Suburban Character Area.

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7/7/2022



Shaun R. Adams
Counsel
t: 678.690.5732
f: 404.869.6972
shaunadams@parkerpoe.com

Atlanta, GA
Charleston, SC
Charlotte, NC
Columbia, SC
Greenville, SC
Raleigh, NC
Spartanburg, SC
Washington, DC

July 6, 2022

Via Email Delivery

Mrs. Susan Canon, Director of Planning & Development
Gwinnett County
446 West Crogan Street
Lawrenceville, Ga 30046-2440
P&D-PlanningZoning@gwinnettcountry.com

Re: Letter of Intent and Rezoning Application for Century Communities of Georgia, LLC (“Applicant”) and Property Located at Duncan Creek Road, Parcel ID: R3007 005

Chairwoman, Commissioners, and Staff:

This law firm submits the foregoing Letter of Intent and attached Rezoning Application (“Application”) on behalf of the Applicant for the purpose of requesting a rezoning from RA-200 (Agriculture Residence District) to OSC (Open Space Conservation District) on approximately 54.59 acres of a 69.2 acre tract located on the northeastern corner of the Spout Springs Road and Duncan Creek Road intersection in unincorporated Gwinnett County (“Property”). The Tax Parcel ID for the Subject Property is R3007 005.

The Property is currently zoned RA-200 pursuant to the Gwinnett County Unified Development Ordinance (“UDO”). The Applicant now seeks approval to rezone the Property to OSC to develop an attractive single-family detached residential community containing 100 homes and community amenities that preserve the natural surroundings.

Property Details

The Property is an L-shaped tract with frontage on Spout Springs Rd and Duncan Creek Rd in Buford, Ga. It is surrounded by low to medium density residentially zoned properties including R-100, R-75, and R-ZT zoning districts. The Property is currently undeveloped with a stream running through multiple areas of the site. The Applicant is proposing to rezone 54.59 acres of the 69.2 acre tract to OSC with the remaining 14.61 acres retaining the current zoning as shown on the site plan prepared by Maxwell Reddick and Associates on June 1, 2022 (“Site Plan”). The

7/7/2022

Future Development Map of the Gwinnett County 2040 Unified Plan (“2040 Plan”) classifies this Property as within the Emerging Suburban Character Area. This Character Area designation is for mainly residential areas with large amounts of land that is expected to be developed during the planning period contemplated in the 2040 Plan. Development types encouraged in the Emerging Suburban Character Area include single-family residential, open space conservation subdivisions, and mixed residential developments. Accordingly, the Applicant’s proposal for an OSC zoning is consistent with the policy and intent of the 2040 Plan.

Project Summary

As shown on the Site Plan, the Applicant proposes to development the Property into an attractive single-family detached residential community with approximately 100 homes for a net density of 1.83 units per acre. The proposed development would incorporate recreational and natural amenities throughout the community including a clubhouse, pool, greenspace, walking trails, and approximately 17.47 acres of conservation area which combined to utilize 50.7% (27.68 acres) of the project area as open space for the benefit of the community. The proposal also includes a 50’ conservation strip around the perimeter of the Property in accordance with the requirements of the UDO. The proposed homes will be at a size, quality, and price point in accordance with, or exceeding, homes in the surrounding communities. The architectural style and composition of the homes will consist of brick, stacked stone, cedar and/or cementitious shake, board and batten, composite siding, or combinations thereof. The proposed development will have two access points on Duncan Creek Road. The Applicant is working in coordination with Gwinnett DOT on future realignment of the Duncan Creek Rd and Spout Springs Road intersection.

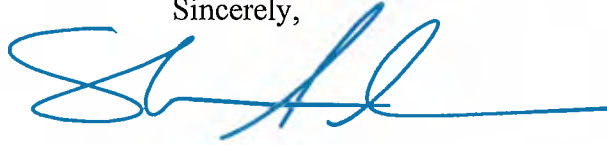
Variance Request for Cul-de-sac Distance

The Applicant is requesting an administrative variance from Section 900-20.2(c)(1) of the UDO that restricts dead end cul-de-sac streets to a length of no more than 600 feet in length. Due to the size, shape, location, and environmental constraints, the Applicant is requesting the ability to exceed the 600 feet length to allow for access to the rear half of the Property. The Property is bound on three sides by private property and only has access to a public right of way along Duncan Creek Road. Strict adherence to Section 900-20.2(c)(1) of the UDO creates an undue hardship on the Applicant and would effectively prohibit access to the rear half of the Property due to it’s narrow shape and environmental constraints. Granting the Applicant’s requested variance for the increased street length as shown on the Site Plan would be the minimum relief necessary and would not adversely impact surrounding properties or uses. Further, approval of the request would be consistent with dead end streets in the adjacent Deer Creek subdivision which borders the Property and the Stone Ridge Manor subdivision which is directly across Duncan Creek Road from the Property.

RECEIVED
July 6, 2022
Page 3
7/7/2022

The Applicant welcomes the opportunity to meet with the Gwinnett County Department of Planning & Development staff to answer any questions or to address any concerns relating to this letter or the requested rezoning and administrative variance request. The Applicant respectfully requests approval of this Application¹.

Sincerely,



Shaun R. Adams

SRA/avd

Cc: Susan Canon
Ellen Smith, Esq.

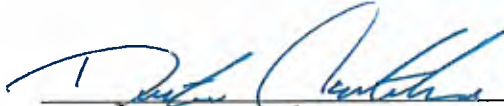
¹ Applicant notifies the Gwinnett County Board of Commissioners of its constitutional concerns with respect to its Application. If the Gwinnett County Board of Commissioners (the “**BOC**”) denies the Application in whole or in part, then the Property does not have a reasonable economic use under the Zoning Ordinance. Moreover, the Application meets the test set out by the Georgia Supreme Court to be used in establishing the constitutional balance between private property rights and zoning and planning as an expression of the government’s police power. *See Guhl vs. Holcomb Bridge Road*, 238 Ga. 322 (1977). If the BOC denies the Application in whole or in part, such an action will deprive Applicant of the ability to use the Property in accordance with its highest and best use. Similarly, if the BOC rezones the Property to some classification other than OSC without Applicant’s consent, or if the BOC limits its approval by attaching conditions to such approval affecting the Property or the use thereof without Applicant’s consent, then such approval would deprive Applicant of any reasonable use and development of the Property. Any such action is unconstitutional and will result in a taking of property rights in violation of the just compensation clause of the Constitution of the State of Georgia (*see Ga. Const. 1983, Art. I, § 3, para. 1(a)*), and the just compensation clause of the Fifth Amendment to the United States Constitution (*see U.S. Const. Amend. 5*). To the extent that the UDO allows such an action by the BOC, the UDO is unconstitutional. Any such denial or conditional approval would discriminate between Applicant and owners of similarly situated property in an arbitrary, capricious, unreasonable and unconstitutional manner in violation of Article I, Section I, Paragraph 2 of the Georgia Constitution and the Equal Protection Clause of the Fourteenth Amendment to the United States Constitution. Also, a failure to grant the Application or a conditional approval of the Application (with conditions not expressly approved by Applicant) would constitute a gross abuse of discretion and would constitute an unconstitutional violation of Applicant’s rights to substantive and procedural due process as guaranteed by the Georgia Constitution (*see Ga. Const. 1983, Art. I, § 1, para. 1*) and the Fifth and Fourteenth Amendments of the United States Constitution (*see U.S. Const. Amend. 5 and 14*). Applicant further challenges the constitutionality and enforceability of the UDO, in whole and in relevant part, for lack of objective standards, guidelines or criteria limiting BOC’s discretion in considering or deciding applications for rezonings. Nevertheless, Applicant remains optimistic that BOC’s consideration of the Application will be conducted in a constitutional manner.

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7/7/2022

REZONING APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



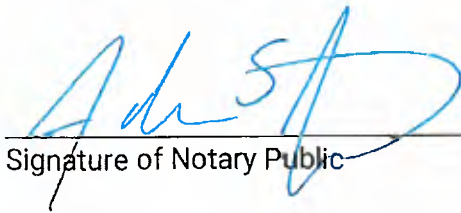
Signature of Applicant

7/7/22

Date

Dakota Carrothers - Land Planning Manager

Type or Print Name and Title



Signature of Notary Public

7/7/22

Date



REZONING PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Donald Harrison

Signature of Property Owner

6/13/2022

Date

Donald Harrison

Type or Print Name and Title

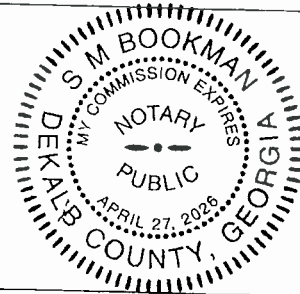
CEO and Owner

[Signature]

Signature of Notary Public

6/13/2022

Date



Notary Seal

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7/7/2022

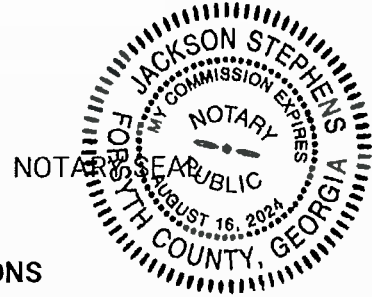
CONFLICT OF INTEREST CERTIFICATION FOR REZONING

The undersigned below, making application for a Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Dorota Carruthers 7/7/22 Dorota Carruthers
SIGNATURE OF APPLICANT DATE TYPE OR PRINT NAME AND TITLE

Shawn Adams 7/7/22 Shawn Adams, Attorney
SIGNATURE OF APPLICANT'S ATTORNEY OR REPRESENTATIVE DATE TYPE OR PRINT NAME AND TITLE

[Signature] 7/7/22
SIGNATURE OF NOTARY PUBLIC DATE



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES NO Dorota Carruthers
YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

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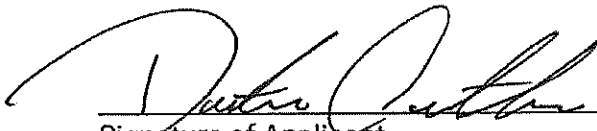
7/12/2022

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

***Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER: R3 - 007 - 005
(Map Reference Number) District Land Lot Parcel

 7/7/22
Signature of Applicant Date

 Dakota Carruthers - Land Planning Manager
Type or Print Name and Title Century Communities

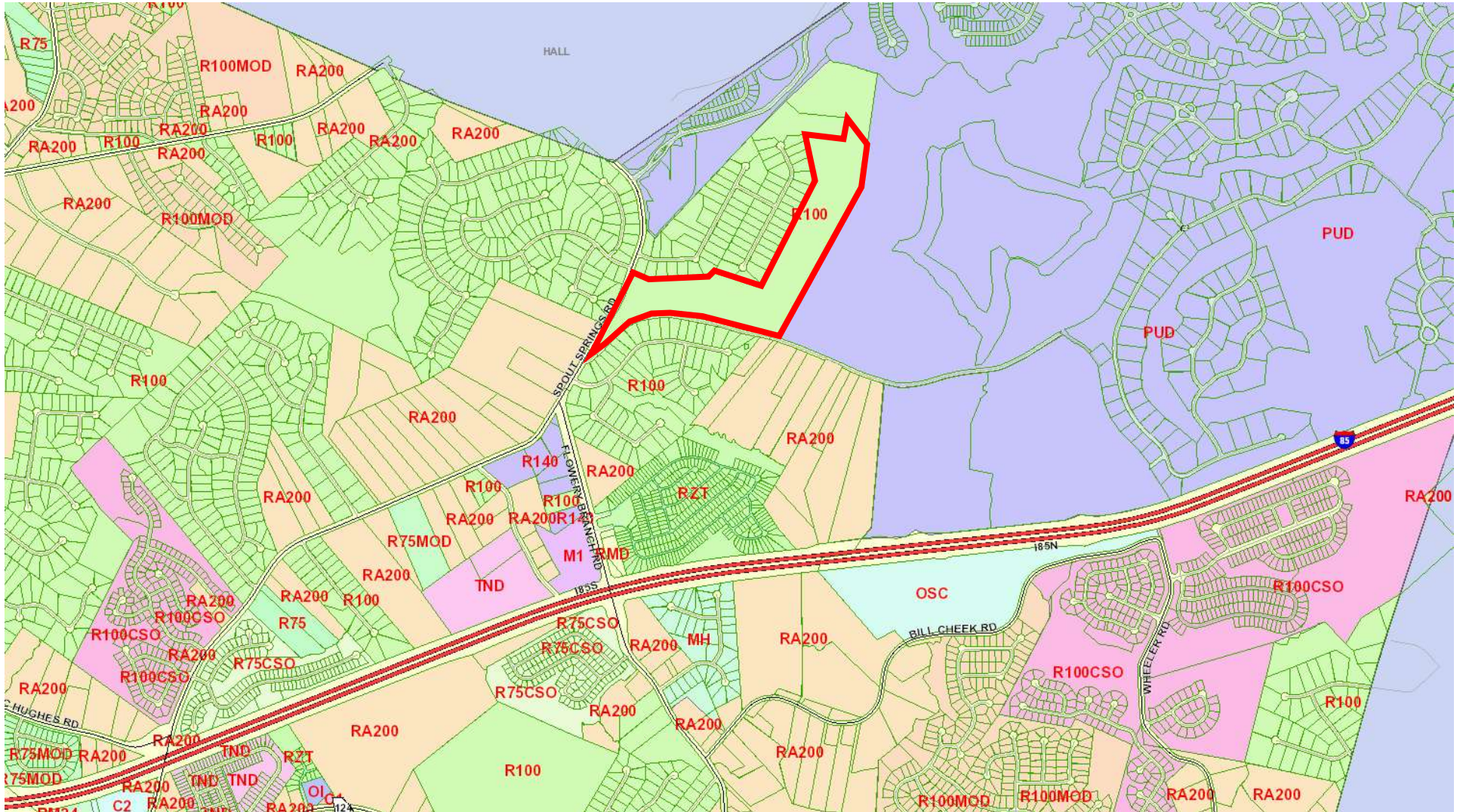
*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

 Megan Kittrell Sr. Tax Business Manager
NAME TITLE
 7-7-22
DATE

Zoning Location Map



GWINNETT COUNTY
PLANNING AND DEVELOPMENT

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7/12/2022

SYCAMORE

APPROX. 2,791 SQ. FT. | TWO-STORY HOME | 4 BEDROOMS | 2.5 BATHROOMS | 2-BAY GARAGE



ELEVATION A1



ELEVATION A2



ELEVATION A4



ELEVATION A5



ELEVATION B1



ELEVATION B2



ELEVATION B4



ELEVATION B5



ELEVATION C1



ELEVATION C2



ELEVATION C4



ELEVATION C5



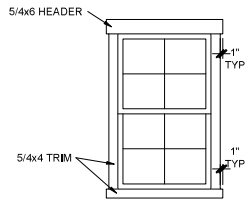
Price, plans and terms are effective on the date of publication and subject to change without notice. Depictions of homes or other features are conceptual. Decorative items and other items shown may be decorator suggestions that are not included in the purchase price and availability may vary. Persons in photos do not reflect racial preference and housing is open to all without regard to race, color, religion, sex, handicap, familial status, or national origin. ©2020 Century Communities.

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7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

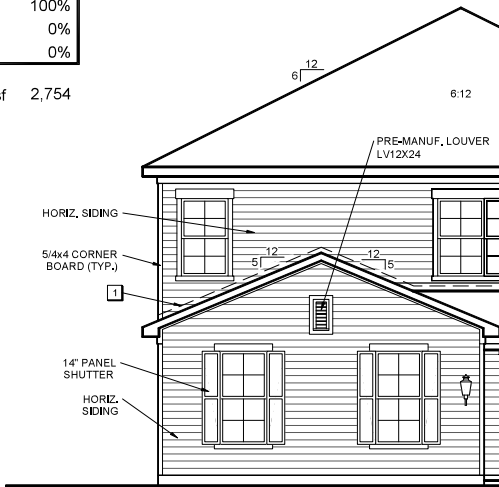


typical door and window trim

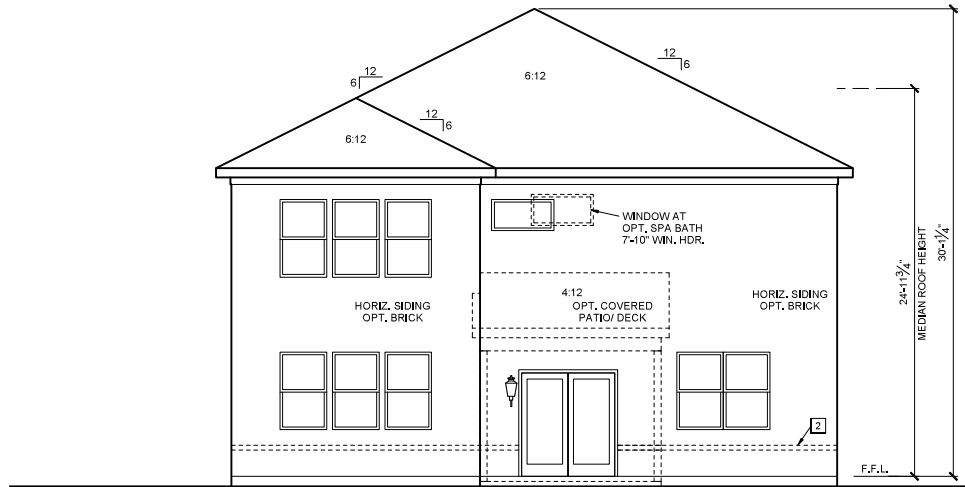
front elevation sf

Brick/Stone sf	0
Siding sf	474
Shake sf	0
Siding/Shake sf	474
Total Exterior sf	474
% Siding	100%
% Shake	0%
% Brick/Stone	0%

Total Conditioned sf 2,754

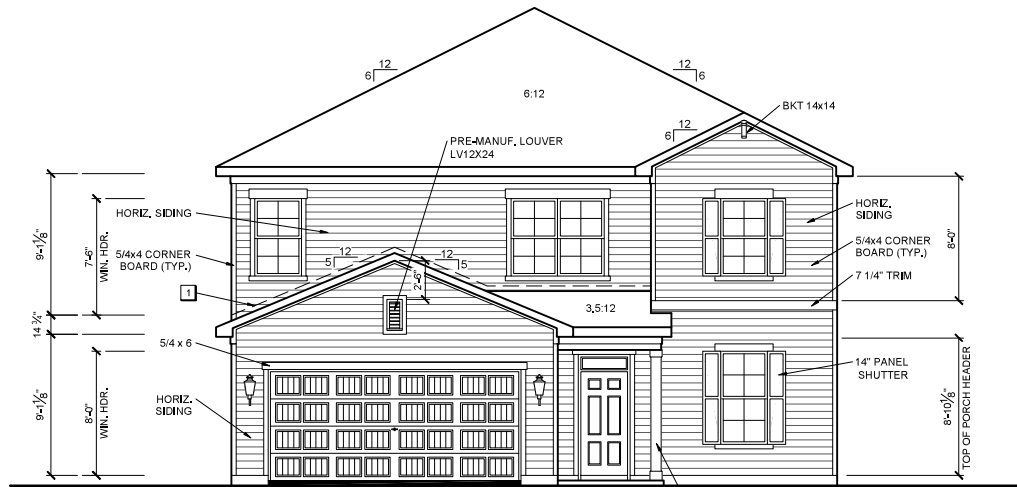


opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

Century Communities expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced, or changed, in any form and or manner whatsoever, nor are they to be assigned to a third party without first obtaining written permission and consent of Century Communities.



PLAN NUMBER:
23922754

RELEASE DATE:
12.20.19

MODEL:
SYCAMORE

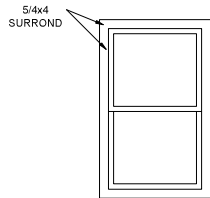
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EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-A1

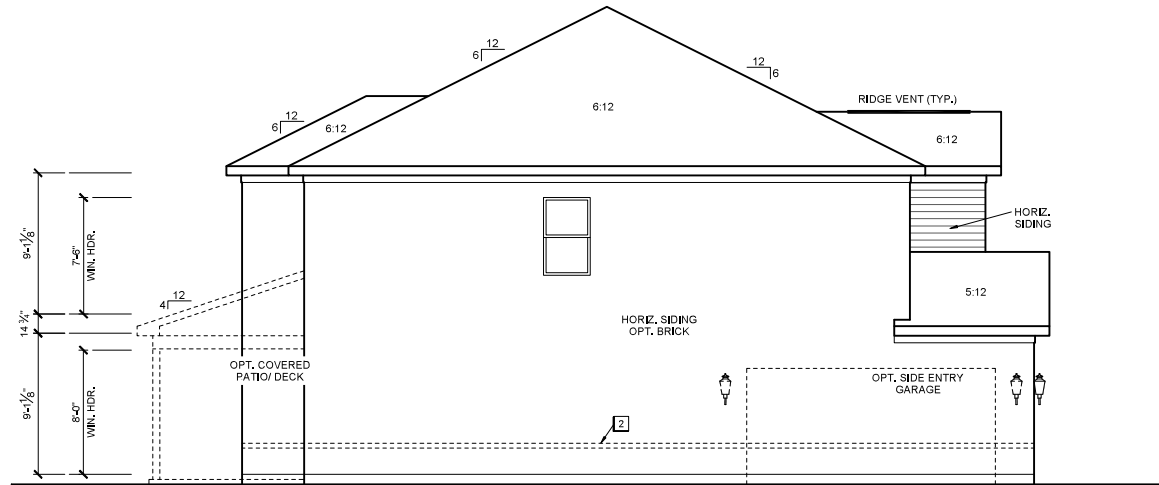
RECEIVED

7/7/2022



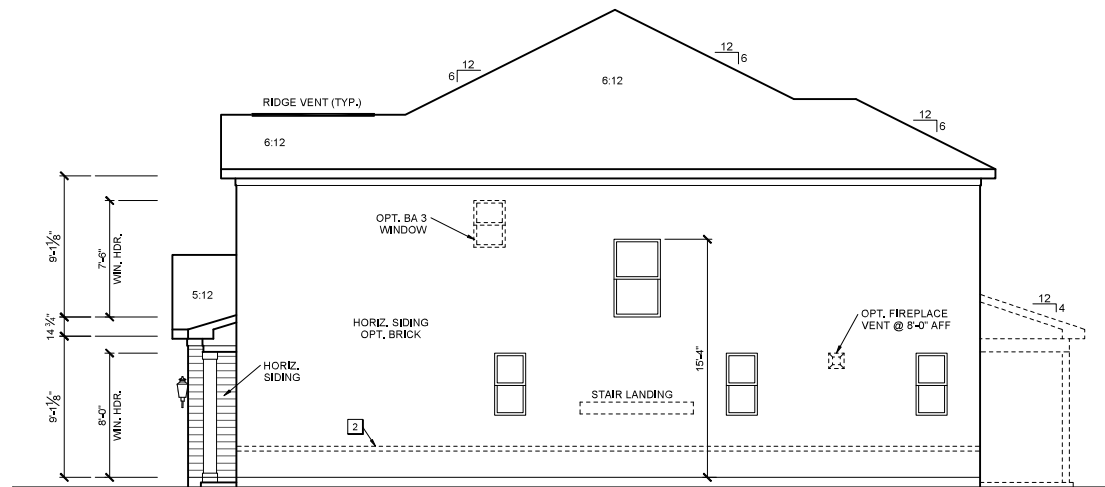
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
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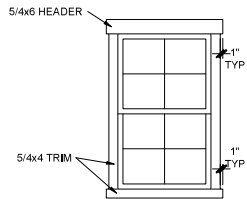
SHEET NO.:
A1.2-A1

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7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

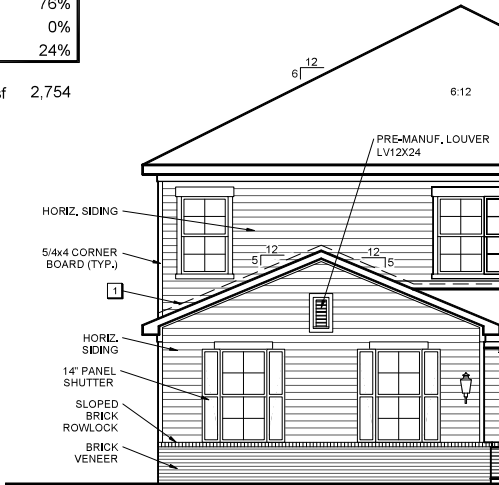


typical door and window trim

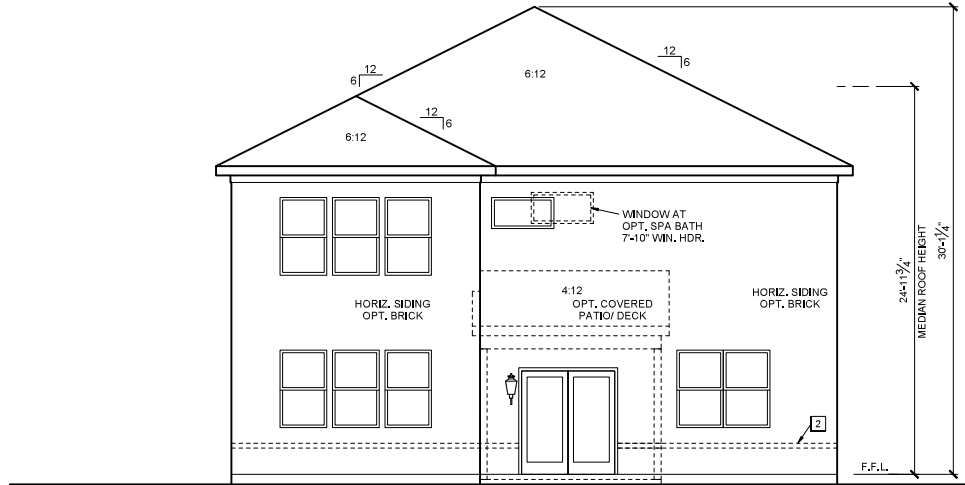
front elevation sf

Brick/Stone sf	126
Siding sf	398
Shake sf	0
Siding/Shake sf	398
Total Exterior sf	524
% Siding	76%
% Shake	0%
% Brick/Stone	24%

Total Conditioned sf 2,754

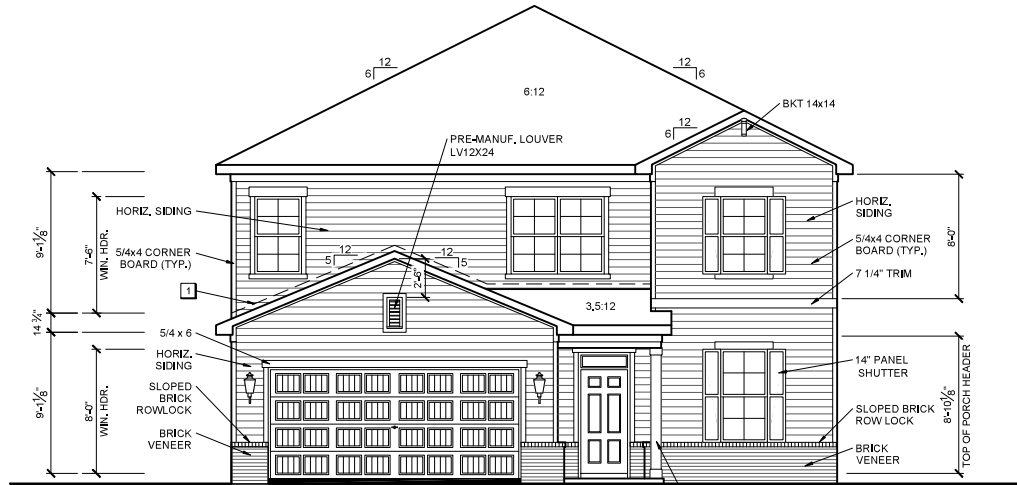


opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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MODEL:
SYCAMORE

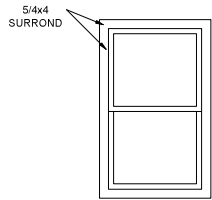
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EXTERIOR ELEVATIONS

SHEET NO.:

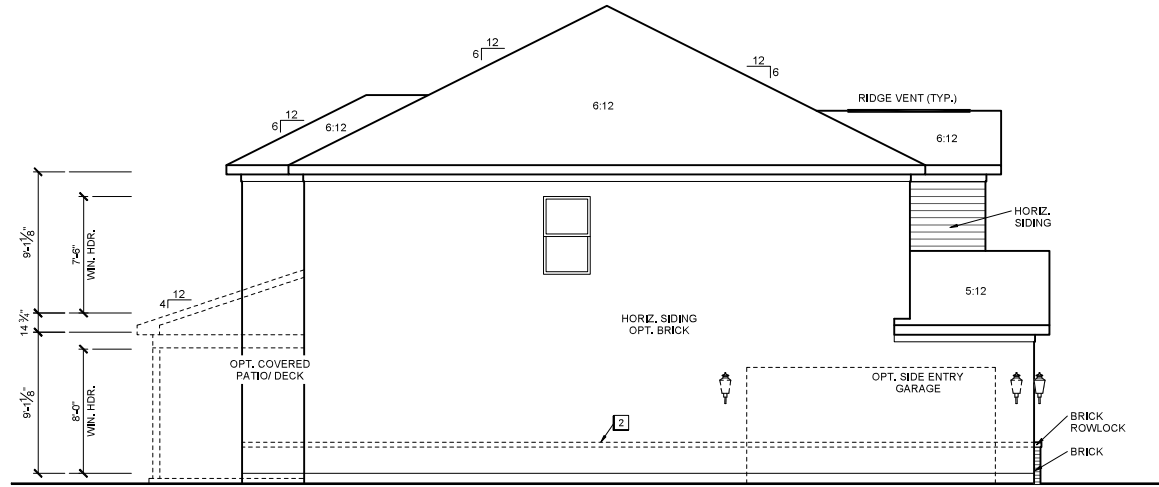
A1.1-A2

RECEIVED

7/7/2022

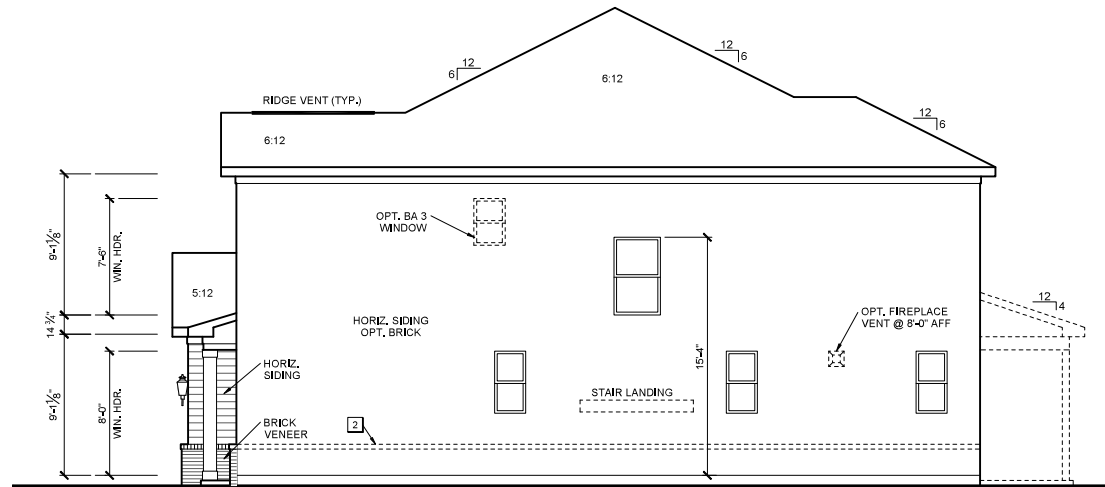


corner lot only window trim
(wilksmoor only)
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	0
16	16

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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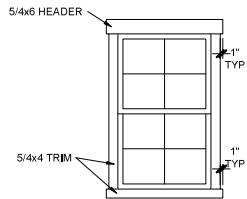
A1.2-A2

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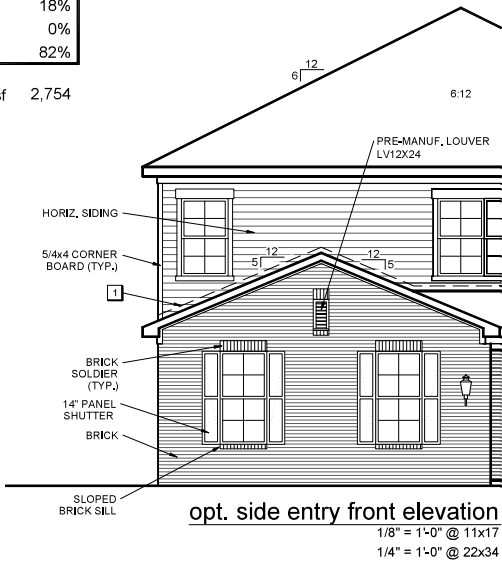


typical door and window trim

front elevation sf

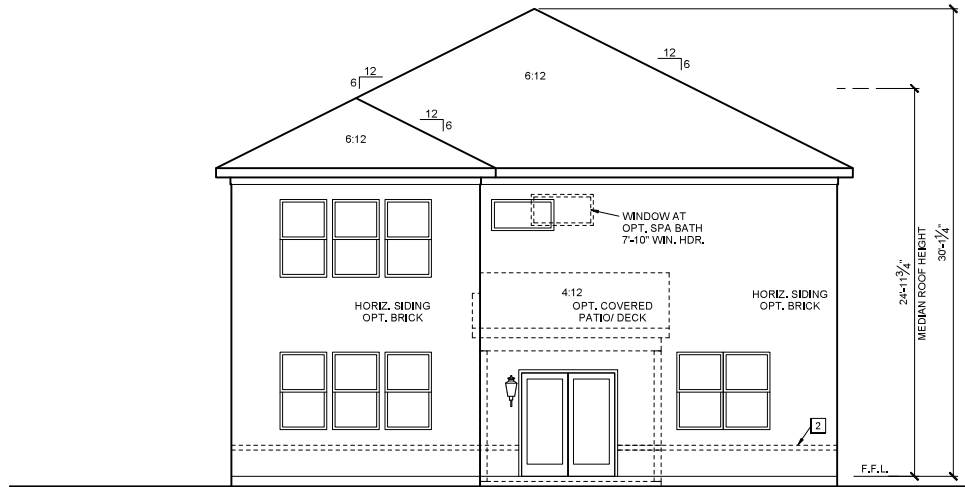
Brick/Stone sf	676
Siding sf	144
Shake sf	0
Siding/Shake sf	144
Total Exterior sf	820
% Siding	18%
% Shake	0%
% Brick/Stone	82%

Total Conditioned sf 2,754



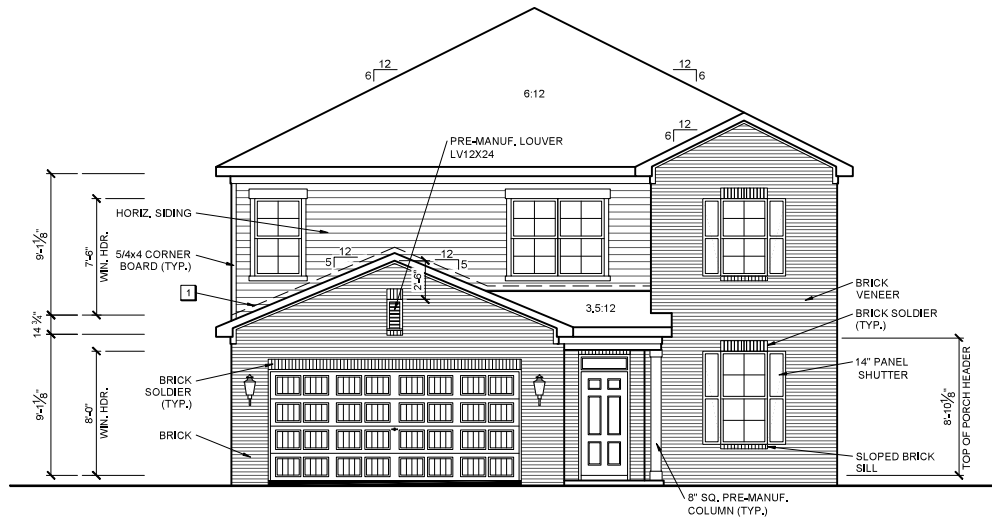
opt. side entry front elevation

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:
23922754

RELEASE DATE:
12.20.19

MODEL:
SYCAMORE

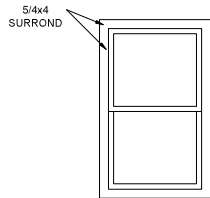
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-A4

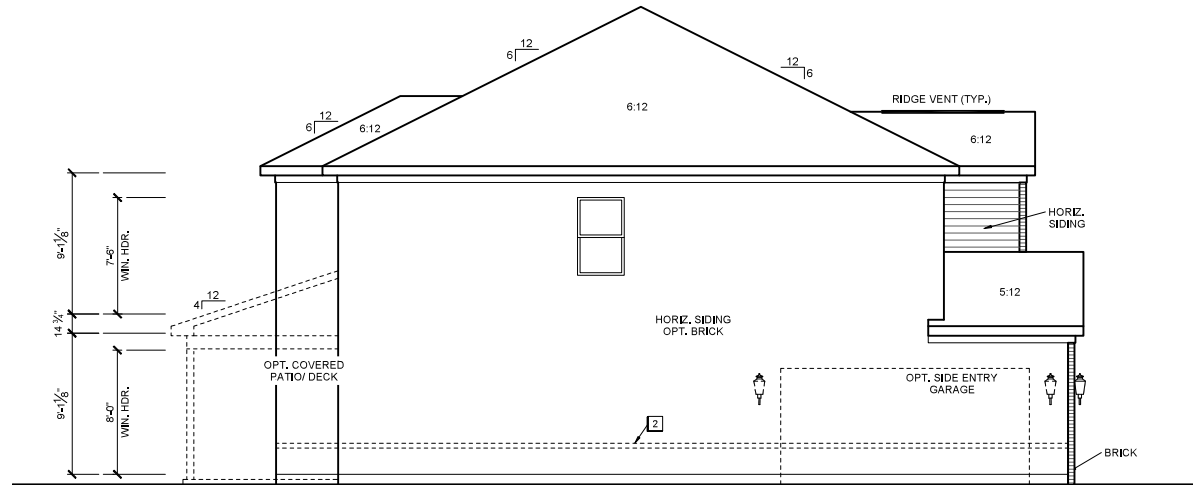
RECEIVED

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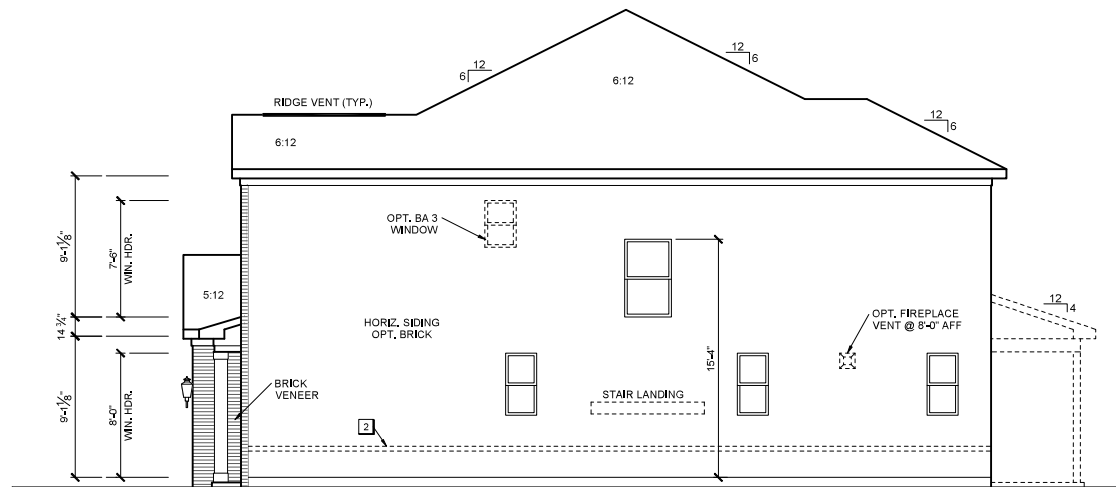
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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RELEASE DATE:	12.20.19

MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

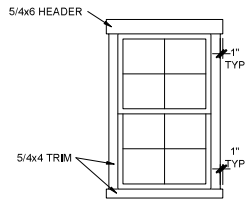
SHEET NO:
A1.2-A4

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Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS



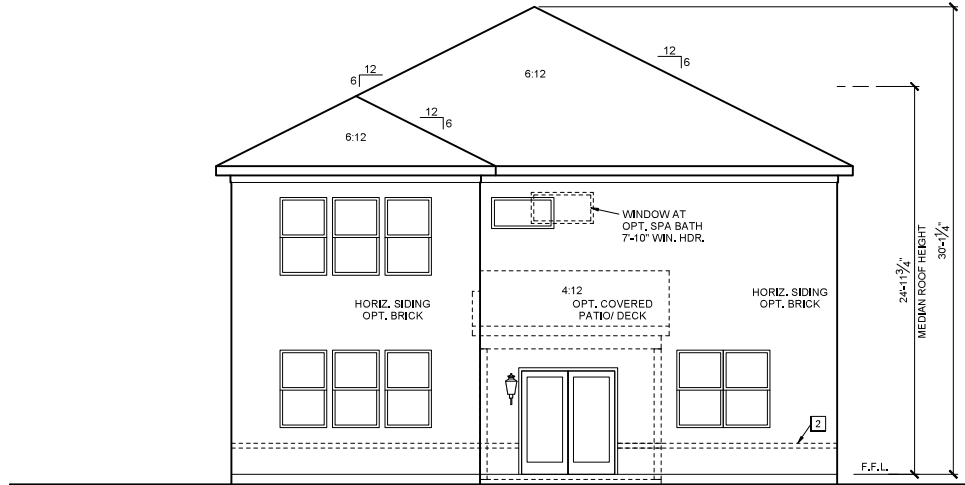
typical door and window trim

front elevation sf

Brick/Stone sf	511
Siding sf	0
Shake sf	0
Siding/Shake sf	0
Total Exterior sf	511
% Siding	0%
% Shake	0%
% Brick/Stone	100%

Total Conditioned sf 2,754

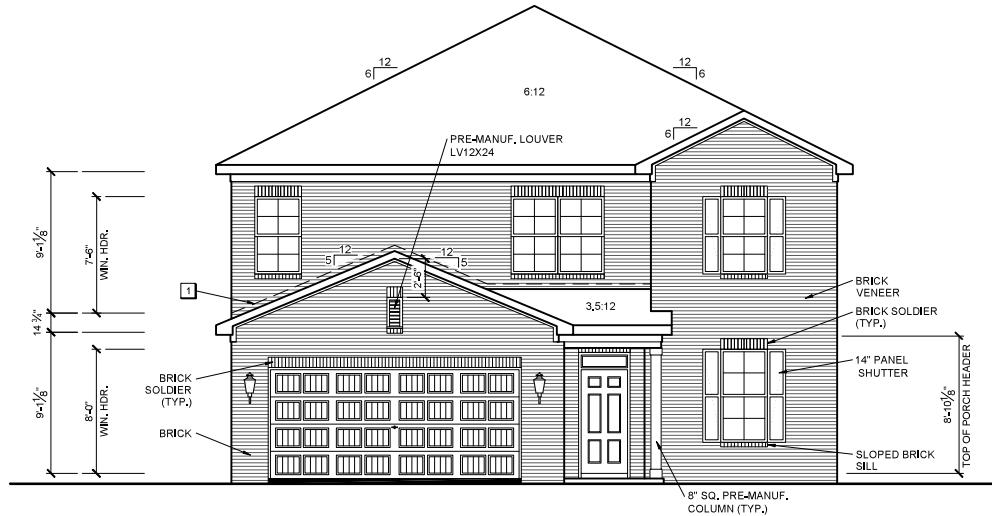
**SIDE ENTRY GARAGE
NOT AVAILABLE
ELEVATION 'A5'**



REAR ELEVATION 'A5'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A5'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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MODEL:
SYCAMORE

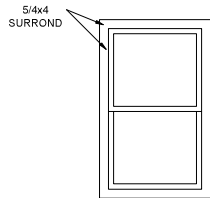
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

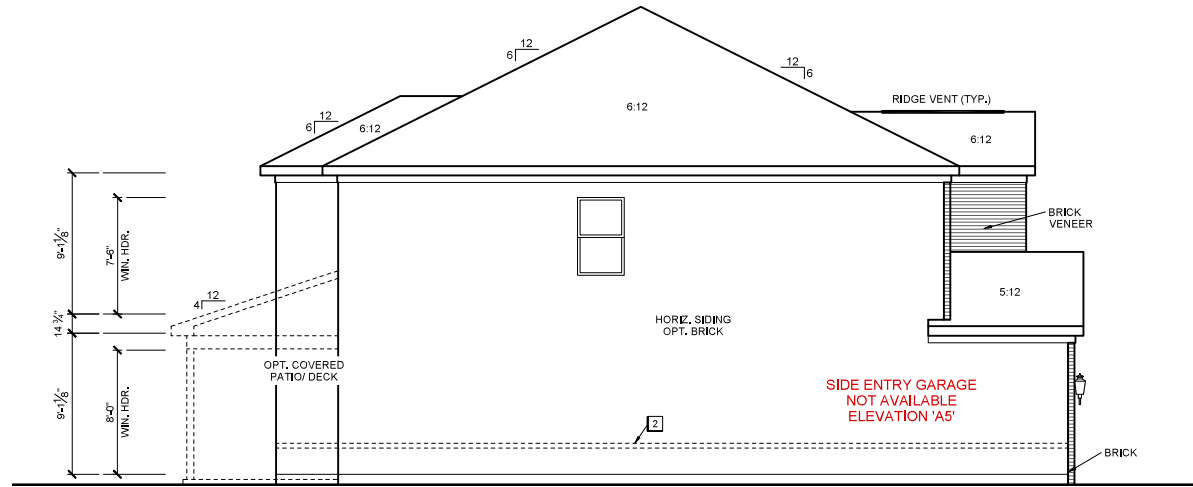
A1.1-A5

RECEIVED

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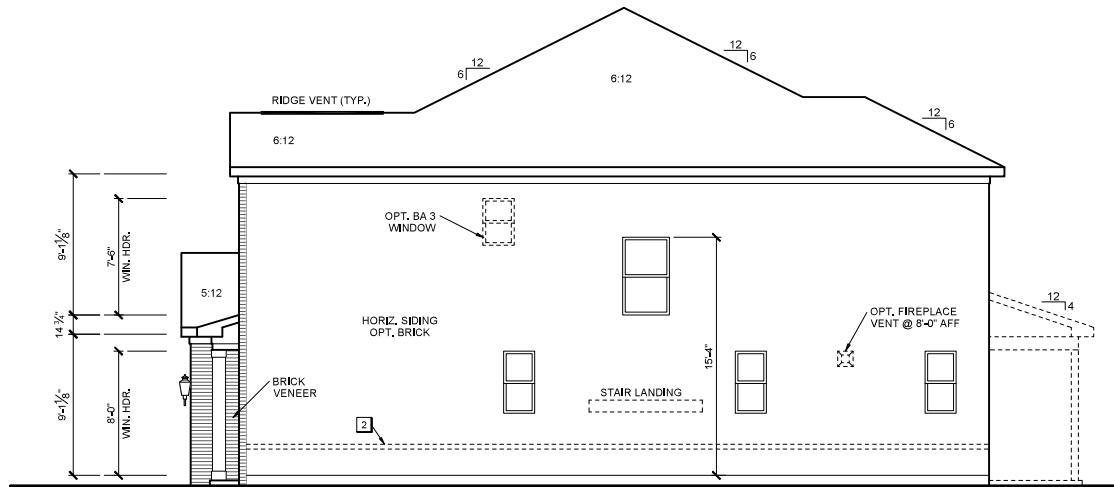


corner lot only window trim
(wilksmoor only)
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

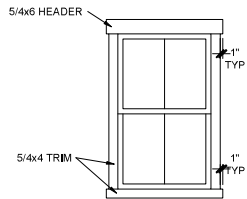
SHEET NO:
A1.2-A5

RECEIVED

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Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

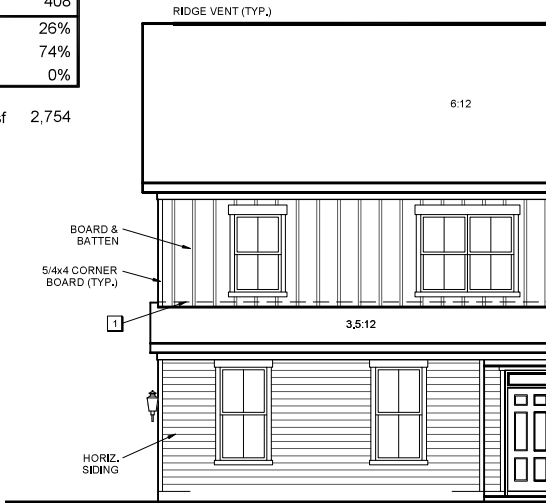


typical door and window trim

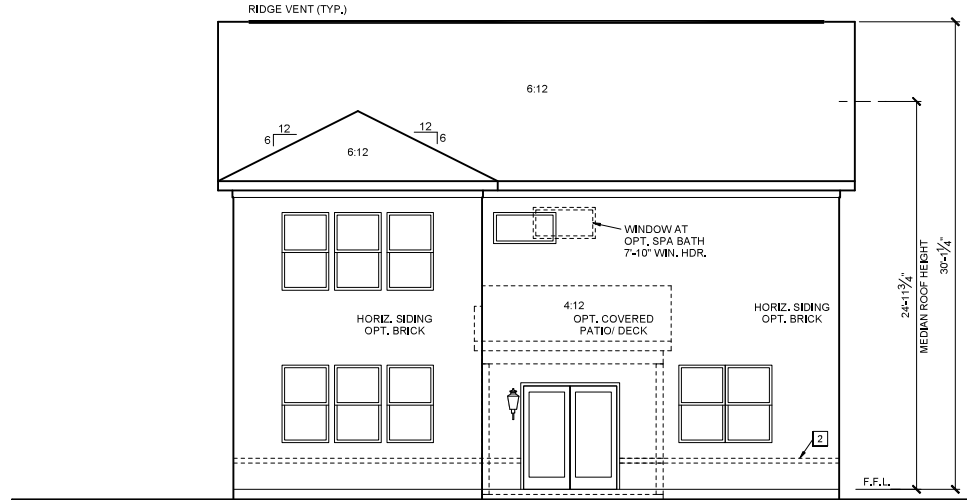
front elevation sf

Brick/Stone sf	0
Siding sf	108
Board & Batten sf	300
Siding/B&B sf	408
Total Exterior sf	408
% Siding	26%
% B&B	74%
% Brick/Stone	0%

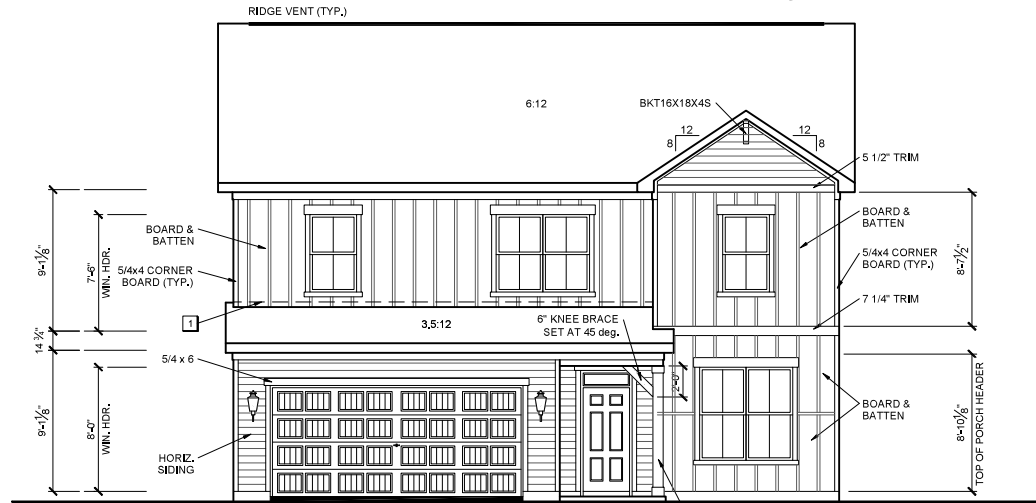
Total Conditioned sf 2,754



opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'B1'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B1'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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MODEL:
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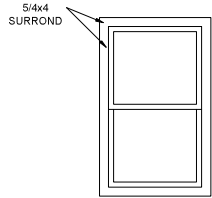
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

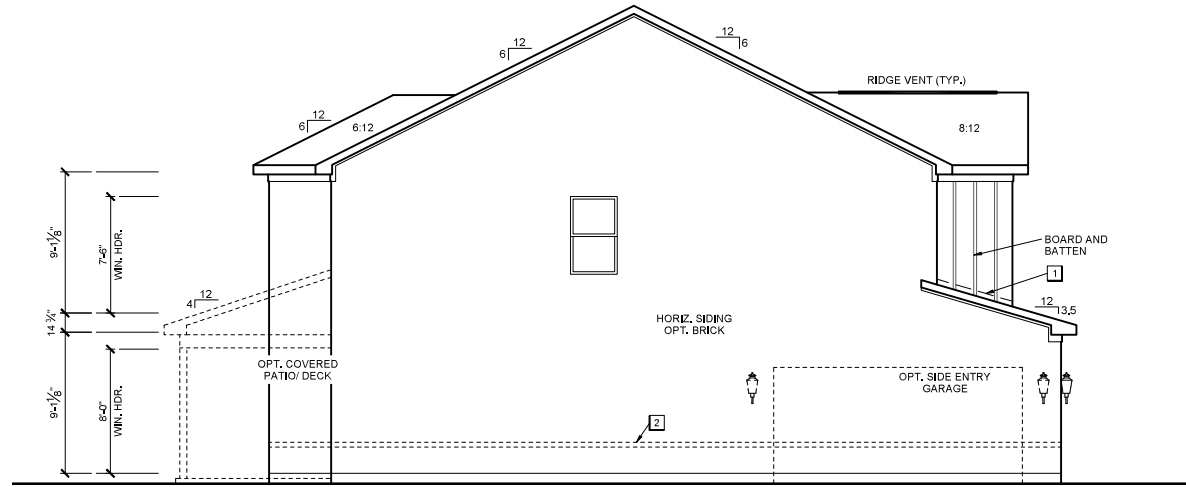
A1.1-B1

RECEIVED

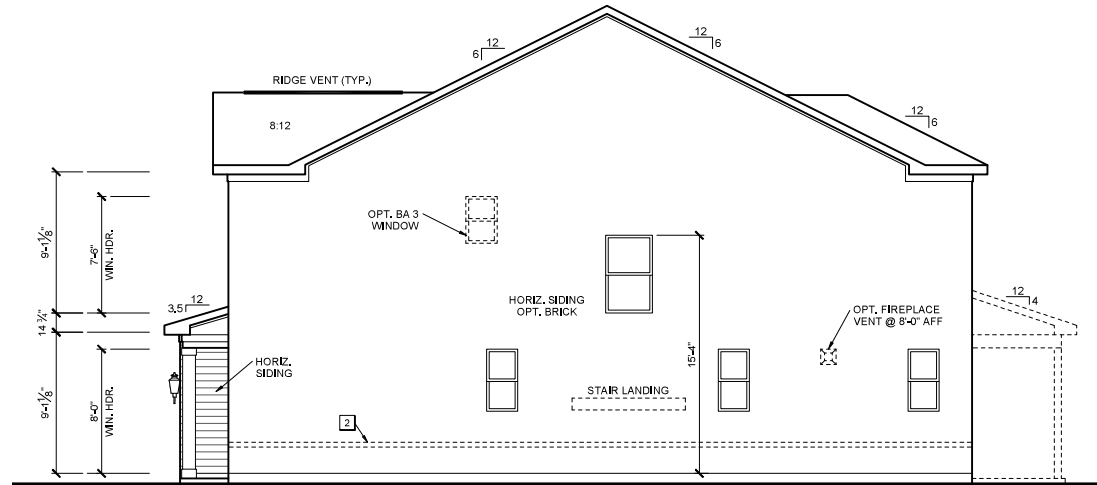
7/7/2022



corner lot only window trim
(wilksmoor only)
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B1'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B1'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

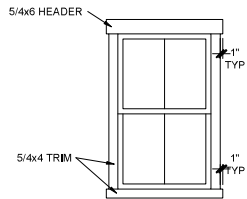
SHEET NO:
A1.2-B1

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Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

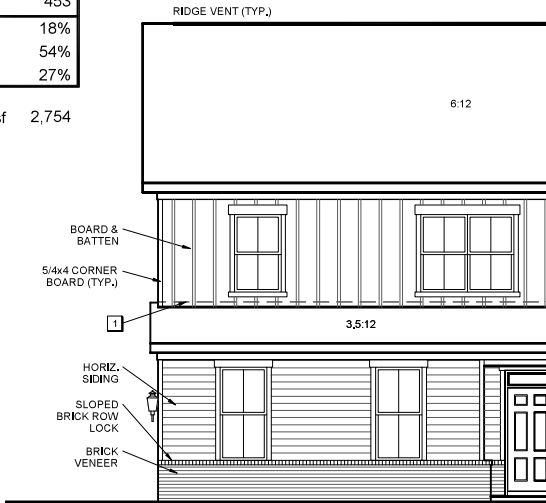


typical door and window trim

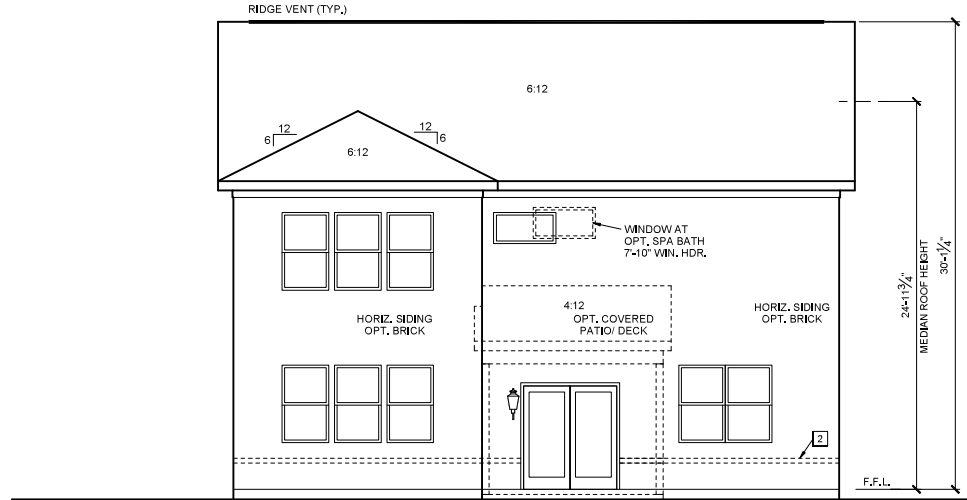
front elevation sf

Brick/Stone sf	124
Siding sf	83
Board & Batten sf	246
Siding/B&B sf	329
Total Exterior sf	453
% Siding	18%
% B&B	54%
% Brick/Stone	27%

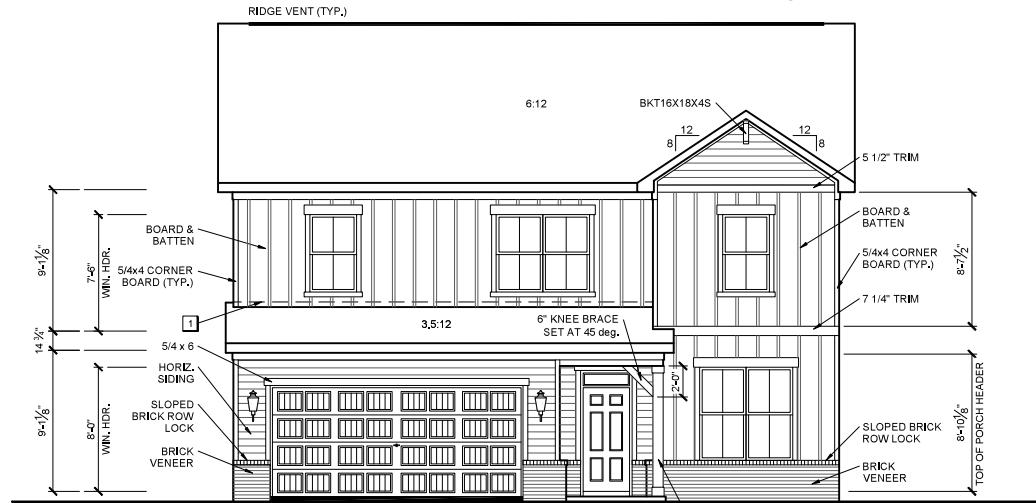
Total Conditioned sf 2,754



opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'B2'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B2'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01					
REFER TO COVER SHEET FOR DESCRIPTION					
					16
					8
					4
					0
					1/8" = 1'-0" @ 11x17
					GRAPHICS SCALE

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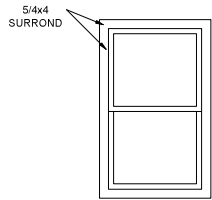
MODEL:
SYCAMORE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

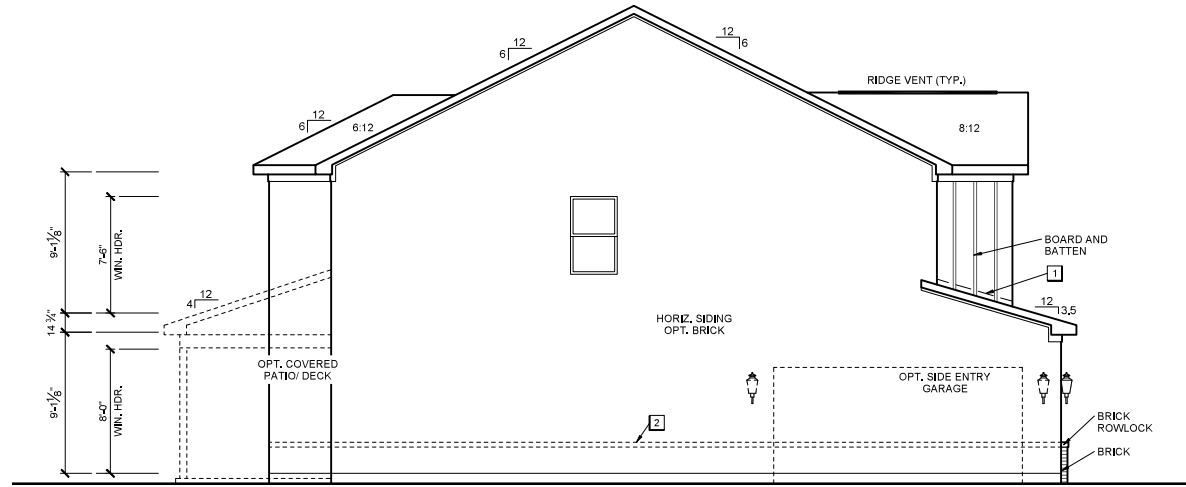
A1.1-B2

RECEIVED

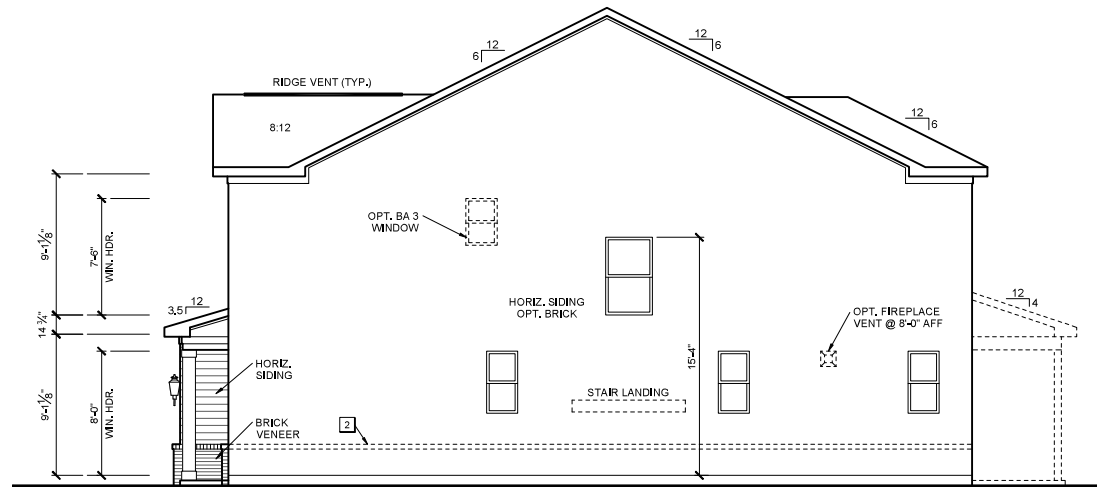
7/7/2022



corner lot only window trim
(wilksmoor only)
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B2'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B2'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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RELEASE DATE:	12.20.19

MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

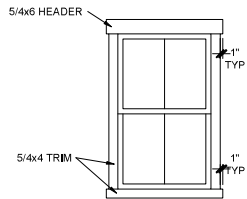
SHEET NO:
A1.2-B2

RECEIVED

7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

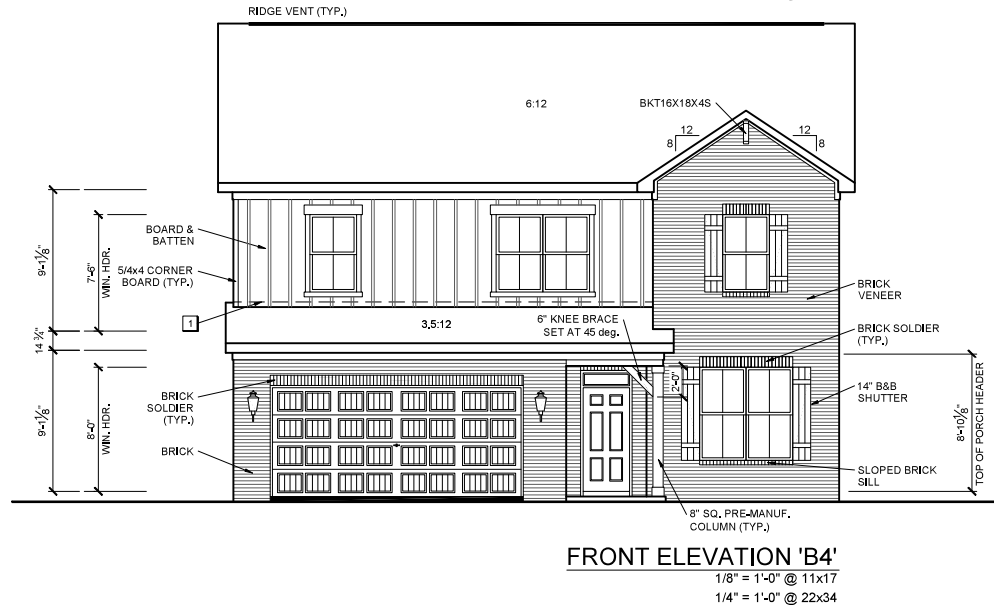
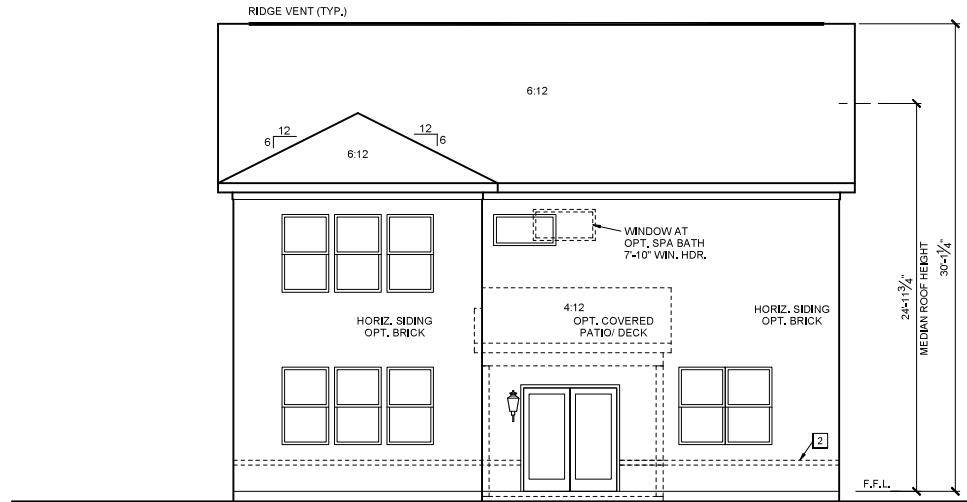
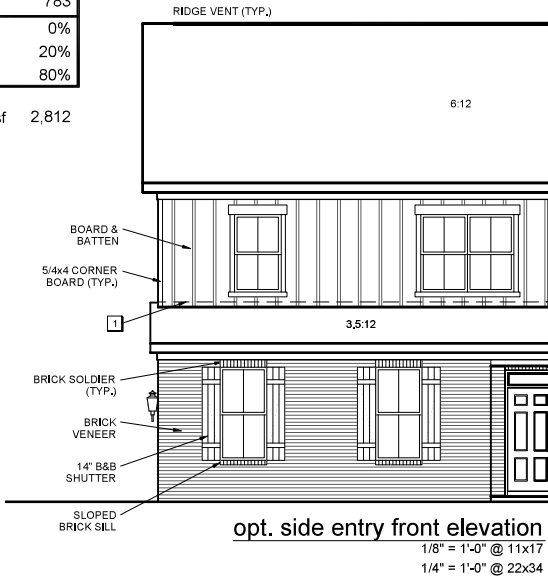


typical door and window trim

front elevation sf

Brick/Stone sf	629
Siding sf	0
Board & Batten sf	154
Siding/B&B sf	154
Total Exterior sf	783
% Siding	0%
% B&B	20%
% Brick/Stone	80%

Total Conditioned sf 2,812



01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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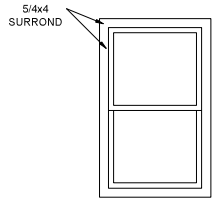
MODEL:
SYCAMORE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

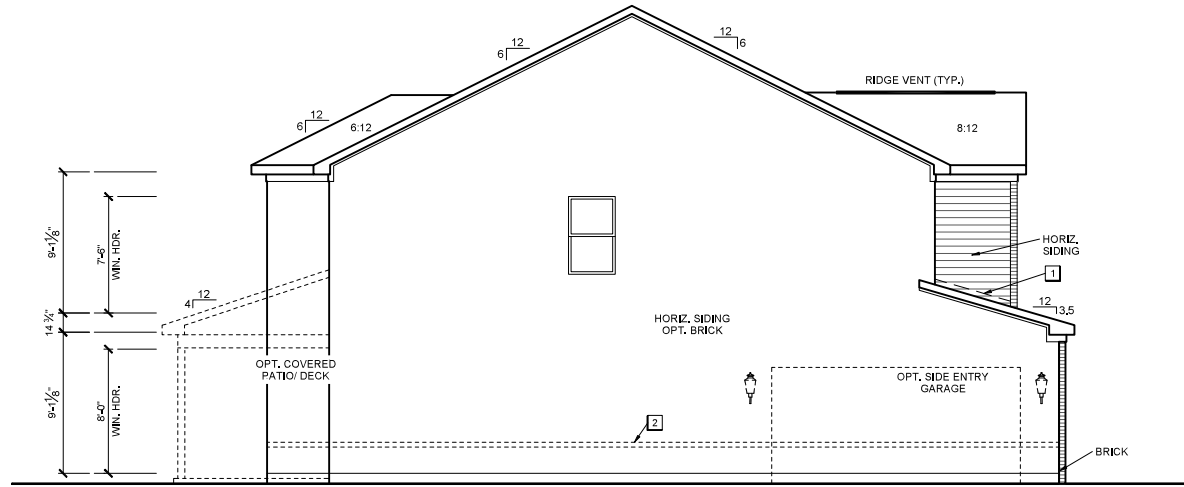
A1.1-B4

RECEIVED

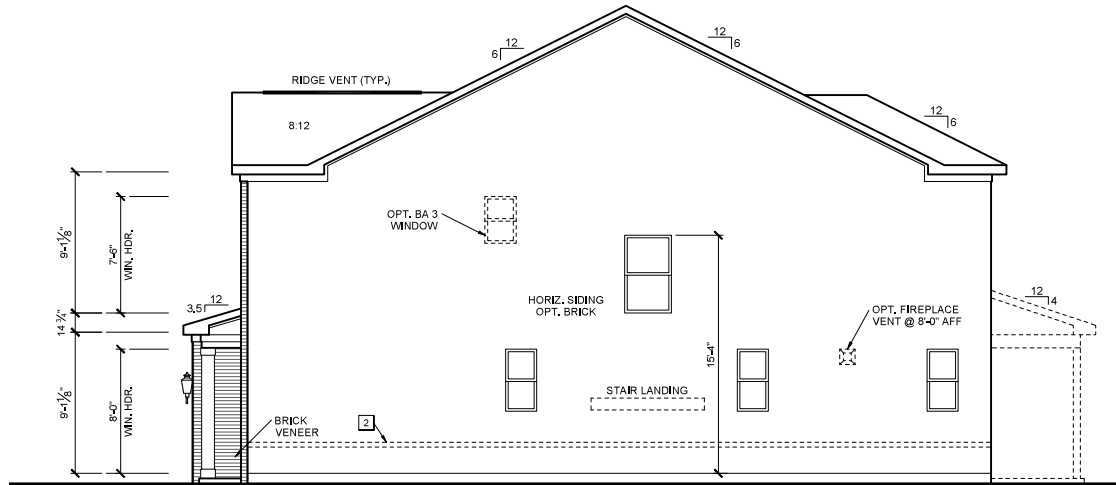
7/7/2022



**corner lot only window trim
(wilksmoor only)**
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B4'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B4'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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DRAWING TITLE:	EXTERIOR ELEVATIONS

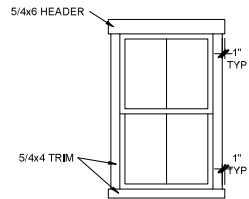
SHEET NO:
A1.2-B4

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Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS



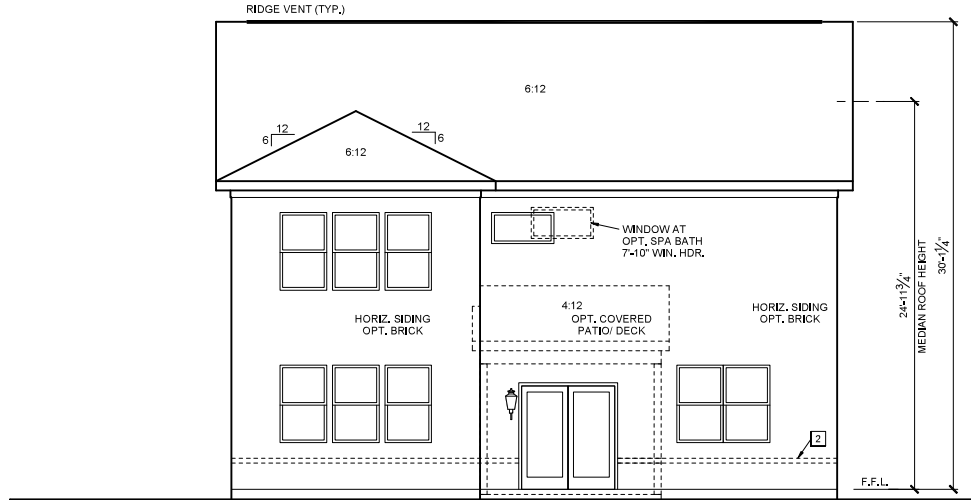
typical door and window trim

front elevation sf

Brick/Stone sf	450
Siding sf	0
Board & Batten sf	0
Siding/B&B sf	0
Total Exterior sf	450
% Siding	0%
% B&B	0%
% Brick/Stone	100%

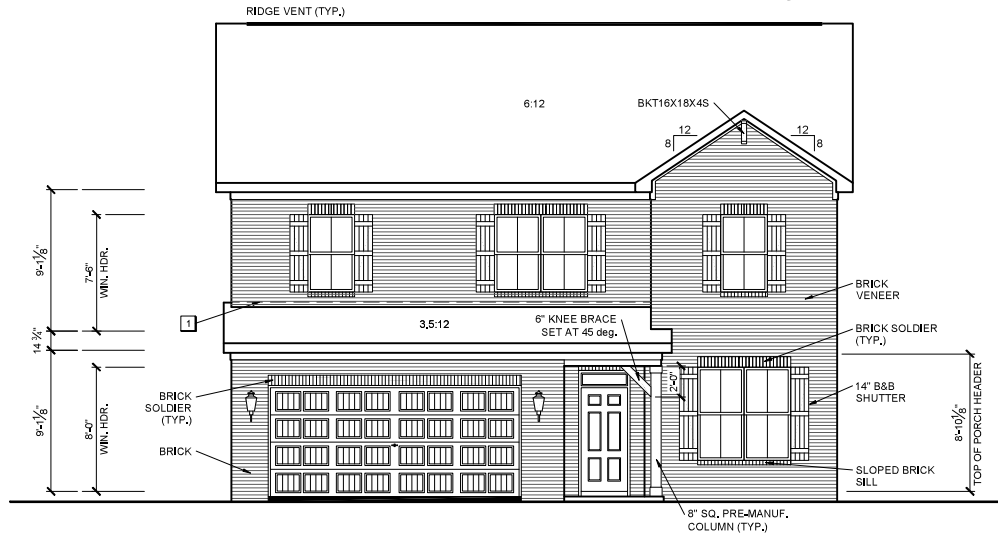
Total Conditioned sf 2,812

SIDE ENTRY GARAGE
NOT AVAILABLE
ELEVATION 'A5'



REAR ELEVATION 'B5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

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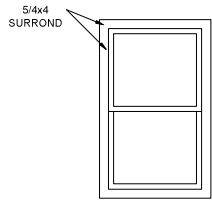
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

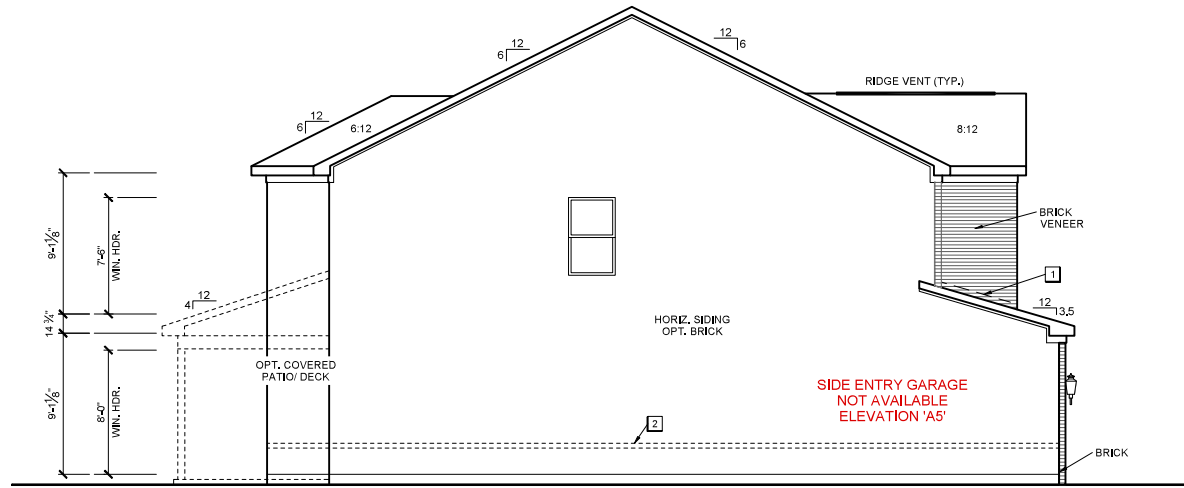
A1.1-B5

RECEIVED

7/7/2022

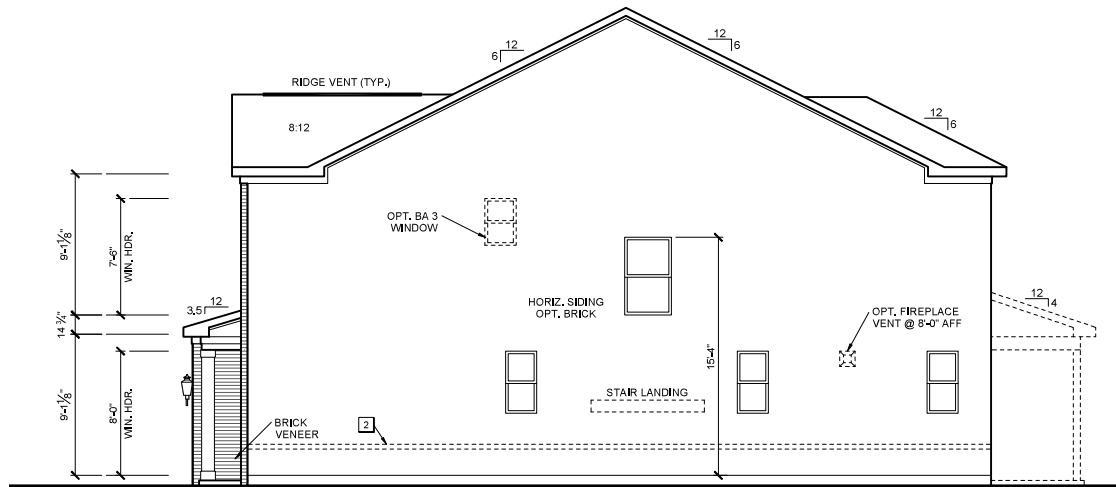


**corner lot only window trim
(wilksmoor only)**
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

NO.	DESCRIPTION
01	REFER TO COVER SHEET FOR DESCRIPTION

16
8
4
0
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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DRAWING TITLE:
EXTERIOR ELEVATIONS

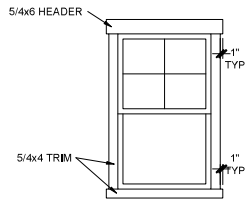
SHEET NO:
A1.2-B5

RECEIVED

7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
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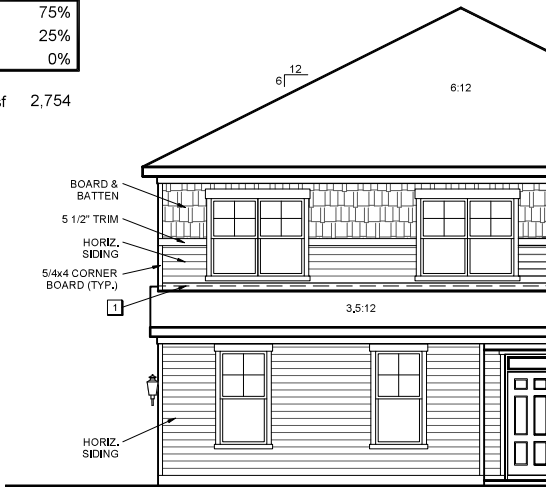


typical door and window trim

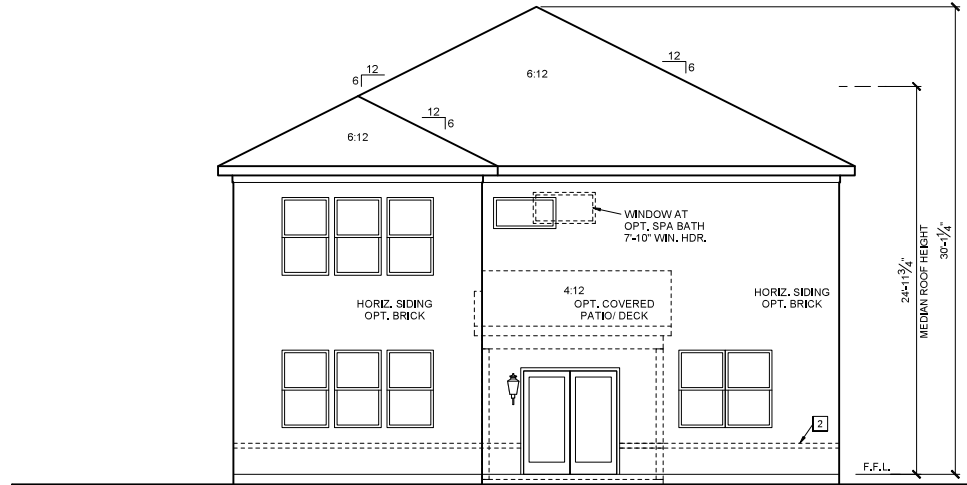
front elevation sf

Brick/Stone sf	0
Siding sf	266
Shake sf	89
Siding/Shake sf	355
Total Exterior sf	355
% Siding	75%
% Shake	25%
% Brick/Stone	0%

Total Conditioned sf 2,754

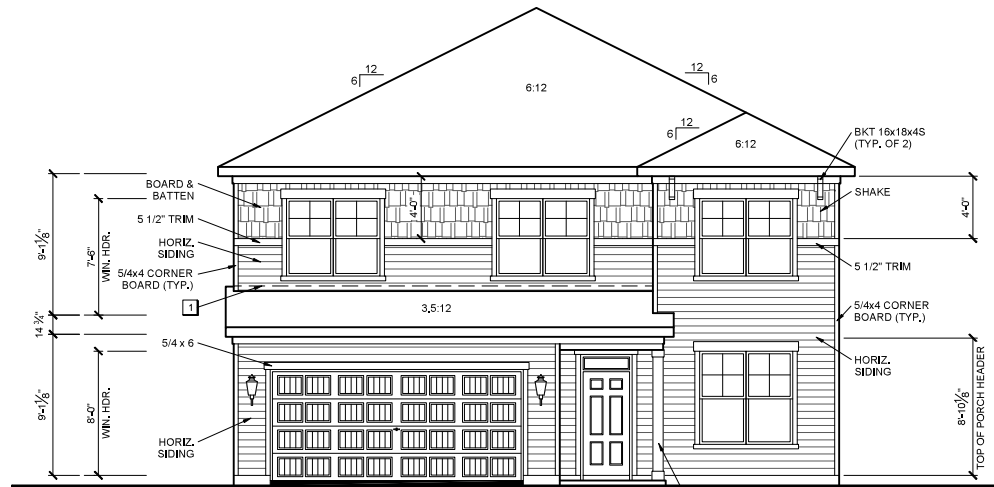


opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
02	
03	
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1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:
23922754
RELEASE DATE:
12.20.19

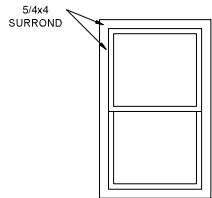
MODEL:
SYCAMORE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C1

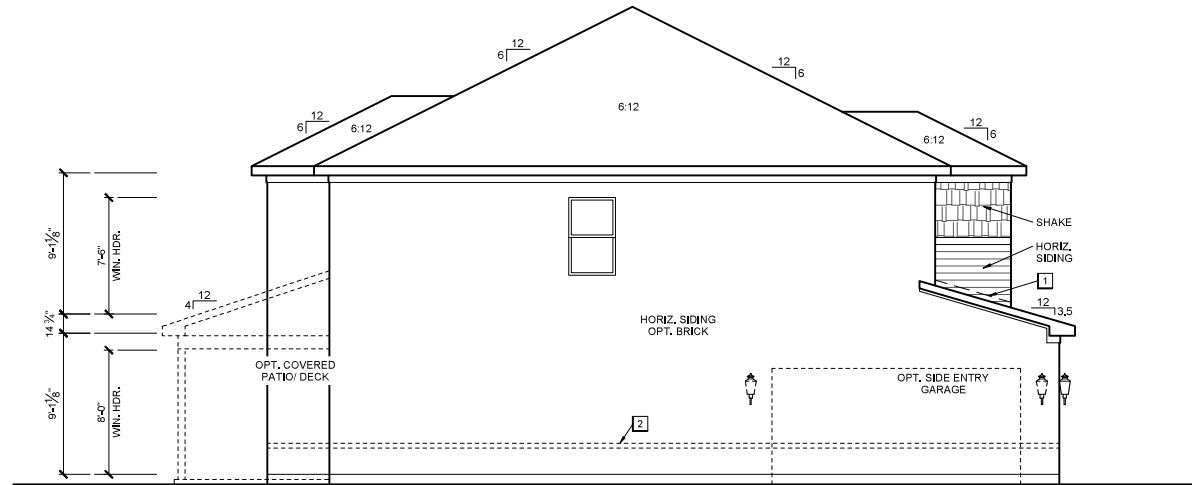
RECEIVED

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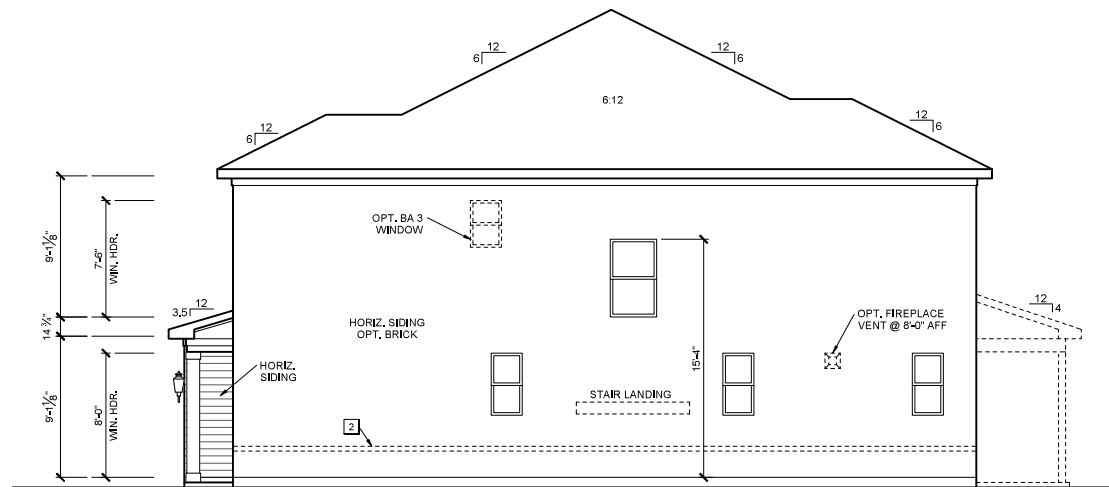
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

NO.	REFER TO COVER SHEET FOR DESCRIPTION
01	
02	
03	
04	
05	
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16	

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PLAN NUMBER:	23922754
RELEASE DATE:	12.20.19

MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

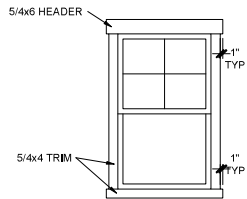
SHEET NO:
A1.2-C1

RECEIVED

7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

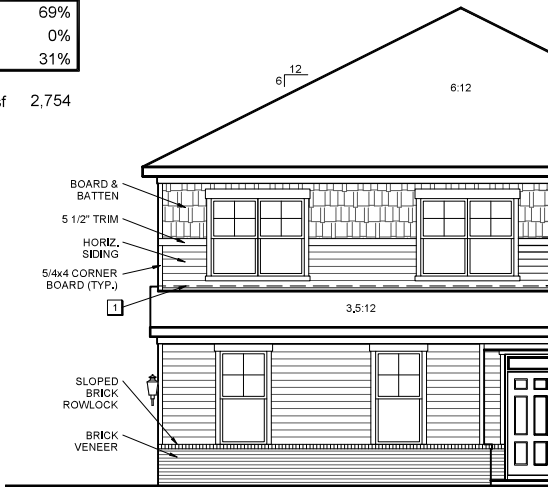


typical door and window trim

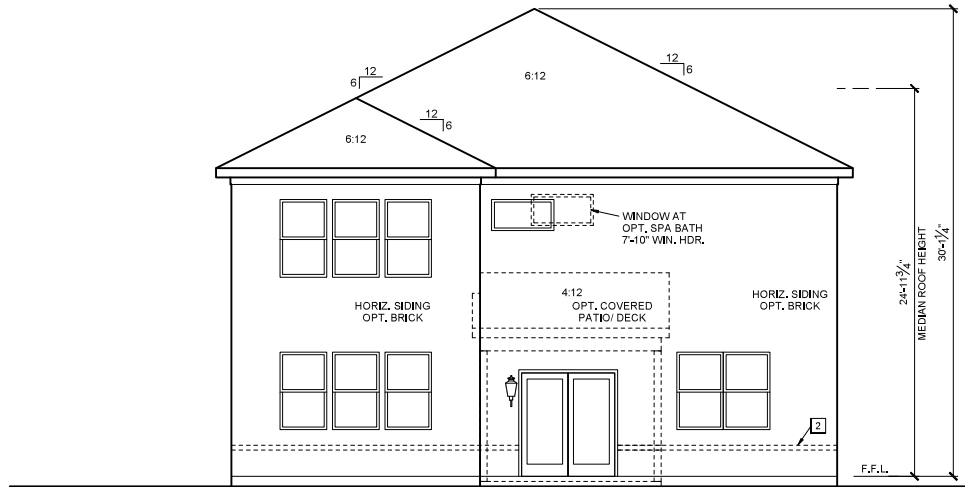
front elevation sf

Brick/Stone sf	124
Siding sf	278
Board & Batten	0
Siding/B&B sf	278
Total Exterior sf	402
% Siding	69%
% B&B	0%
% Brick/Stone	31%

Total Conditioned sf 2,754

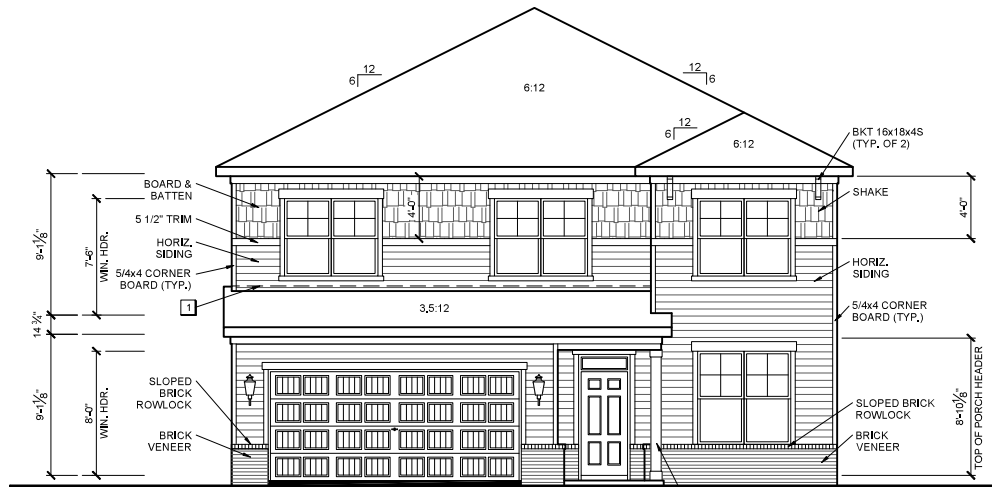


opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
02	
03	
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11	
12	
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PLAN NUMBER:
2392754
RELEASE DATE:
12.20.19

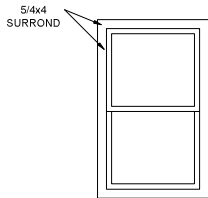
MODEL:
SYCAMORE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

A1.1-C2

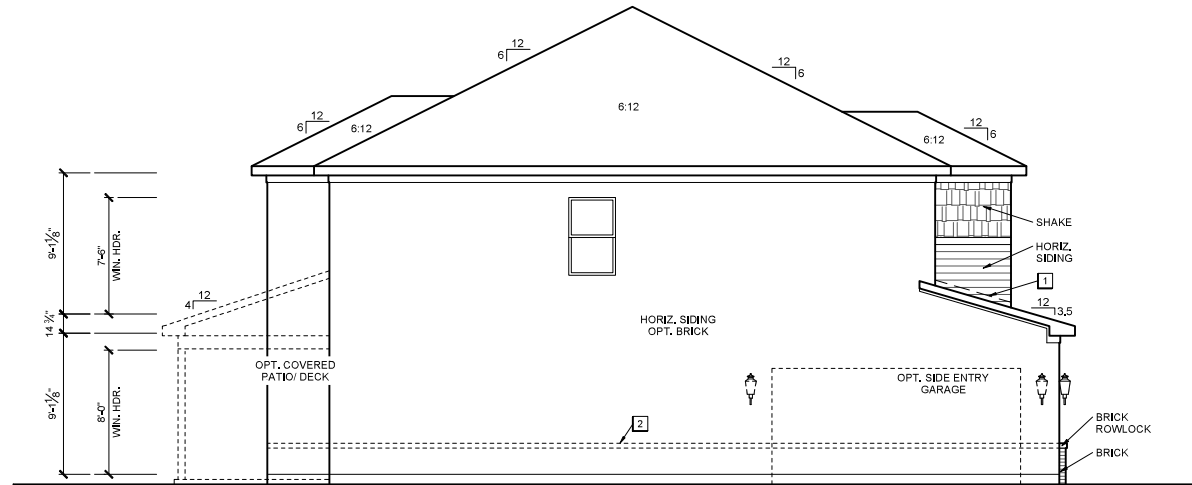
RECEIVED

7/7/2022



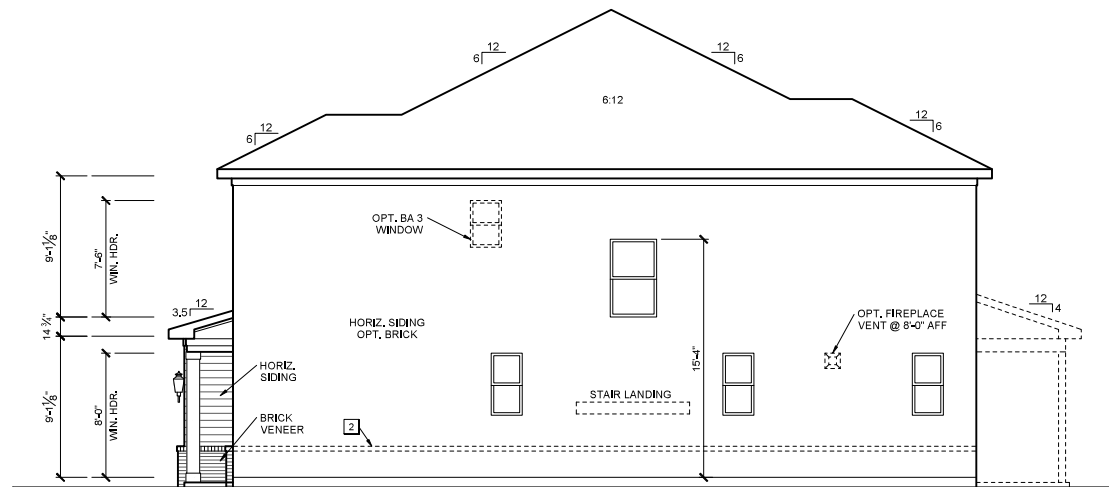
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

NO.	REFER TO COVER SHEET FOR DESCRIPTION
01	
02	
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PLAN NUMBER:	23922754
RELEASE DATE:	12.20.19

MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

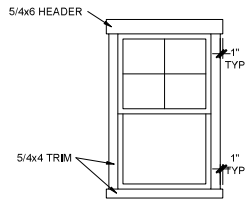
SHEET NO:
A1.2-C2

RECEIVED

7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

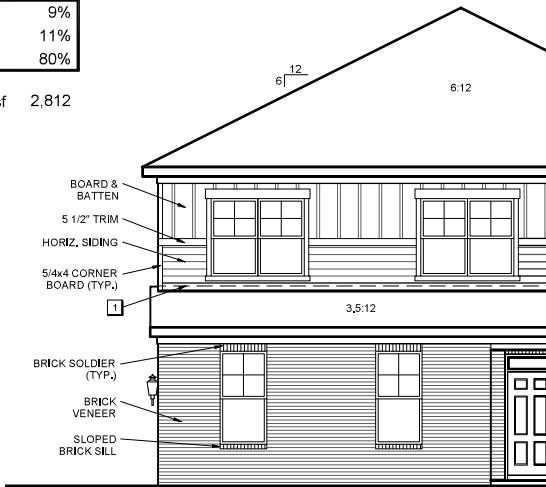


typical door and window trim

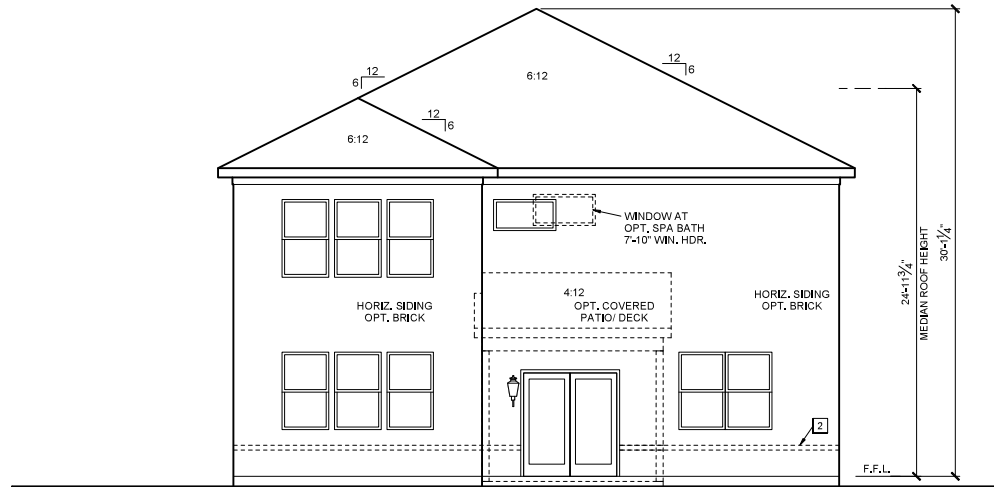
front elevation sf

Brick/Stone sf	564
Siding sf	63
Board & Batten sf	77
Siding/B&B sf	140
Total Exterior sf	704
% Siding	9%
% B&B	11%
% Brick/Stone	80%

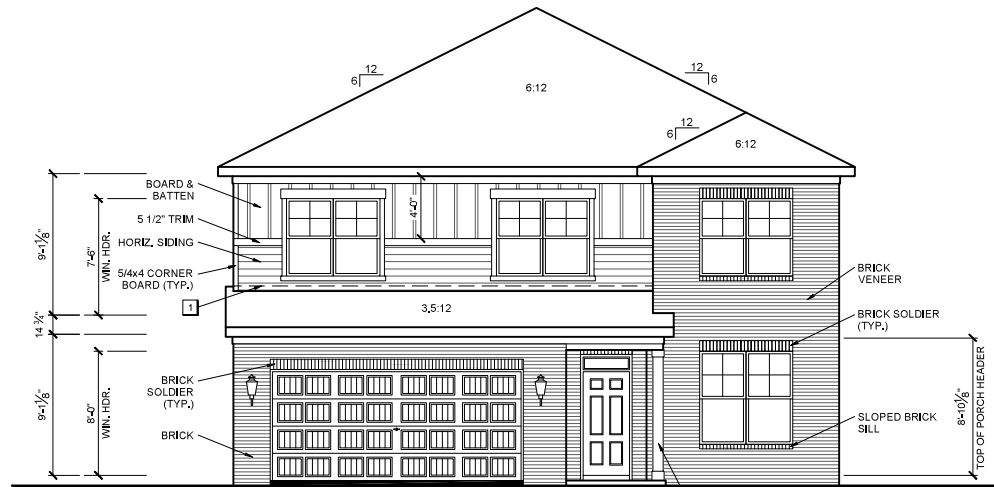
Total Conditioned sf 2,812



opt. side entry front elevation
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'C4'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C4'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:
23922754

RELEASE DATE:
12.20.19

MODEL:
SYCAMORE

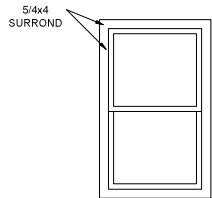
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C4

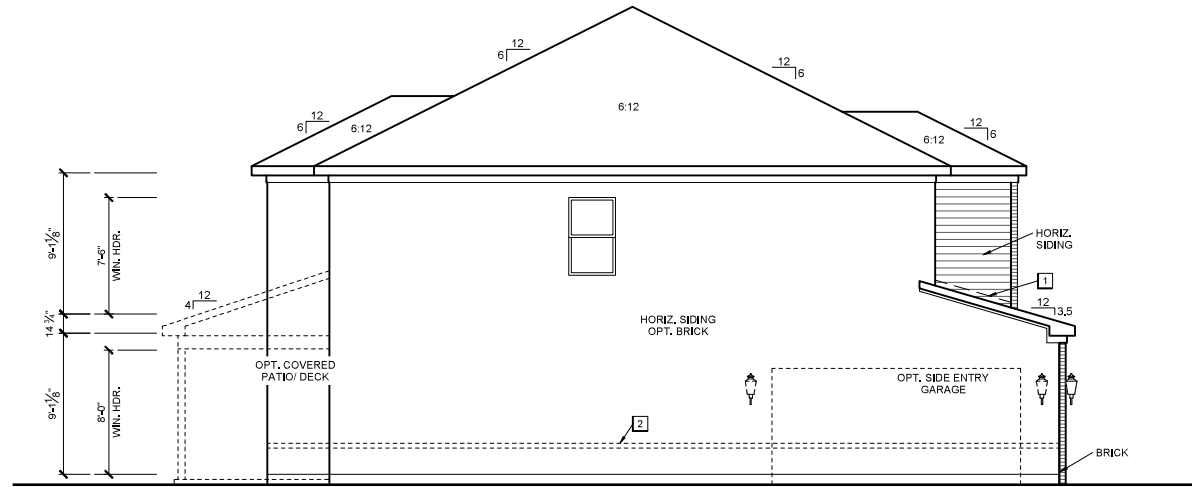
RECEIVED

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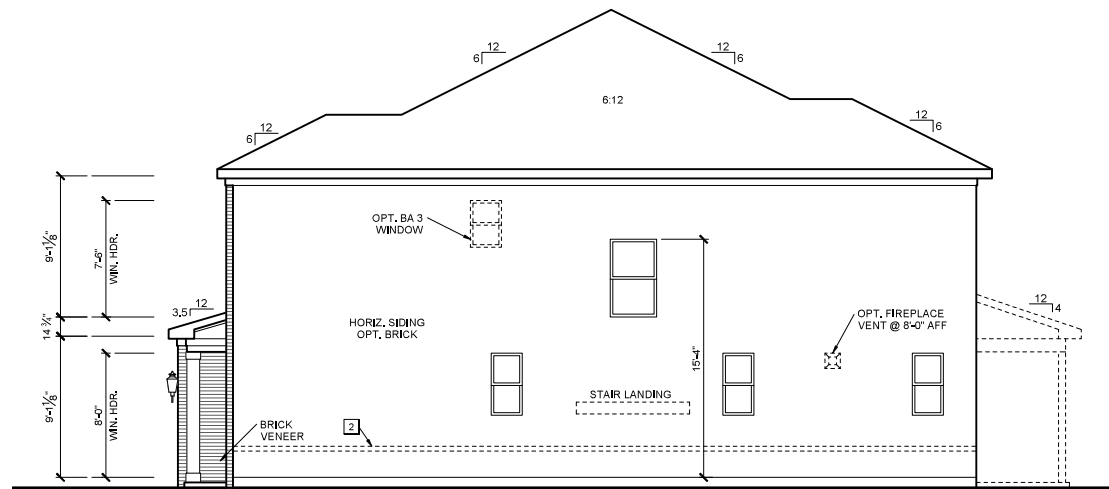
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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PLAN NUMBER:
23922754

RELEASE DATE:
12.20.19

MODEL:
SYCAMORE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

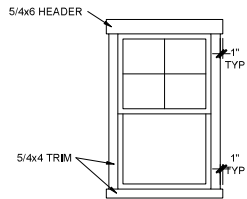
A1.2-C4

RECEIVED

7/7/2022

Keynotes | Legend

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS



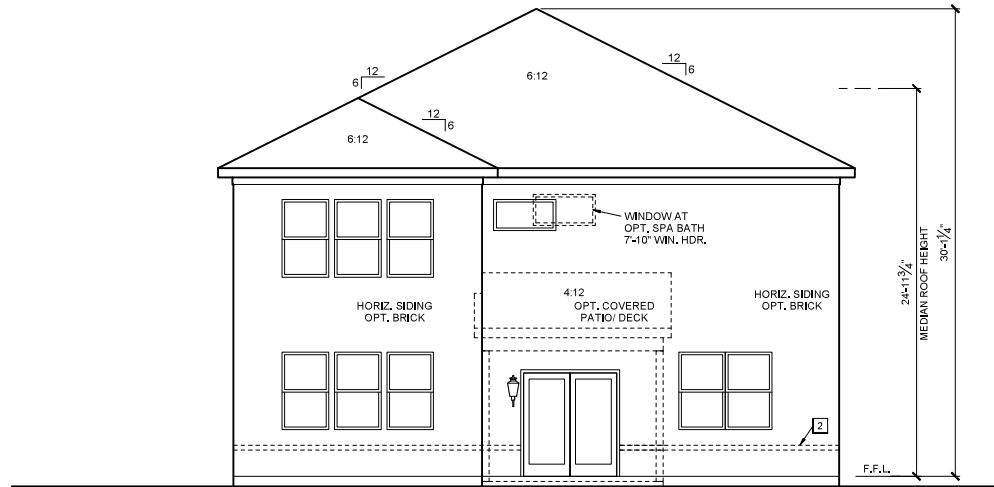
typical door and window trim

front elevation sf

Brick/Stone sf	385
Siding sf	0
Board & Batten sf	0
Siding/B&B sf	0
Total Exterior sf	385
% Siding	0%
% B&B	0%
% Brick/Stone	100%

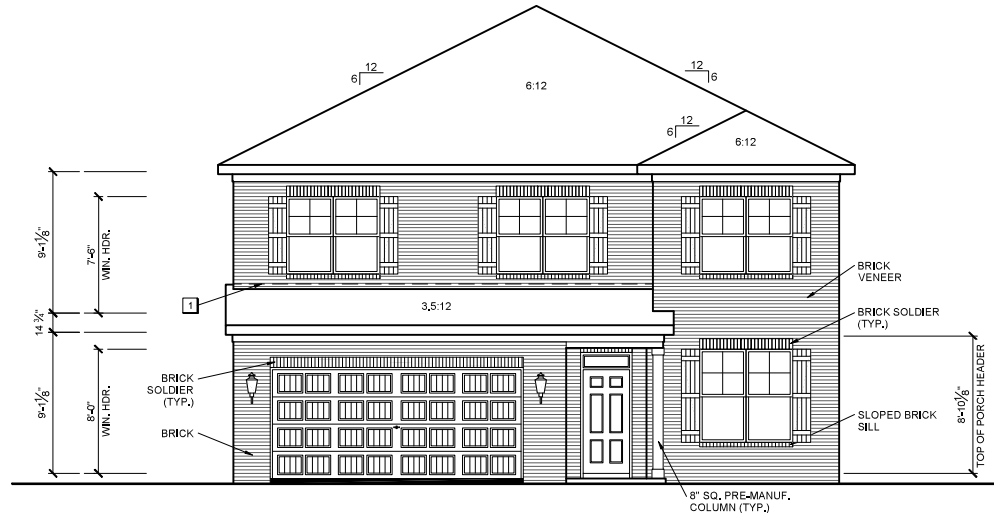
Total Conditioned sf 2,812

**SIDE ENTRY GARAGE
NOT AVAILABLE
ELEVATION 'A5'**



REAR ELEVATION 'C5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	16
4	8
8	4
16	2

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:
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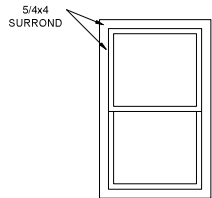
MODEL:
SYCAMORE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

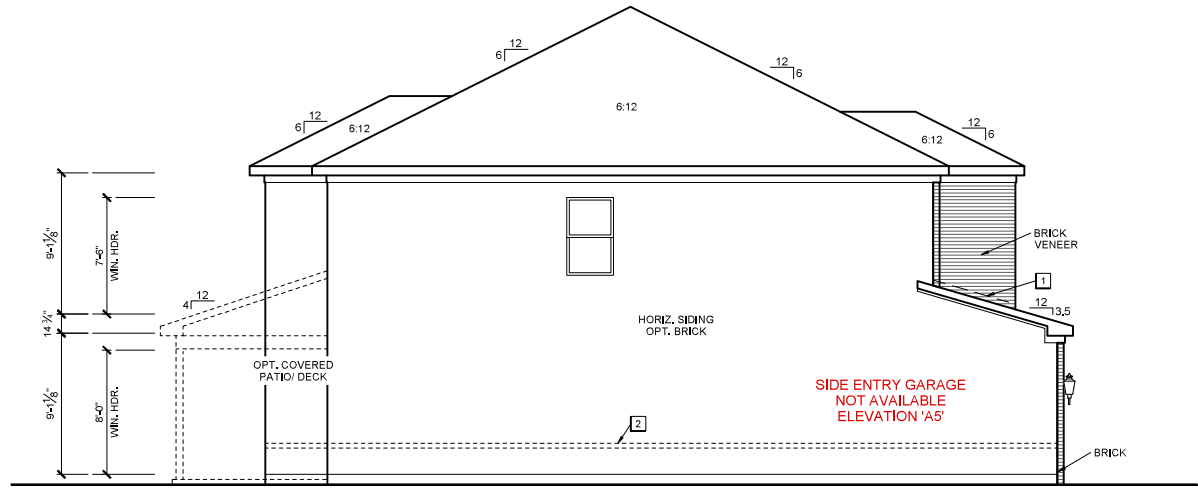
A1.1-C5

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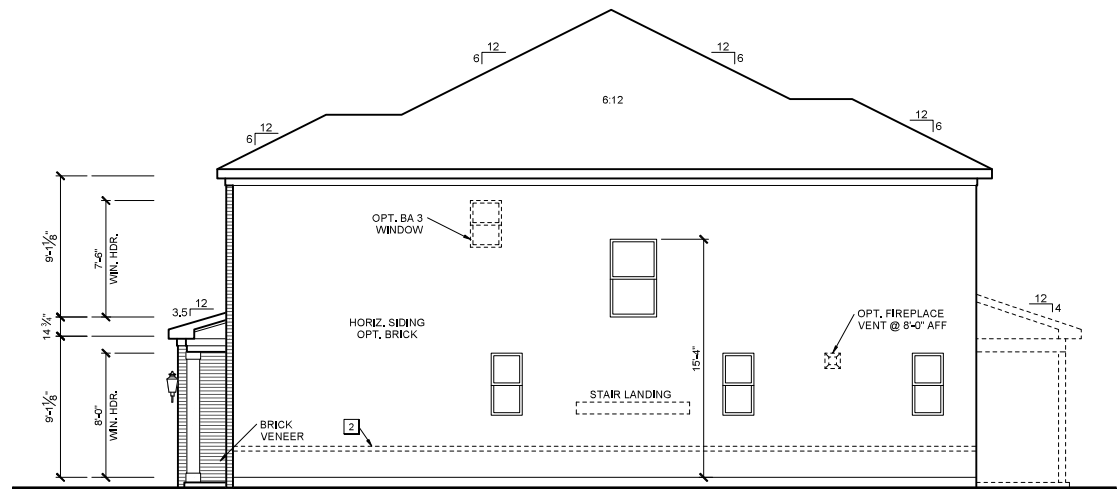


corner lot only window trim
(wilksmoor only)
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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PLAN NUMBER:	23922754
RELEASE DATE:	12.20.19

MODEL:	SYCAMORE
DRAWING TITLE:	EXTERIOR ELEVATIONS

SHEET NO:
A1.2-C5

GREY BIRCH

APPROX. 3,021 SQ. FT. | TWO-STORY HOME | 4-6 BEDROOMS | 2.5-4.5 BATHROOMS | 2 BAY GARAGE



ELEVATION A1



ELEVATION A2



ELEVATION A4



ELEVATION A5



ELEVATION B1



ELEVATION B2



ELEVATION B4



ELEVATION C1



ELEVATION C2



ELEVATION C4



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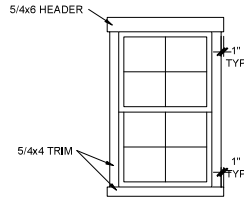
7/7/2022

Keynotes | Legend

1. GUTTER OR FLASHING REQUIRED TO PREVENT WATER INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

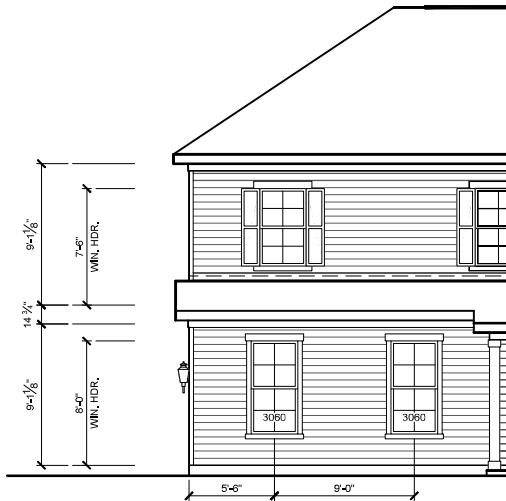
front elevation sf

Brick/Stone sf	0
Siding sf	407
Shake sf	0
Siding/Shake sf	407
Total Exterior sf	407
% Siding	100%
% Shake	0%
% Brick/Stone	0%



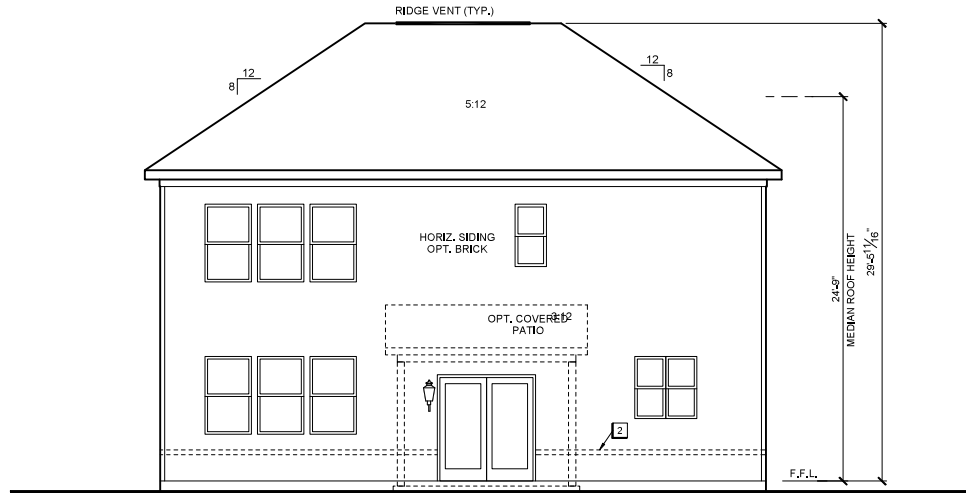
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



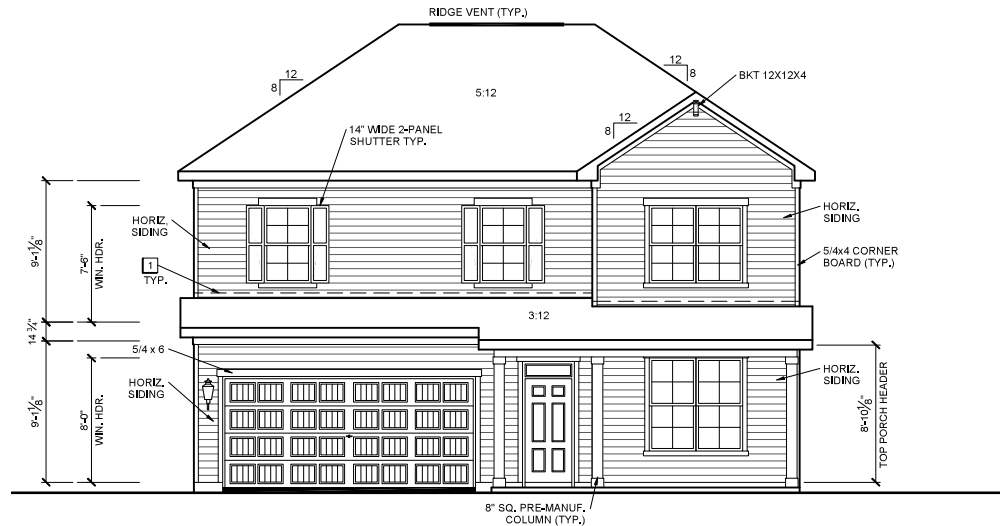
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
--------------------------	---------------------------

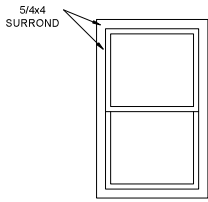
MODEL:
GREY BIRCH
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-A1

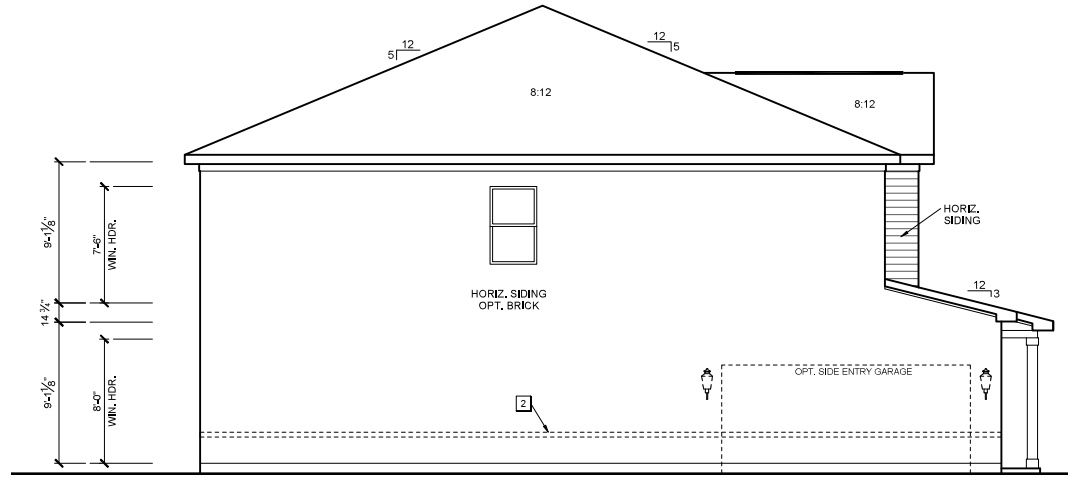
RECEIVED

7/7/2022



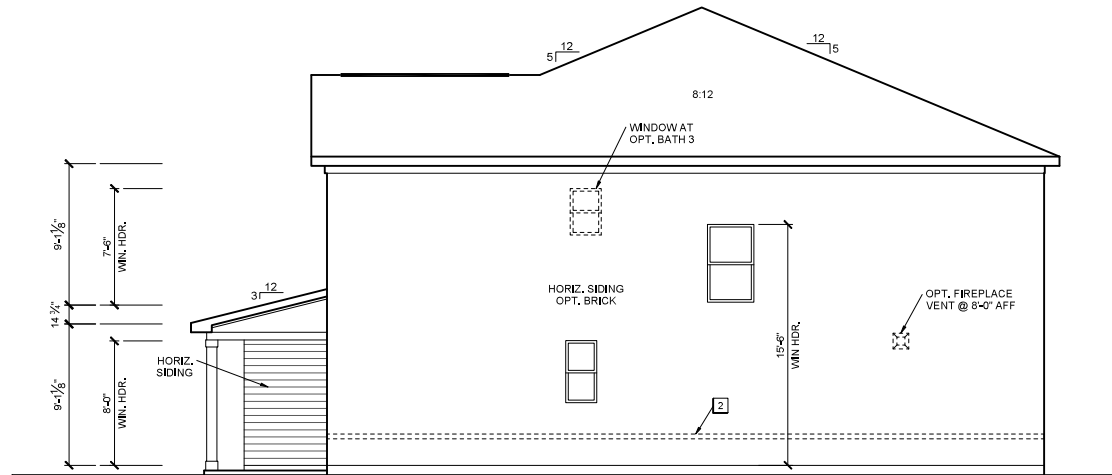
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	0
16	0
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
--------------------------	---------------------------

MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.2-A1

RECEIVED

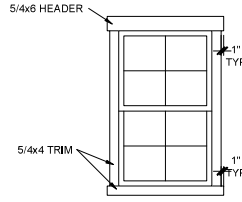
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH REQUIRED FOR ENTRY, PORCH AND INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

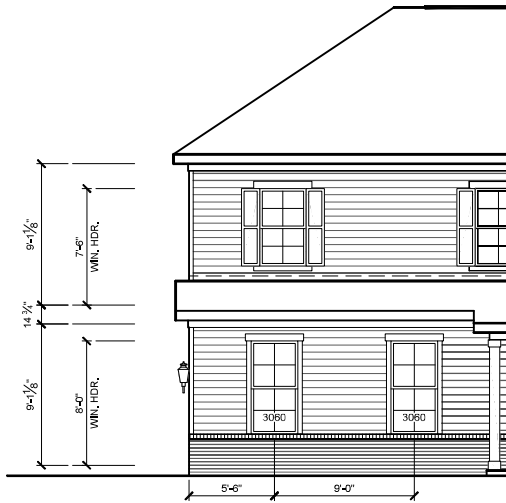
front elevation sf

Brick/Stone sf	58
Siding sf	350
Shake sf	0
Siding/Shake sf	350
Total Exterior sf	408
% Siding	86%
% Shake	0%
% Brick/Stone	14%



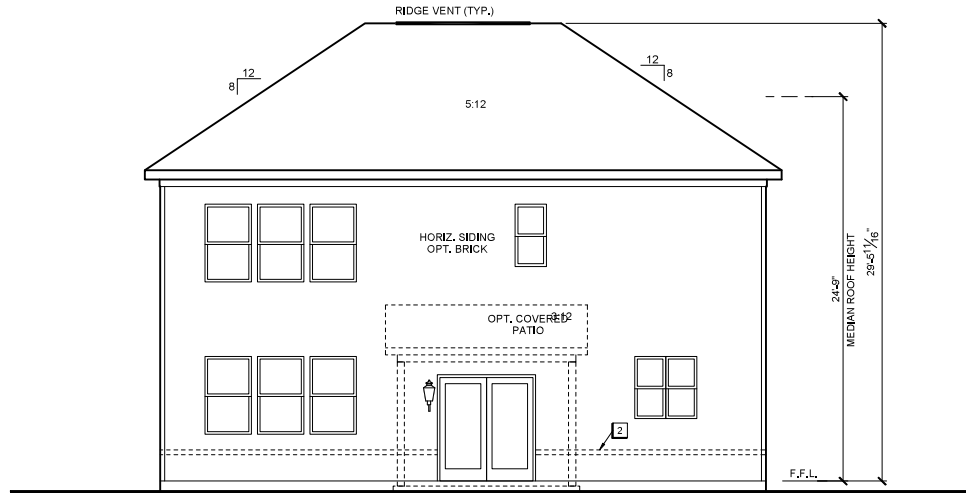
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



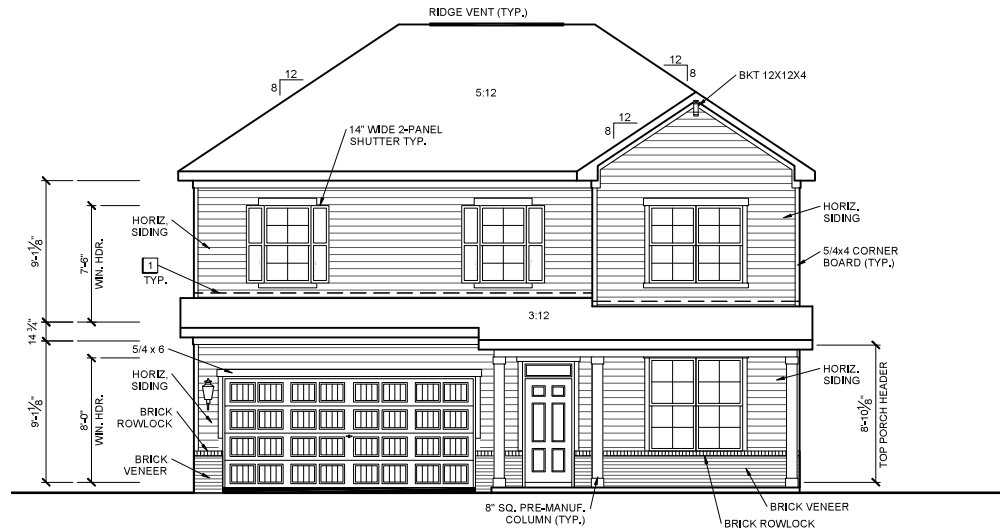
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01									
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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
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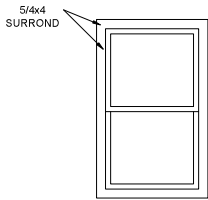
MODEL: **GREY BIRCH**
DRAWING TITLE: **EXTERIOR ELEVATIONS**

SHEET NO.

A1.1-A2

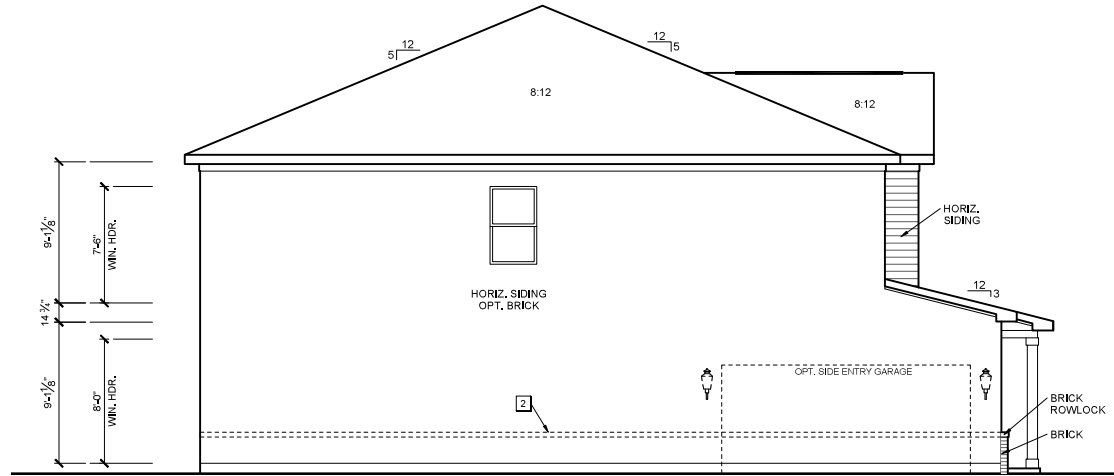
RECEIVED

7/7/2022



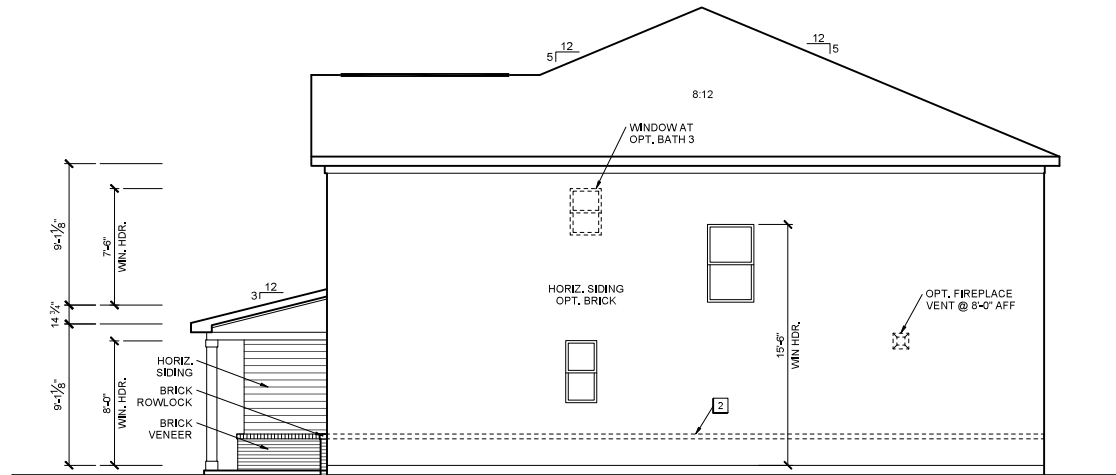
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
--------------------------	---------------------------

MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.2-A2

RECEIVED

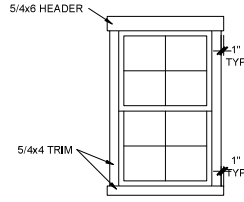
7/7/2022

Keynotes | Legend

1. BRICK OR STONE ROOF FINISH FOR ALL ROOF INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

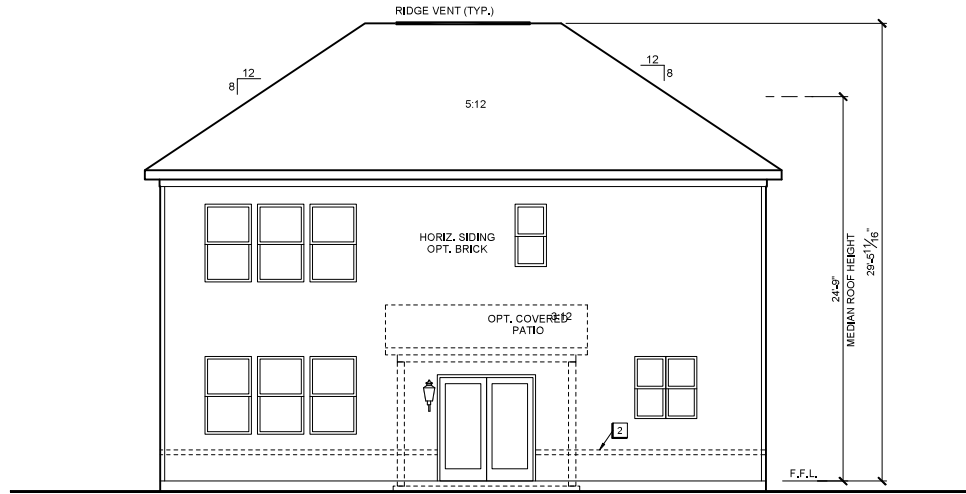
front elevation sf

Brick/Stone sf	334
Siding sf	148
Shake sf	0
Siding/Shake sf	148
Total Exterior sf	482
% Siding	31%
% Shake	0%
% Brick/Stone	69%



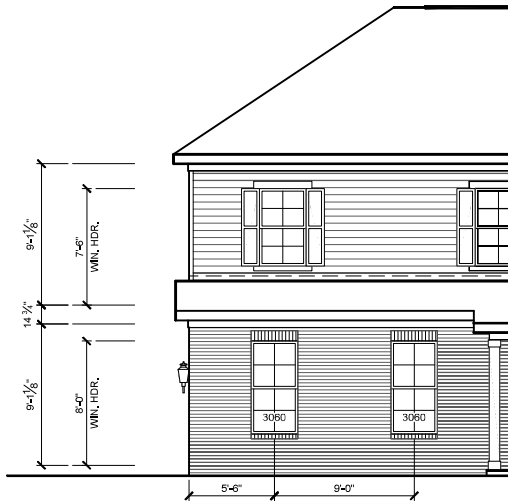
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



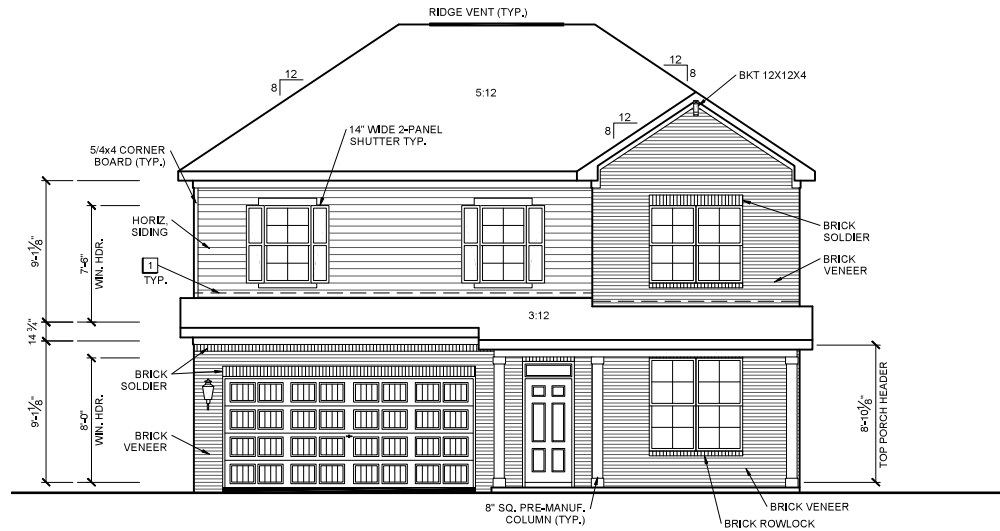
REAR ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



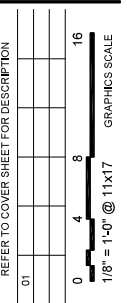
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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23923021
RELEASE DATE:
01.15.20

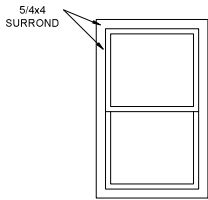
MODEL:
GREY BIRCH
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-A4

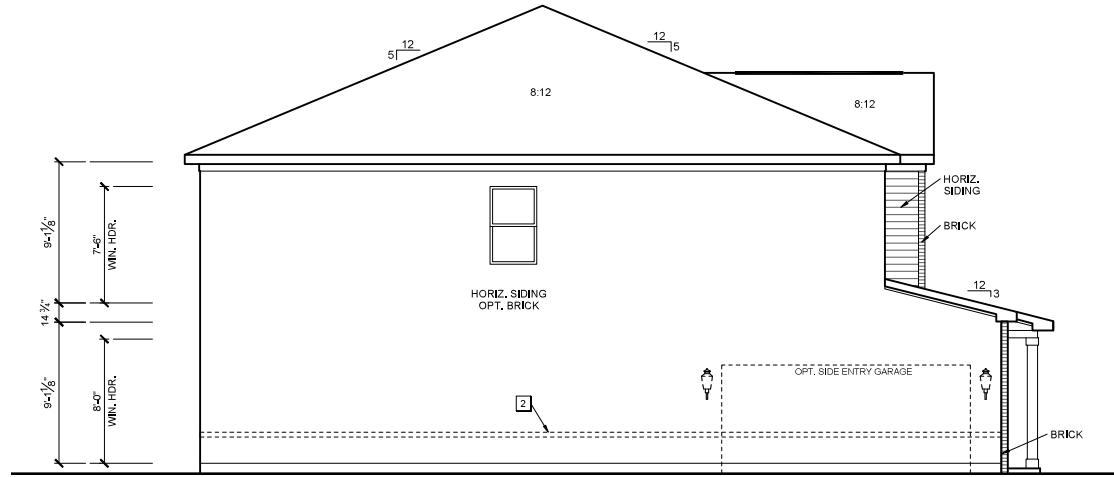
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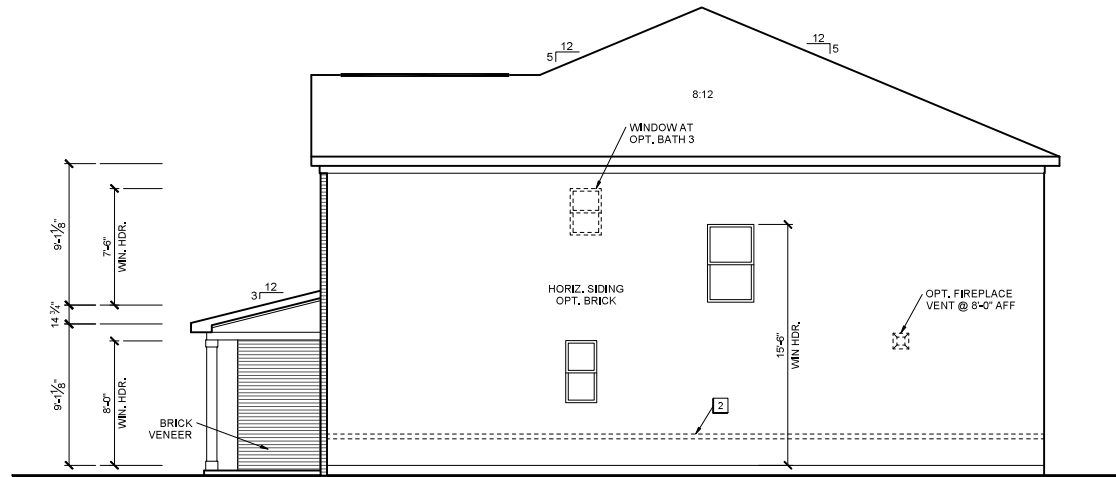
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	0
16	0
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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PLAN NUMBER:
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RELEASE DATE:
01.15.20

MODEL:
GREY BIRCH

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.2-A4

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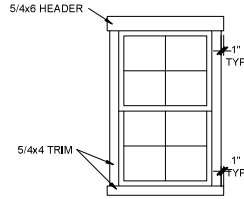
7/7/2022

Keynotes | Legend

1. BRICK OR STONE WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS, OR INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

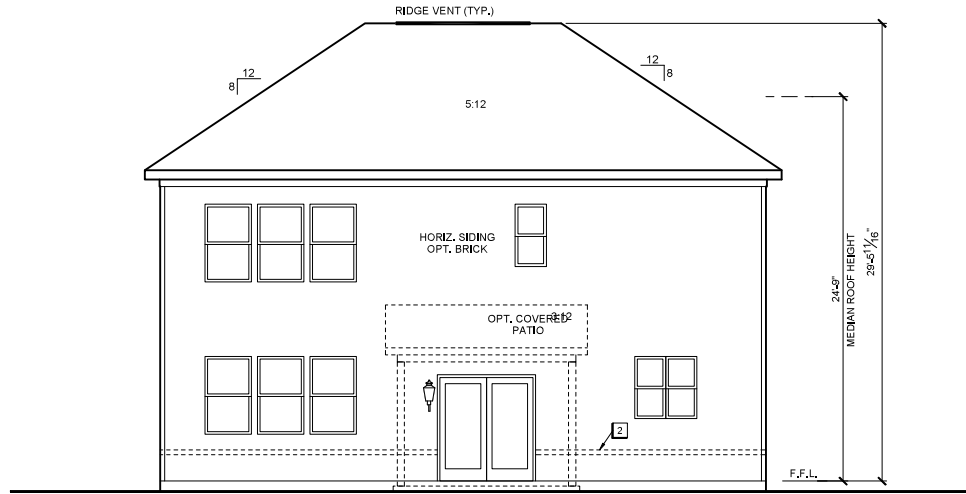
front elevation sf

Brick/Stone sf	428
Siding sf	0
Shake sf	0
Siding/Shake sf	0
Total Exterior sf	428
% Siding	0%
% Shake	0%
% Brick/Stone	100%



typical window and door trim

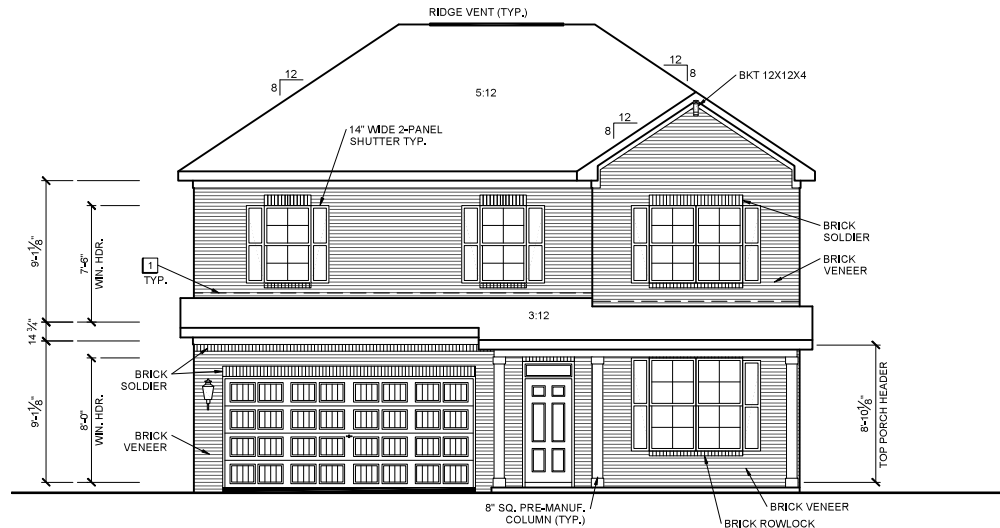
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A5'

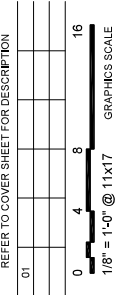
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

SIDE ENTRY GARAGE
NOT AVAILABLE
ELEVATION 'A5'



FRONT ELEVATION 'A5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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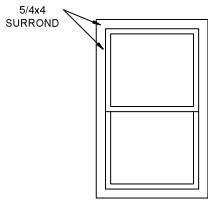
MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.:

A1.1-A5

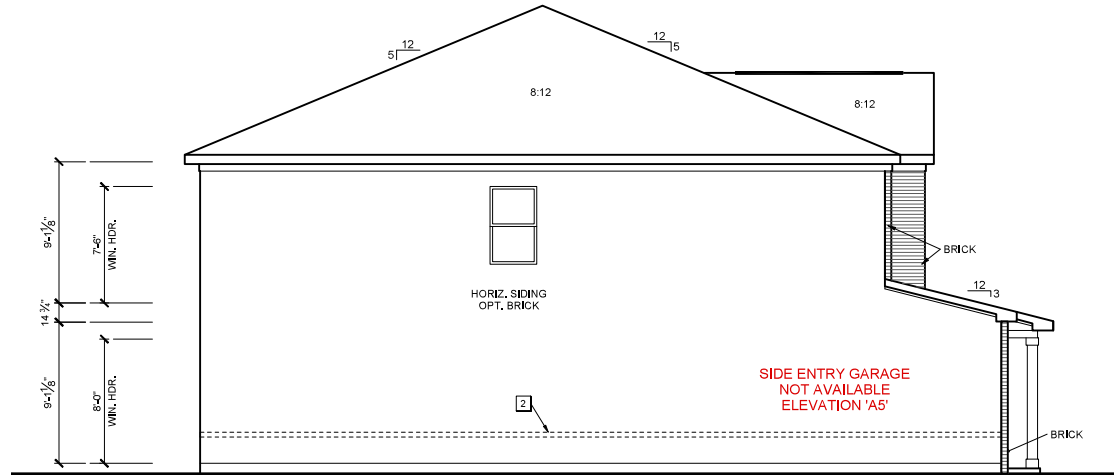
RECEIVED

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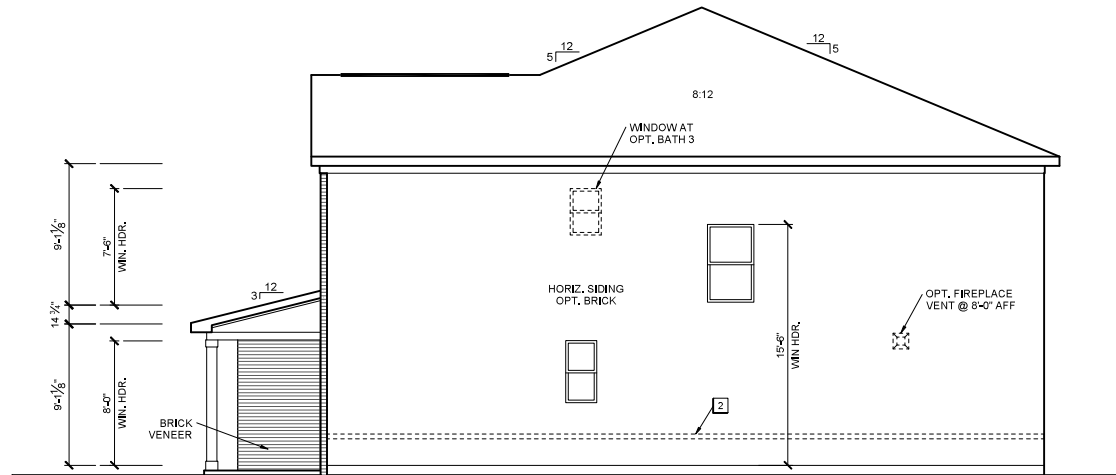
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A5'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	2
16	1
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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RELEASE DATE:
01.15.20

MODEL:
GREY BIRCH

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.2-A5

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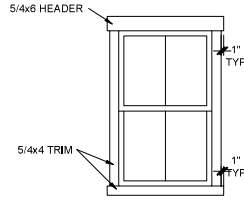
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO MATCH EXISTING FINISH AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

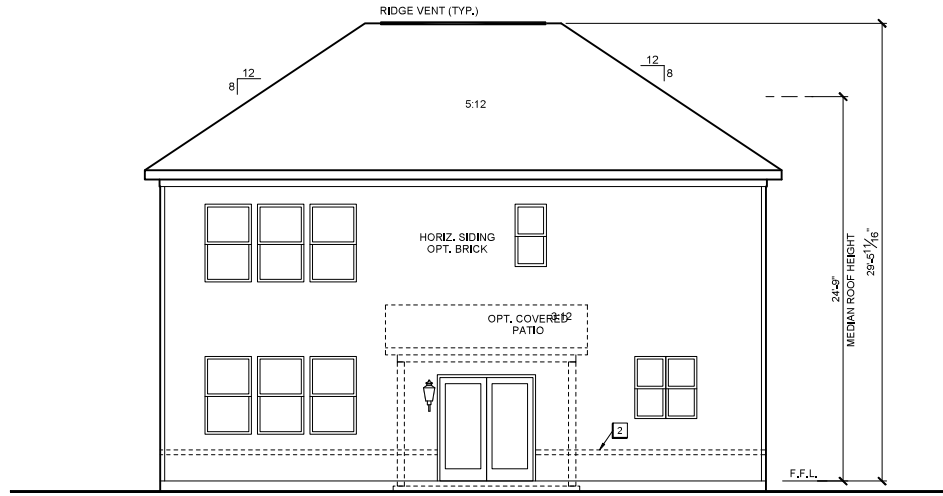
front elevation sf

Brick/Stone sf	0
Siding sf	468
Shake sf	0
Siding/Shake sf	468
Total Exterior sf	468
% Siding	100%
% Shake	0%
% Brick/Stone	0%



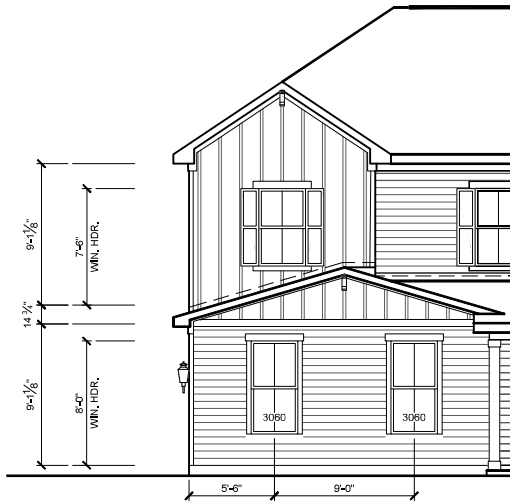
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



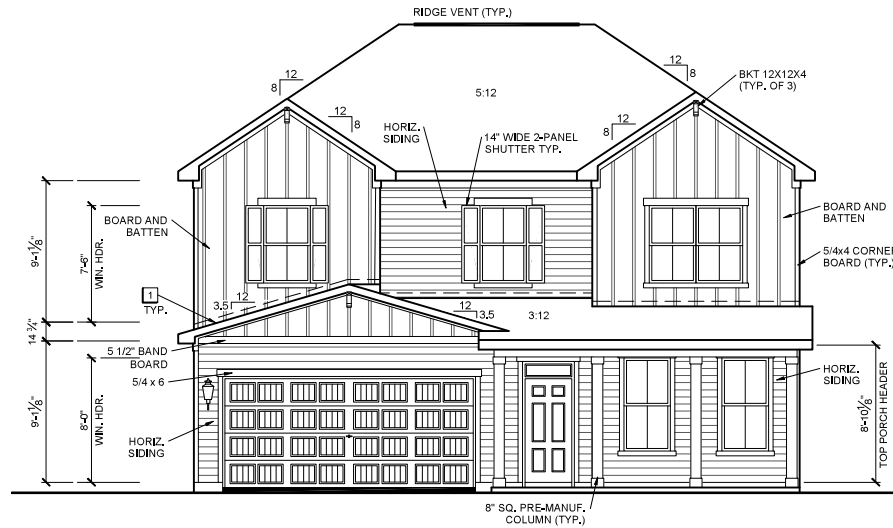
REAR ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



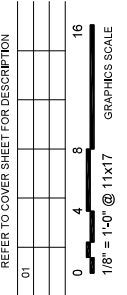
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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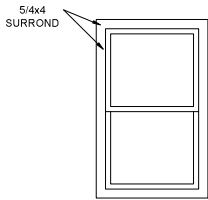
MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.1-B1

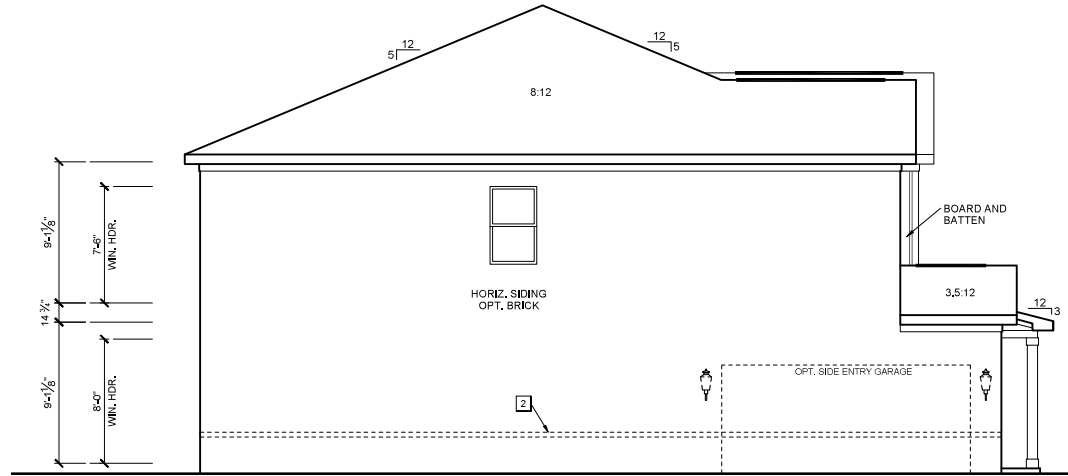
RECEIVED

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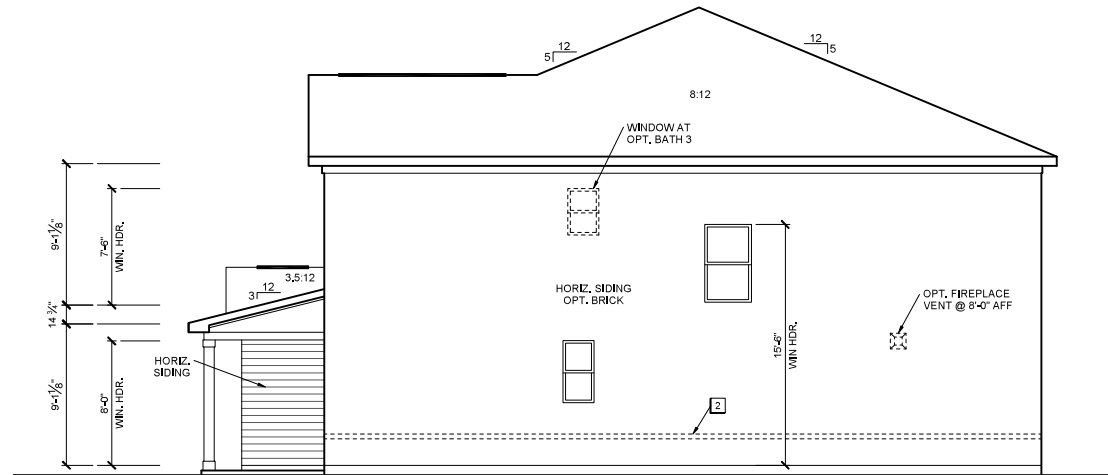
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	0
16	16
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
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MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.2-B1

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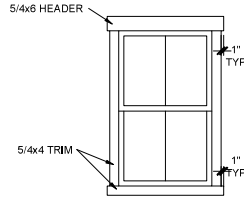
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH REQUIRED FOR ALL EXTERIOR WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

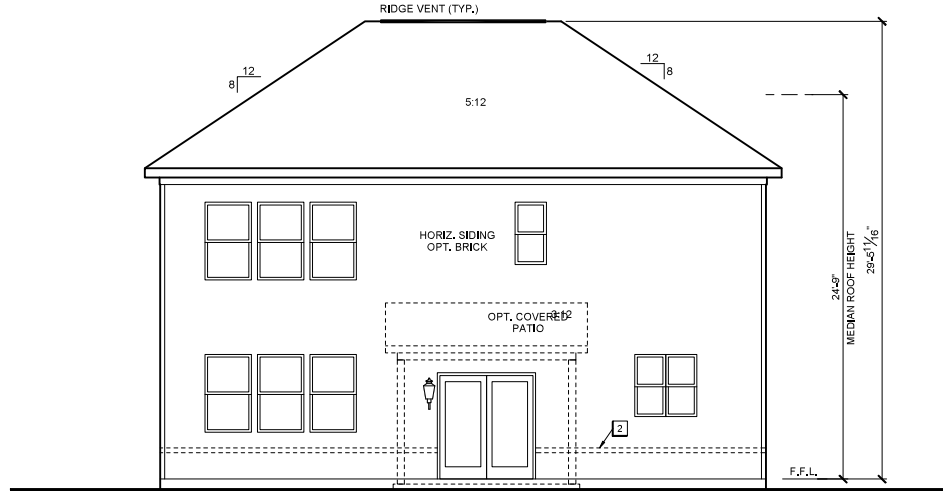
front elevation sf

Brick/Stone sf	58
Siding sf	372
Shake sf	0
Siding/Shake sf	372
Total Exterior sf	430
% Siding	87%
% Shake	0%
% Brick/Stone	13%



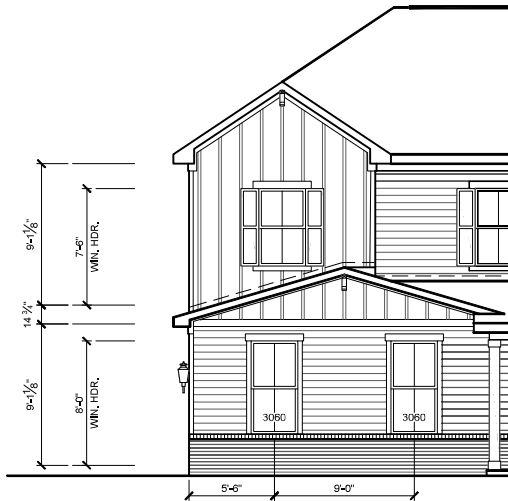
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



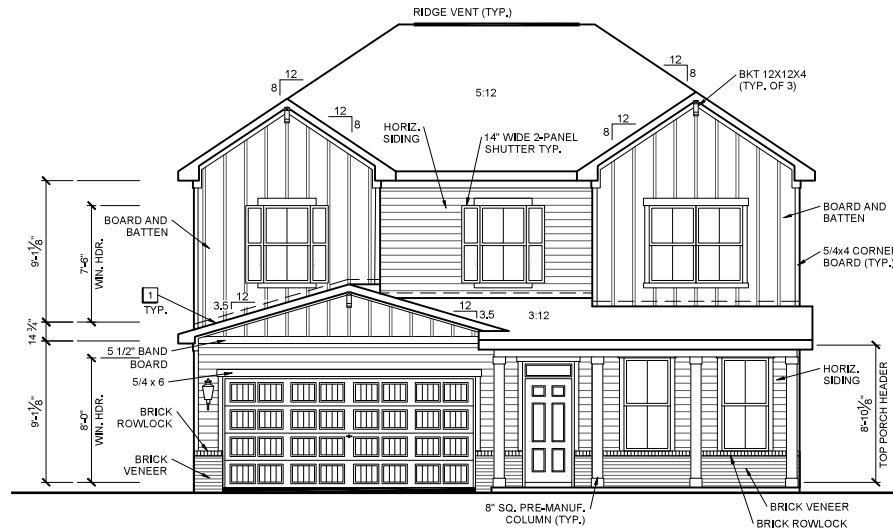
REAR ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



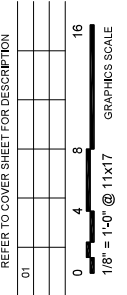
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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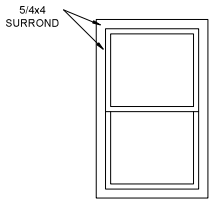
MODEL:
GREY BIRCH
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-B2

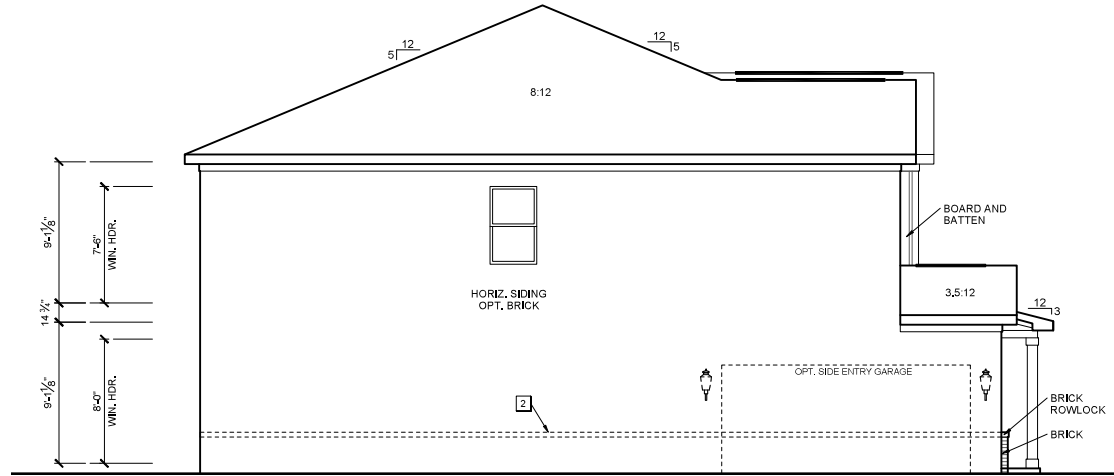
RECEIVED

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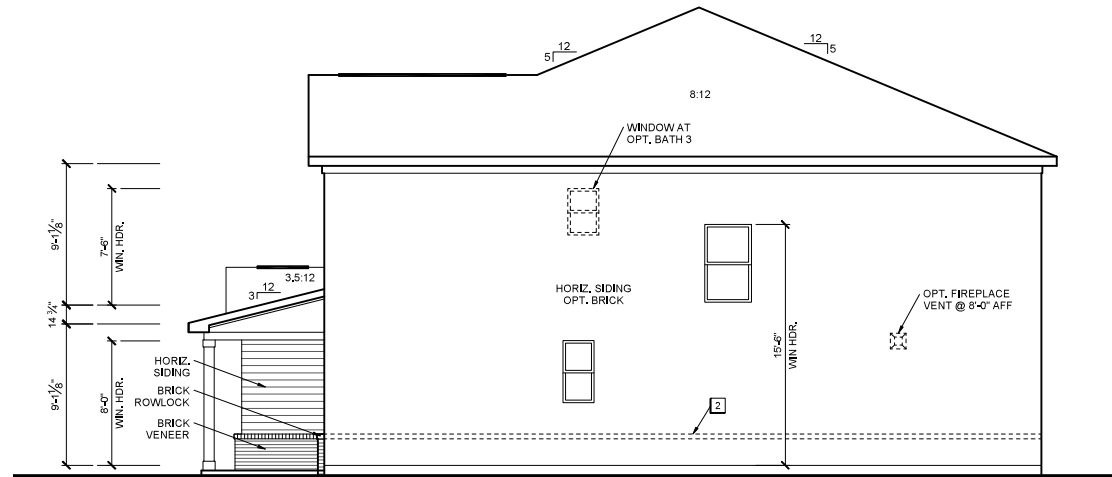
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.2-B2

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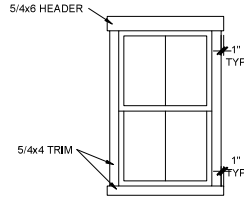
7/7/2022

Keynotes | Legend

1. BRICK OR BRICK AND STONE WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS.

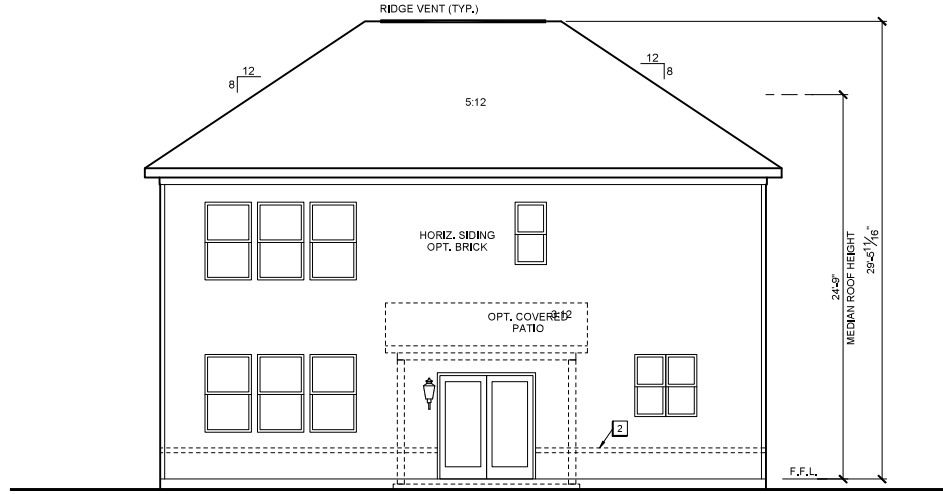
front elevation sf

Brick/Stone sf	499
Siding sf	0
Shake sf	0
Siding/Shake sf	0
Total Exterior sf	499
% Siding	0%
% Shake	0%
% Brick/Stone	100%



typical window and door trim

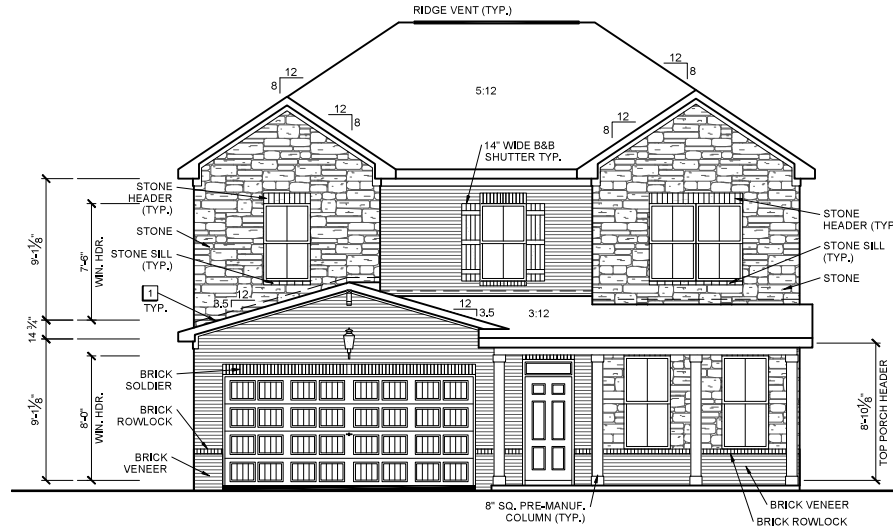
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'B4'

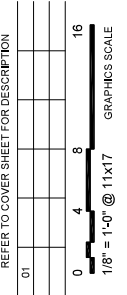
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

**SIDE ENTRY GARAGE
NOT AVAILABLE
ELEVATION 'B4'**



FRONT ELEVATION 'B4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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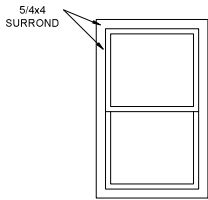
MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.1-B4

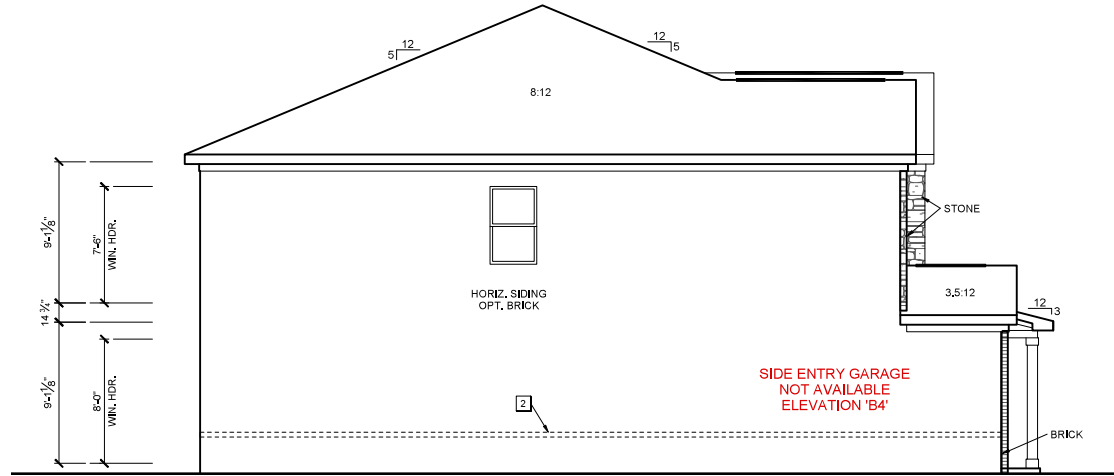
RECEIVED

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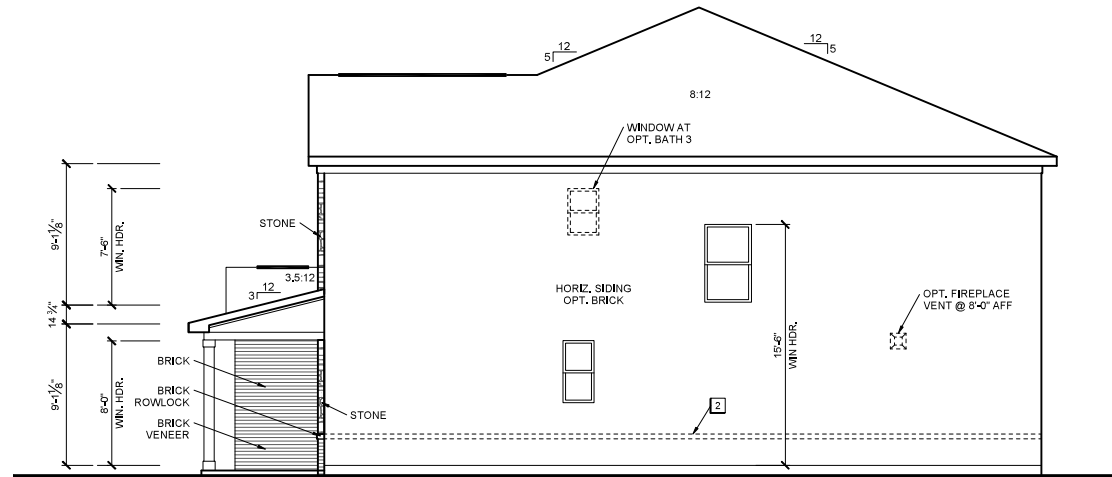
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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23923021

RELEASE DATE:
01.15.20

MODEL:
GREY BIRCH

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.2-B4

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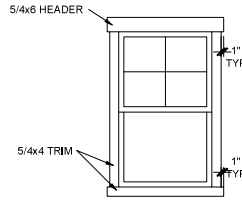
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO MATCH EXTERIOR WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

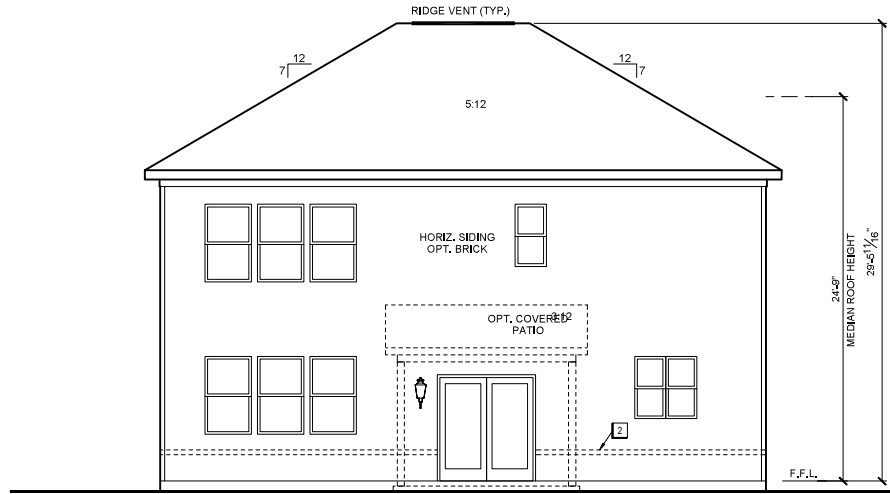
front elevation sf

Brick/Stone sf	0
Siding sf	263
Shake sf	130
Siding/Shake sf	393
Total Exterior sf	393
% Siding	67%
% Shake	33%
% Brick/Stone	0%



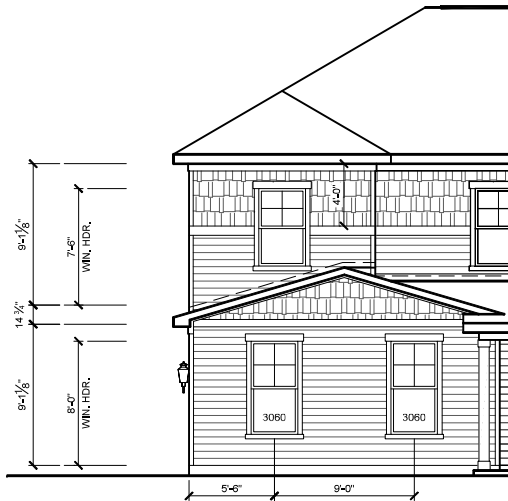
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



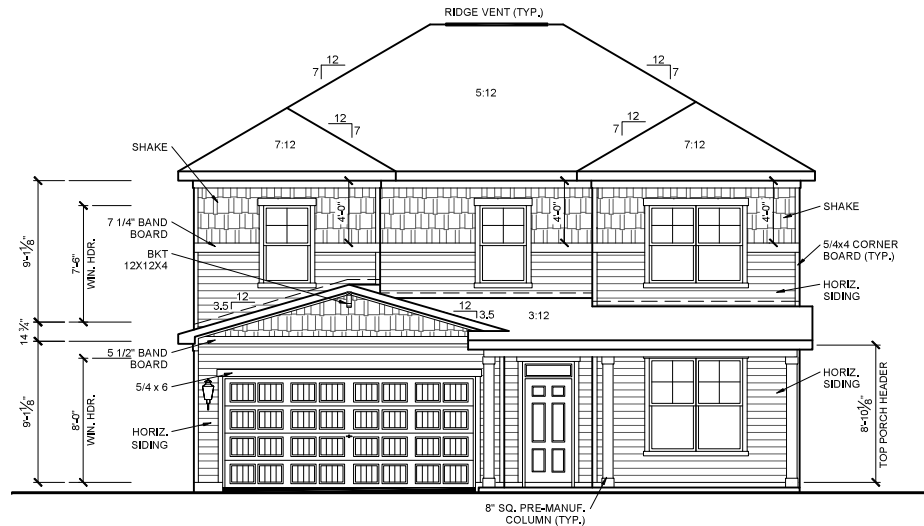
REAR ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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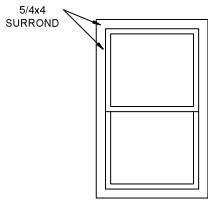
PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
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MODEL: **GREY BIRCH**
DRAWING TITLE: **EXTERIOR ELEVATIONS**

SHEET NO.: **A1.1-C1**

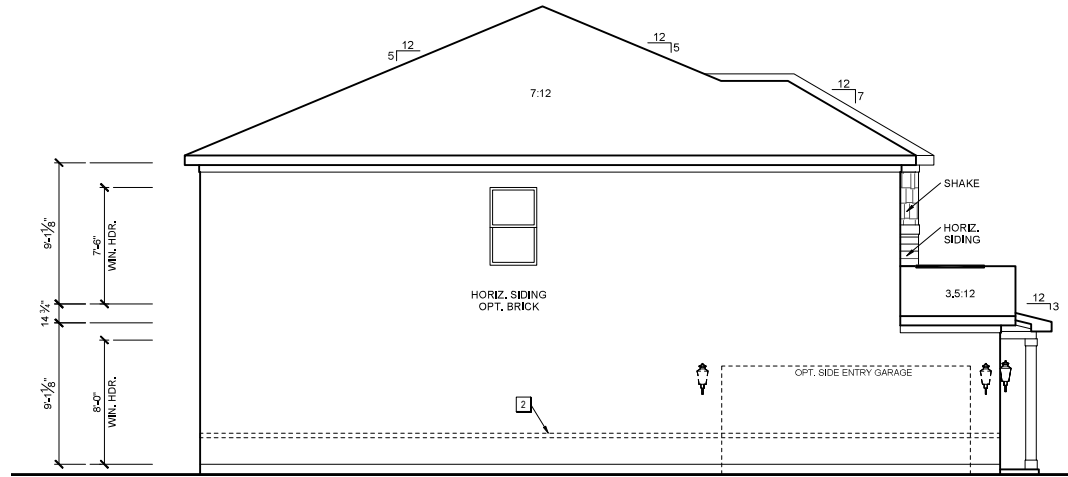
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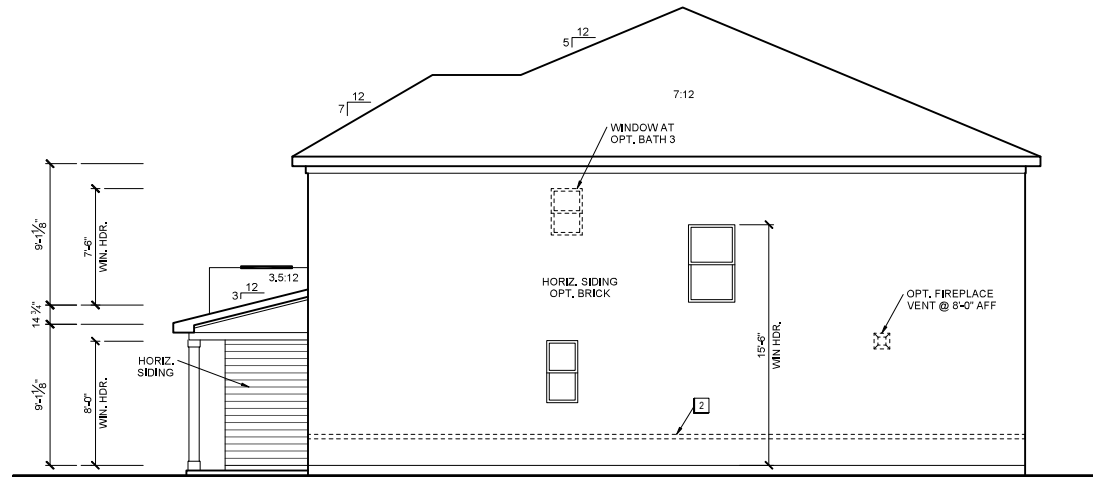
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
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MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.2-C1

RECEIVED

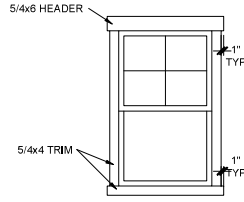
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO BE USED FOR ALL EXTERIOR WALL INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

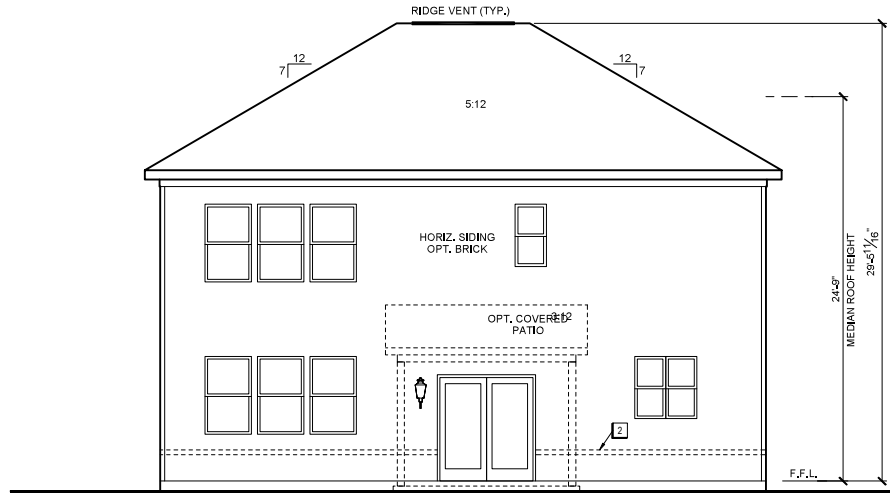
front elevation sf

Brick/Stone sf	118
Siding sf	275
Shake sf	0
Siding/Shake sf	275
Total Exterior sf	393
% Siding	70%
% Shake	0%
% Brick/Stone	30%



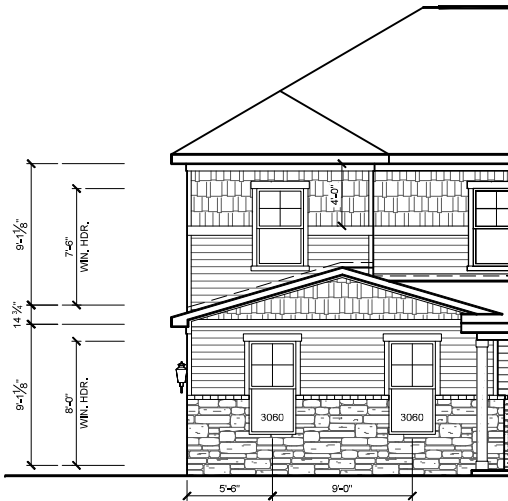
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



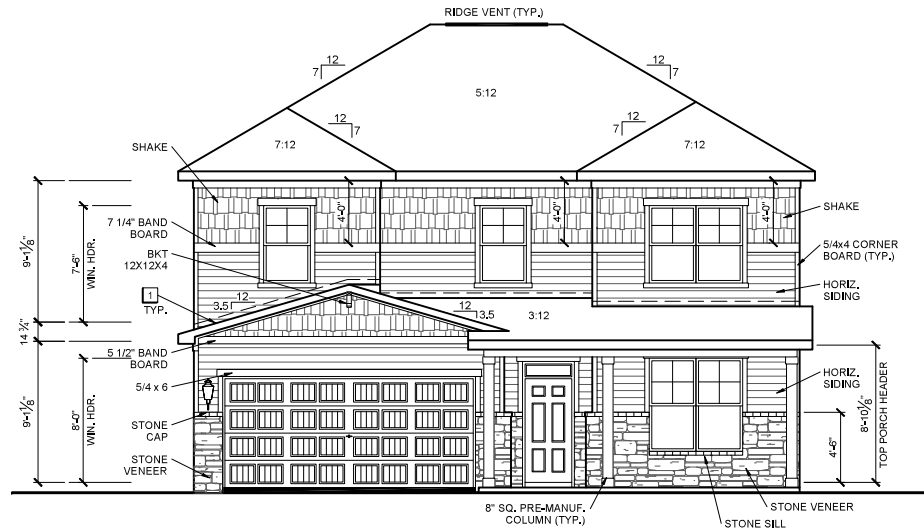
REAR ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
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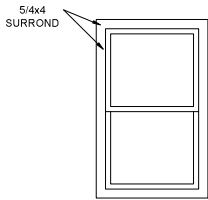
MODEL:
GREY BIRCH
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C2

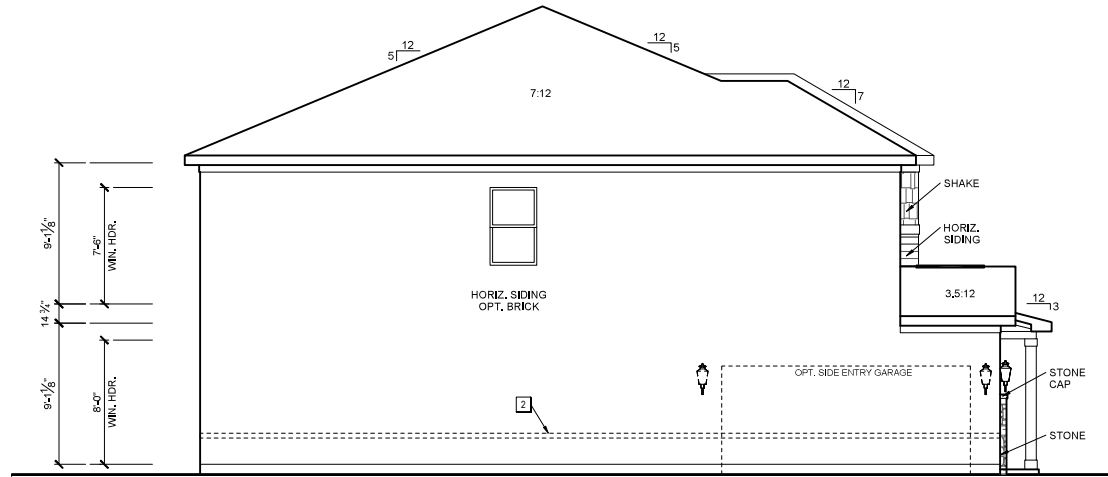
RECEIVED

7/7/2022



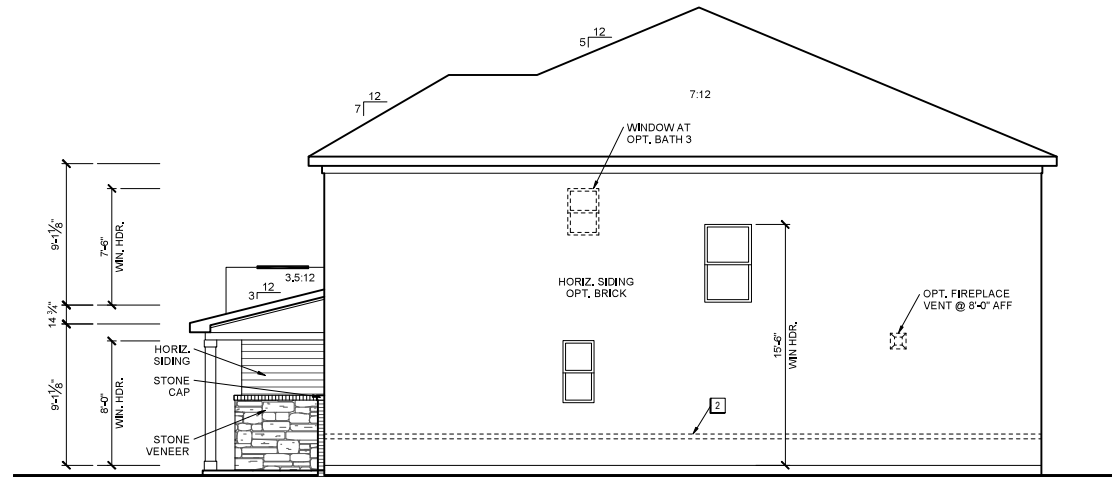
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
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MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.

A1.2-C2

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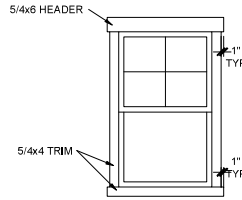
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH FOR ALL EXTERIOR WALLS AND INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

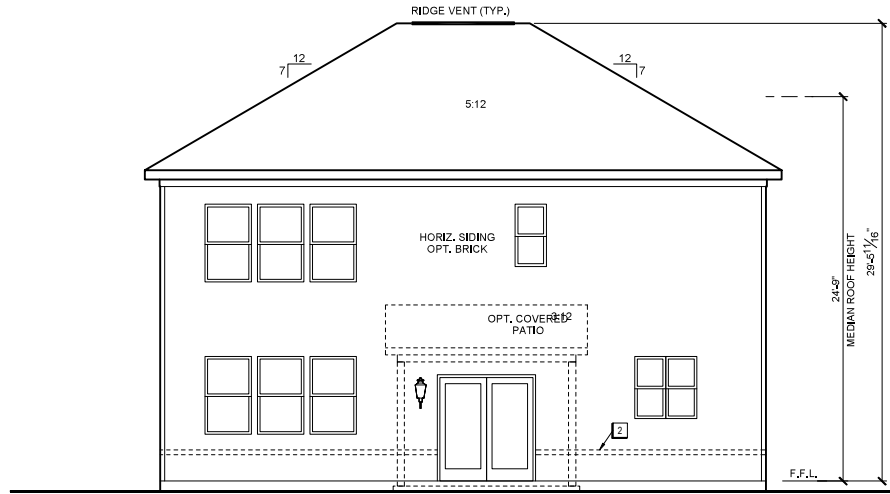
front elevation sf

Brick/Stone sf	425
Siding sf	0
Shake sf	0
Siding/Shake sf	0
Total Exterior sf	425
% Siding	0%
% Shake	0%
% Brick/Stone	100%



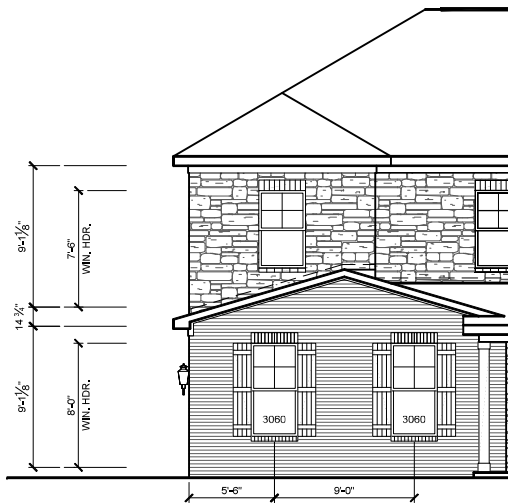
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



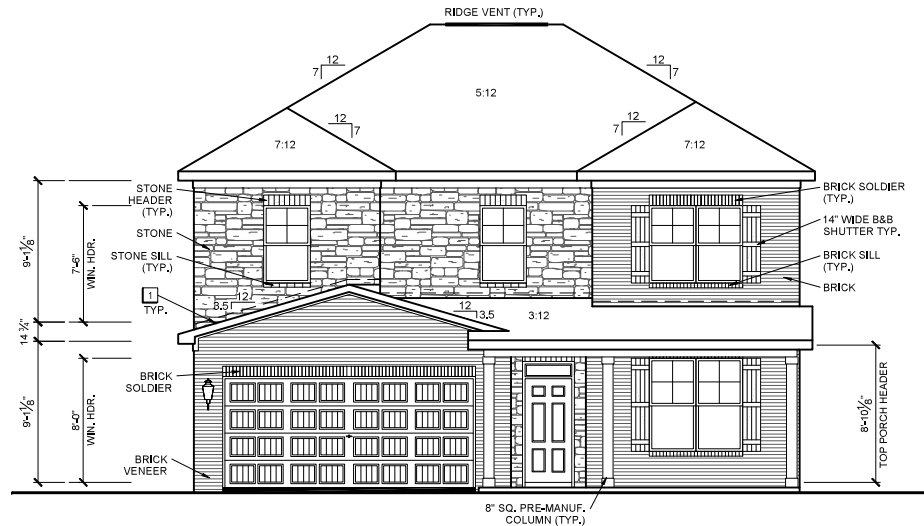
REAR ELEVATION 'C4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



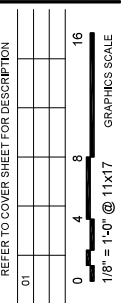
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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RELEASE DATE:
01.15.20

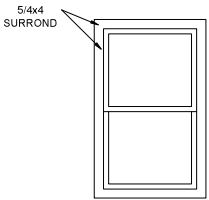
MODEL:
GREY BIRCH
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C4

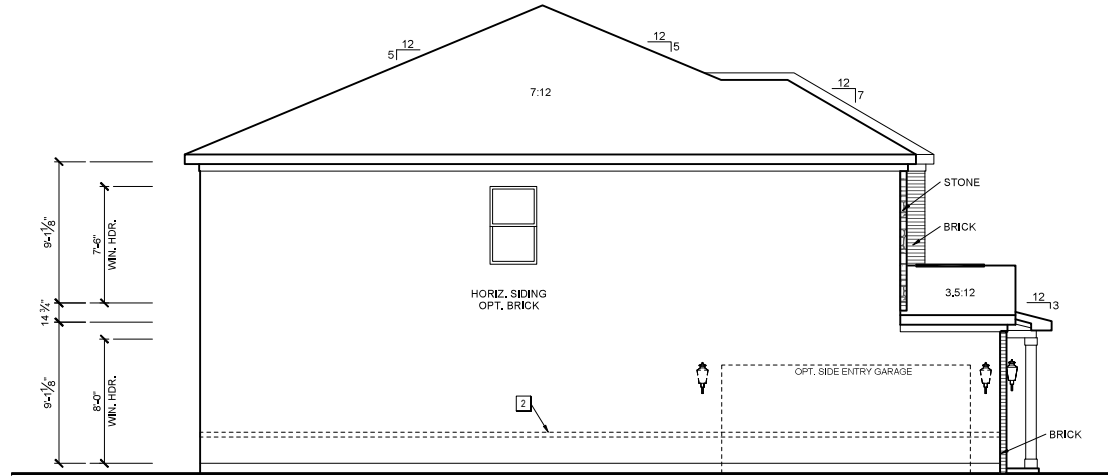
RECEIVED

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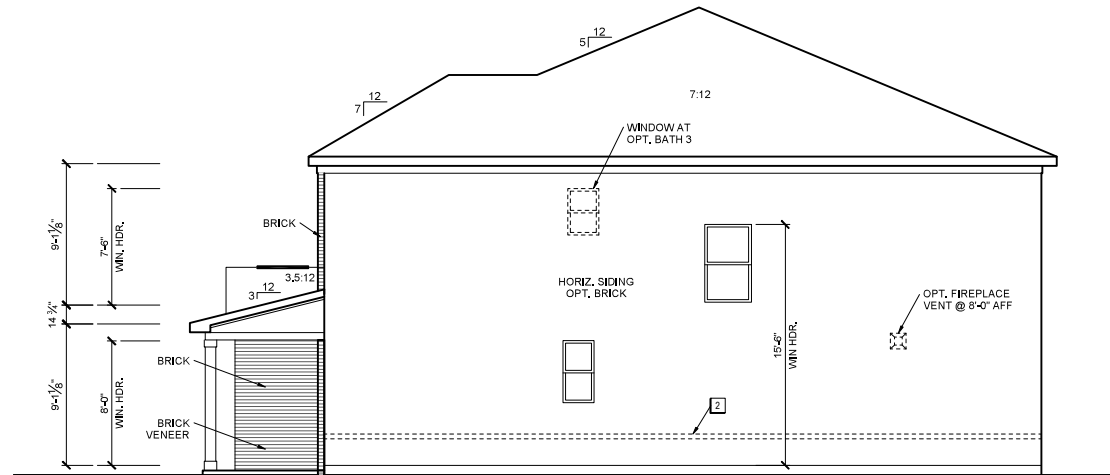
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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PLAN NUMBER: 23923021	RELEASE DATE: 01.15.20
--------------------------	---------------------------

MODEL: GREY BIRCH	DRAWING TITLE: EXTERIOR ELEVATIONS
-----------------------------	--

SHEET NO.:	A1.2-C4
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SILVER MAPLE

APPROX. 3,152-3,163 SQ. FT. | TWO-STORY HOME | 5 BEDROOMS | 3.5 BATHROOMS | 2 BAY GARAGE



ELEVATION A1



ELEVATION A2



ELEVATION A4



ELEVATION B1



ELEVATION B2



ELEVATION C1



ELEVATION C2



ELEVATION C3



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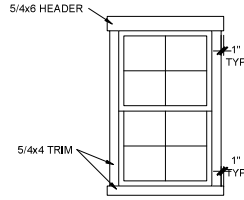
7/7/2022

Keynotes | Legend

1. BRICK/STONE FINISH FOR 1/8" WIDE POST LENGTH AT WINDOW AND DOOR INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

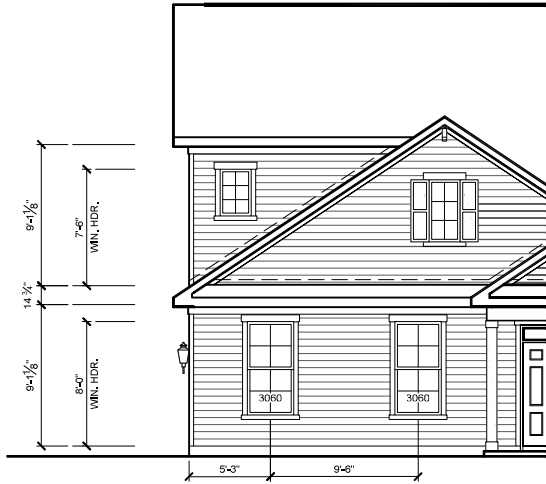
front elevation sf

Brick/Stone sf	0
Siding sf	352
Shake sf	0
Siding/Shake sf	352
Total Exterior sf	352
% Siding	100%
% Shake	0%
% Brick/Stone	0%



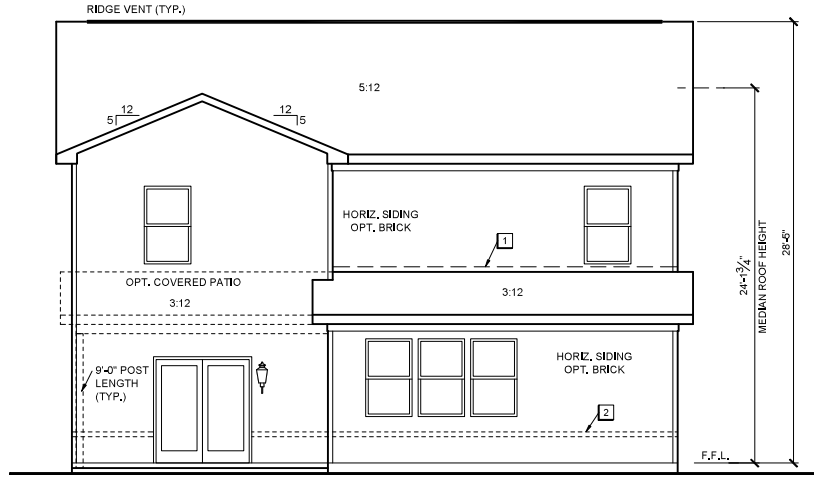
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



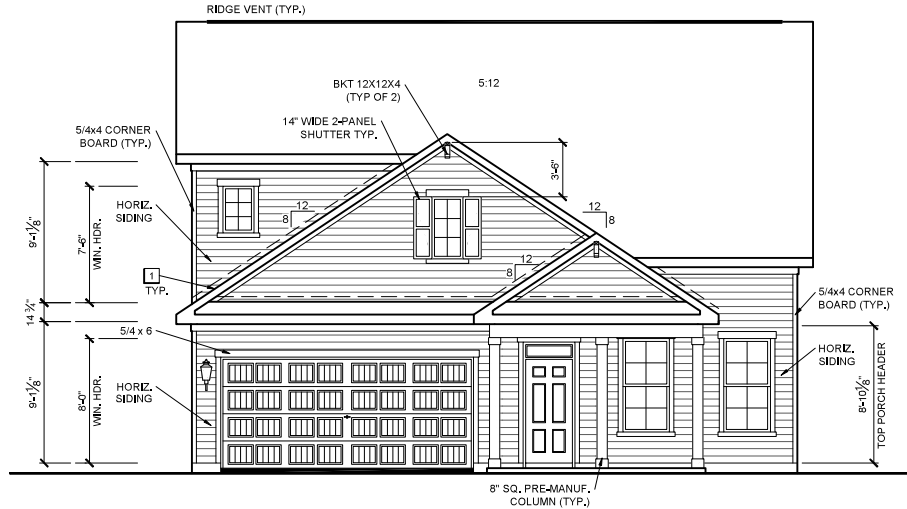
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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RELEASE DATE:
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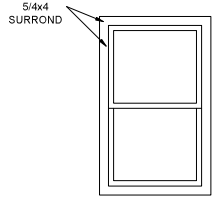
MODEL:
SILVER MAPLE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

A1.1-A1

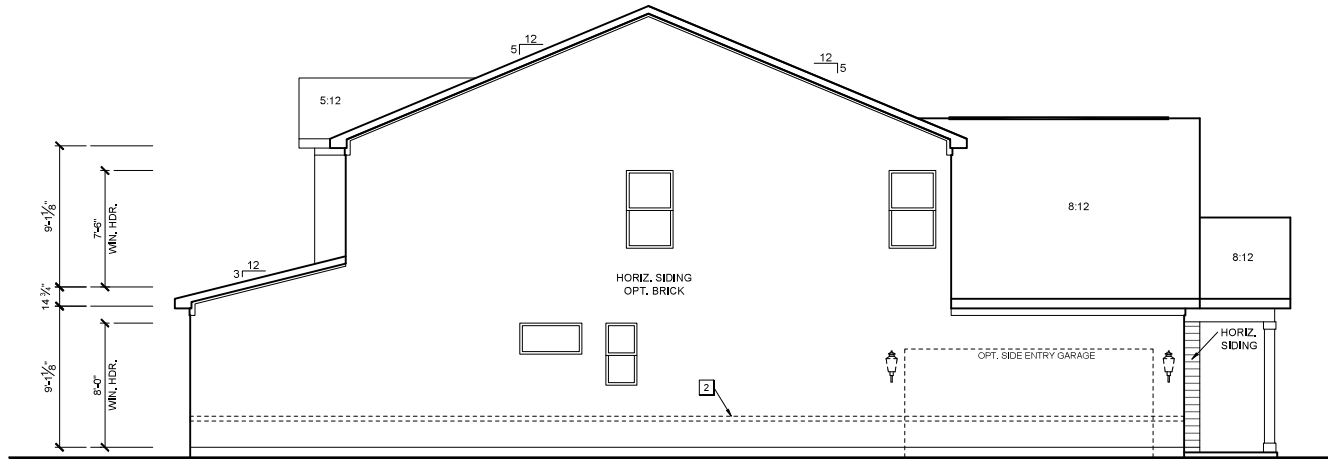
RECEIVED

7/7/2022



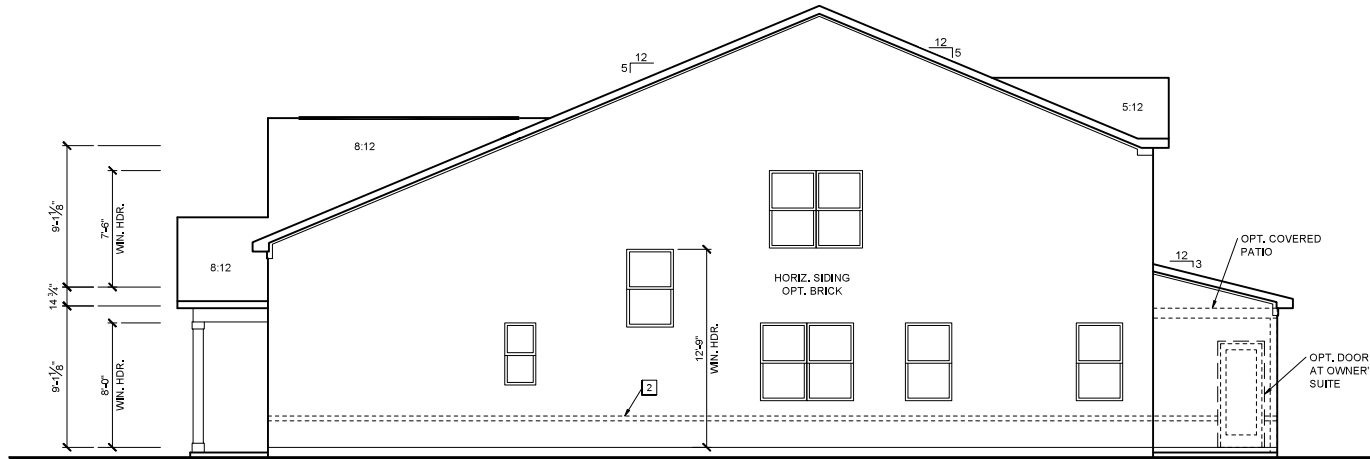
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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PLAN NUMBER:
23923086

RELEASE DATE:
01.15.20

MODEL:
SILVER MAPLE

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A1.2-A1

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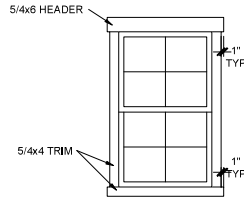
7/7/2022

Keynotes | Legend

1. BRICK/STONE FINISH FOR 1/8" WIDE POST LENGTH AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

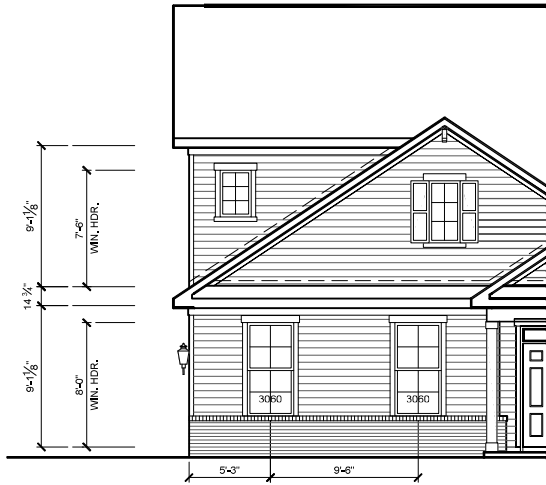
front elevation sf

Brick/Stone sf	48
Siding sf	307
Shake sf	0
Siding/Shake sf	307
Total Exterior sf	355
% Siding	86%
% Shake	0%
% Brick/Stone	14%



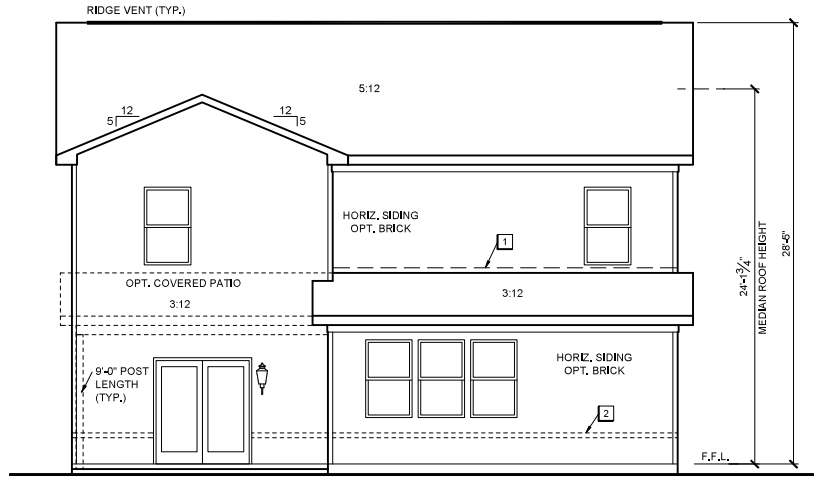
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



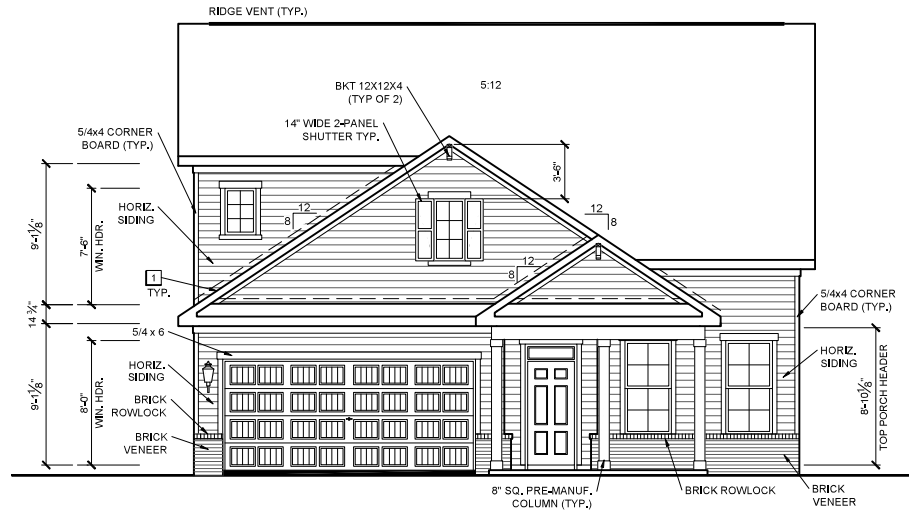
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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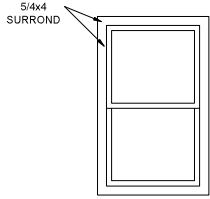
MODEL:
SILVER MAPLE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

A1.1-A2

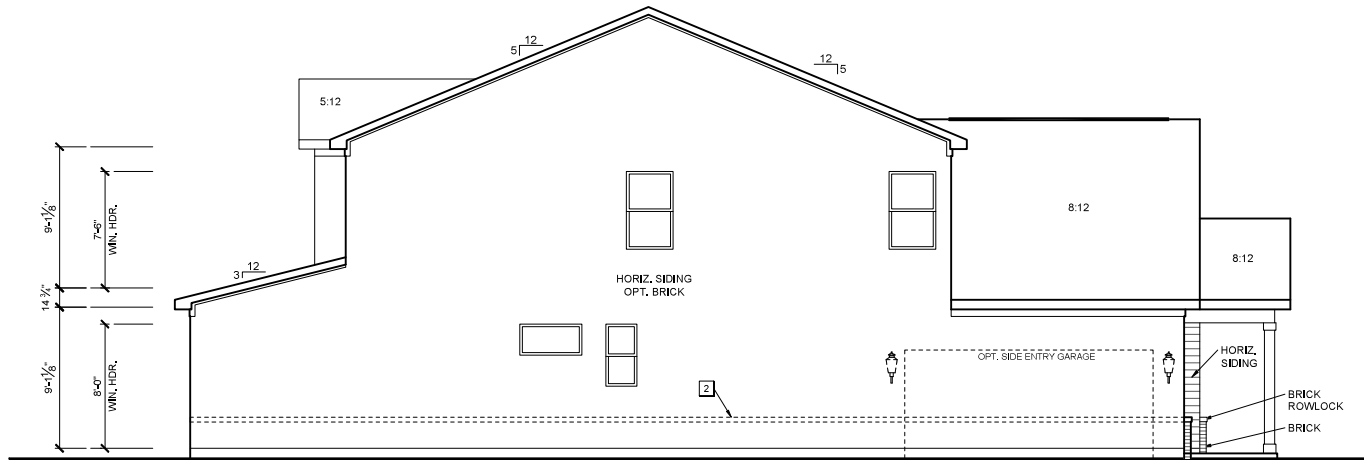
RECEIVED

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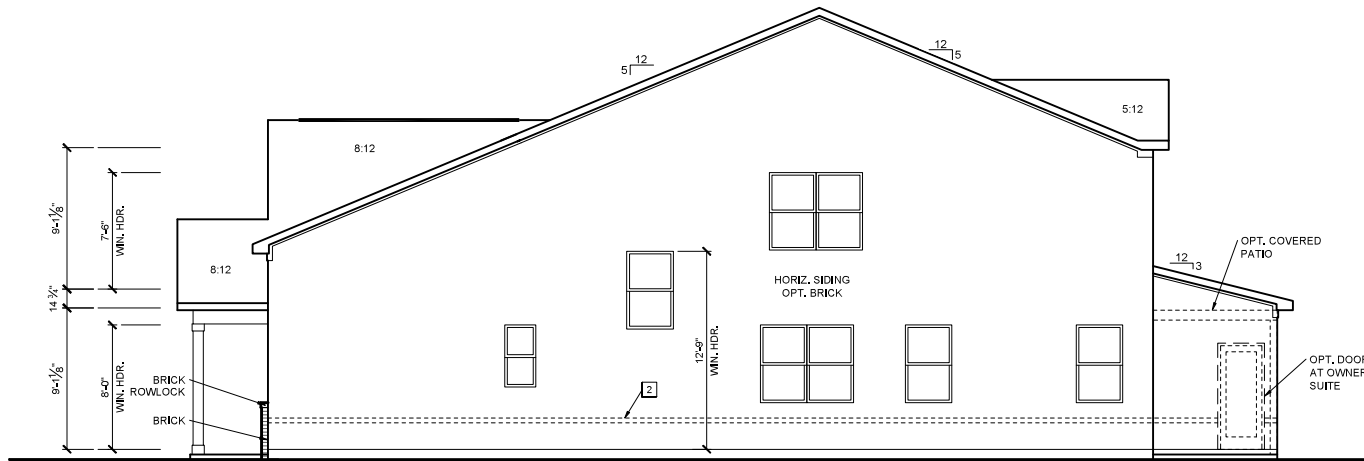
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	
13	
14	
15	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER: 23923086	RELEASE DATE: 01.15.20
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MODEL: SILVER MAPLE	DRAWING TITLE: EXTERIOR ELEVATIONS
-------------------------------	--

SHEET NO:
A1.2-A2

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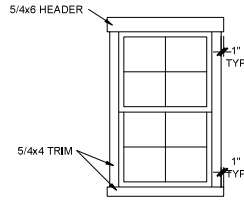
7/7/2022

Keynotes | Legend

1. BRICK/STONE ROOF FINISH TO BE DETERMINED BY FIELD OFFICIALS AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

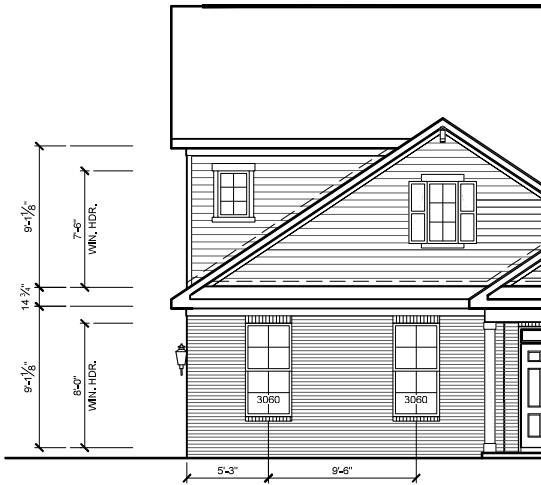
front elevation sf

Brick/Stone sf	357
Siding sf	196
Shake sf	0
Siding/Shake sf	196
Total Exterior sf	553
% Siding	35%
% Shake	0%
% Brick/Stone	65%



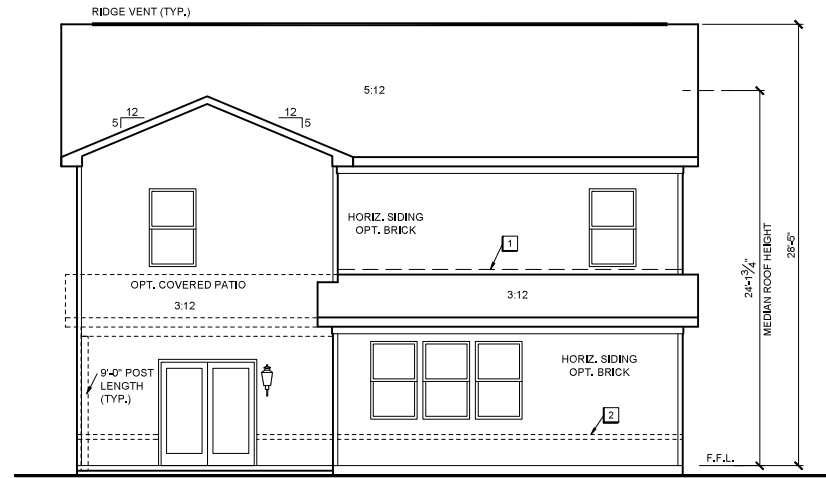
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



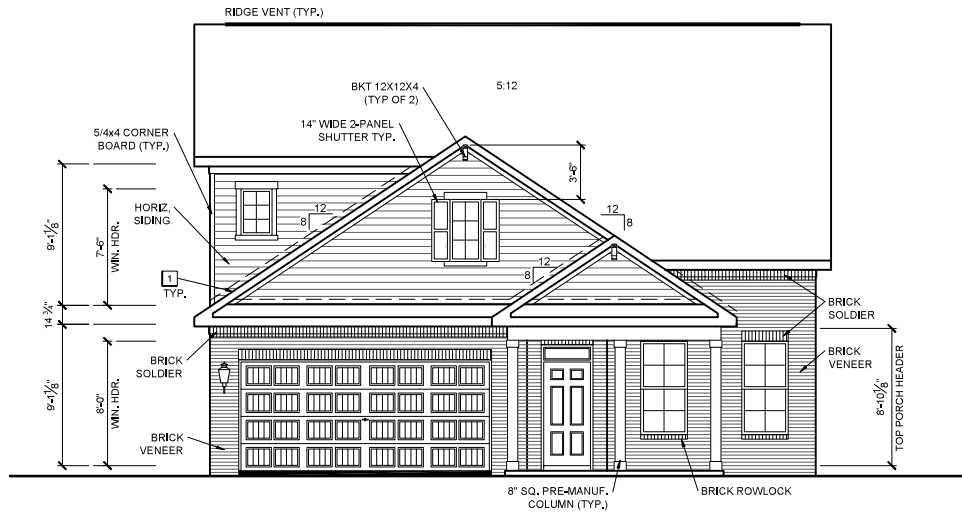
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A4'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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RELEASE DATE:
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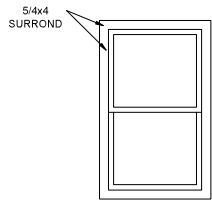
MODEL:
SILVER MAPLE

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A1.1-A4

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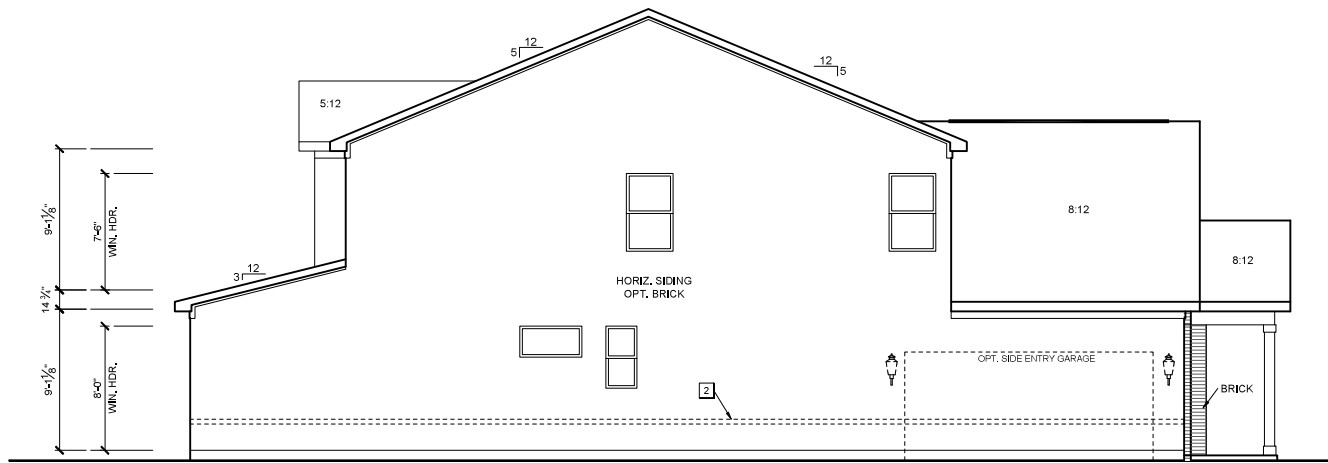


corner lot only window trim

(wilksmoor only)

1/8" = 1'-0" @ 11x17

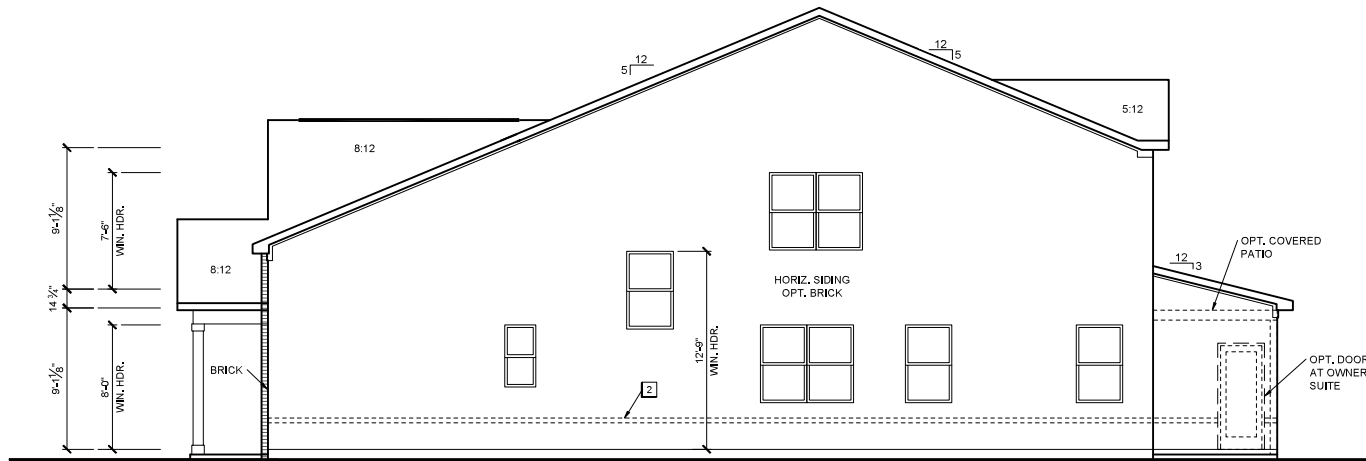
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'A4'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A4'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34

NO.	REFER TO COVER SHEET FOR DESCRIPTION
01	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:	23923086
RELEASE DATE:	01.15.20

MODEL:	SILVER MAPLE
DRAWING TITLE:	EXTERIOR ELEVATIONS

SHEET NO:
A1.2-A4

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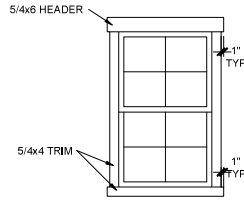
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO MATCH EXISTING FINISH AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

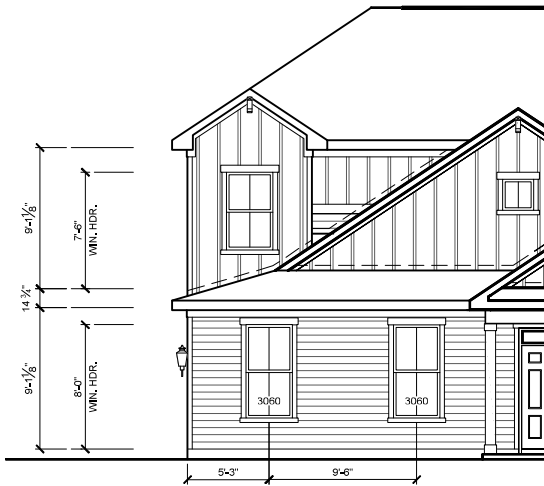
front elevation sf

Brick/Stone sf	0
Siding sf	423
Shake sf	0
Siding/Shake sf	423
Total Exterior sf	423
% Siding	100%
% Shake	0%
% Brick/Stone	0%



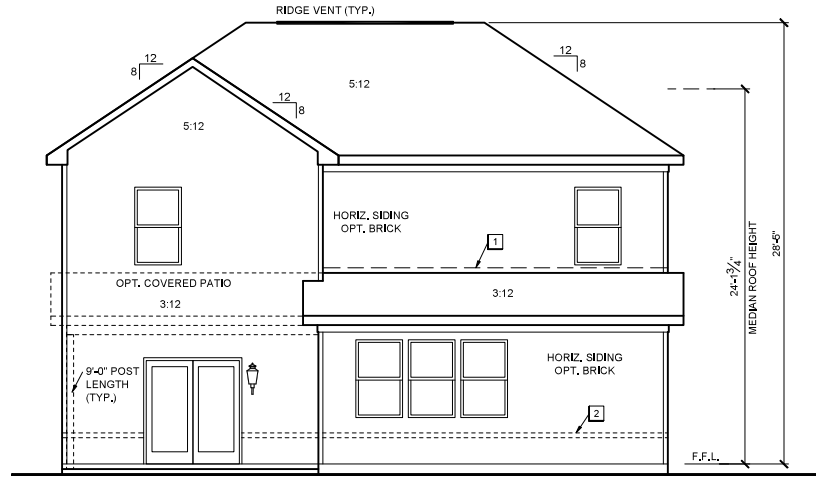
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



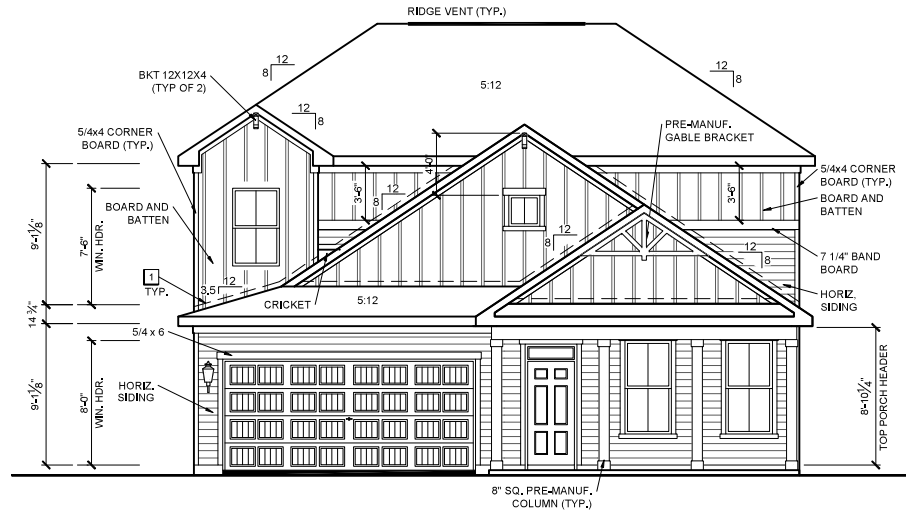
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:
23923086

RELEASE DATE:
01.15.20

MODEL:
SILVER MAPLE

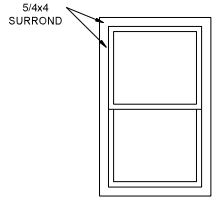
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-B1

RECEIVED

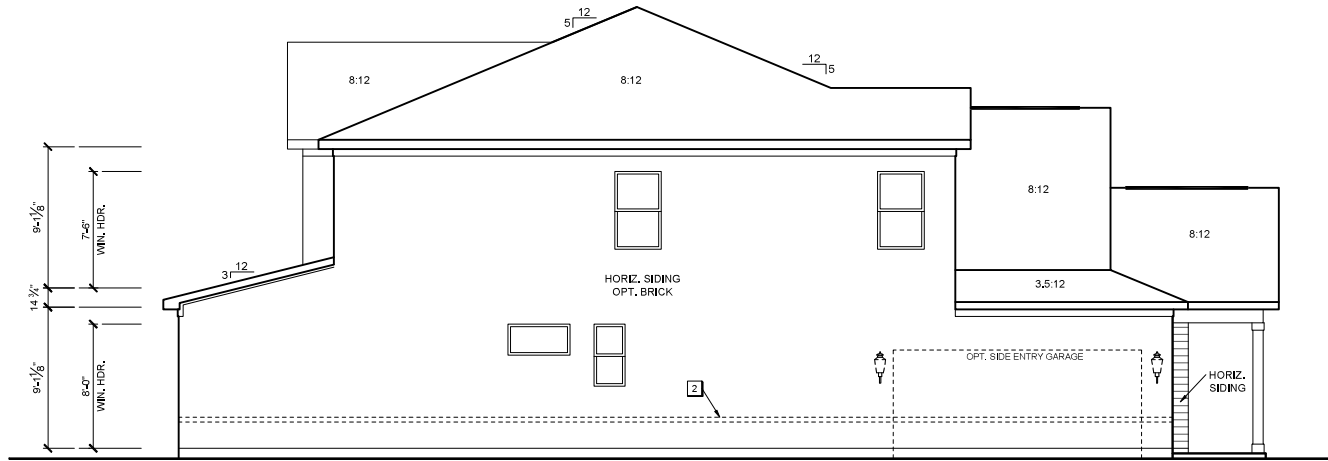
7/7/2022



corner lot only window trim

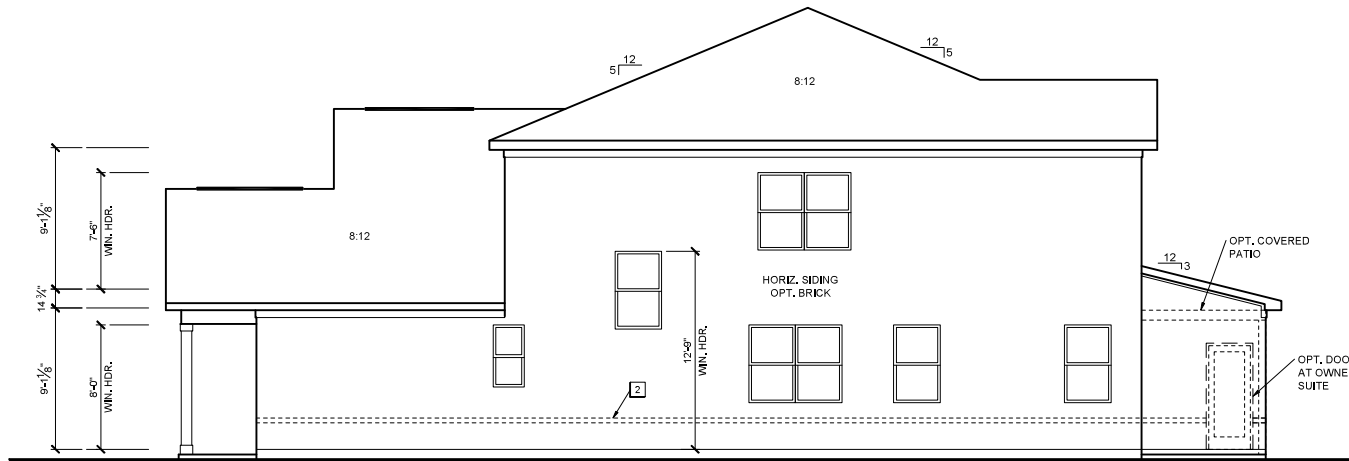
(wilksmoor only)

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:	23923086
RELEASE DATE:	01.15.20

MODEL:	SILVER MAPLE
DRAWING TITLE:	EXTERIOR ELEVATIONS

SHEET NO:
A1.2-B1

RECEIVED

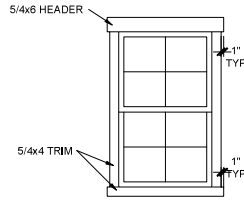
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO MATCH EXISTING FINISH AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

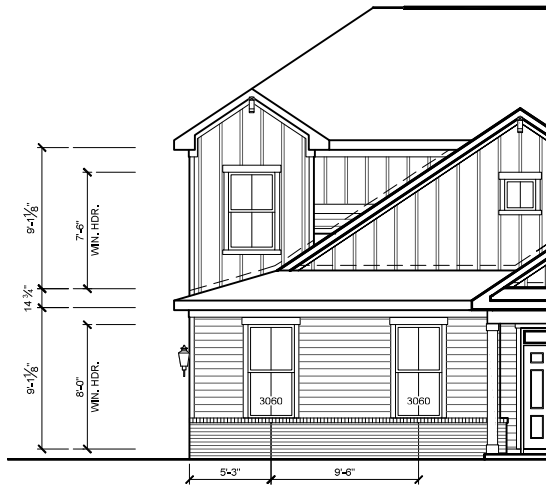
front elevation sf

Brick/Stone sf	46
Siding sf	360
Shake sf	0
Siding/Shake sf	360
Total Exterior sf	406
% Siding	89%
% Shake	0%
% Brick/Stone	11%



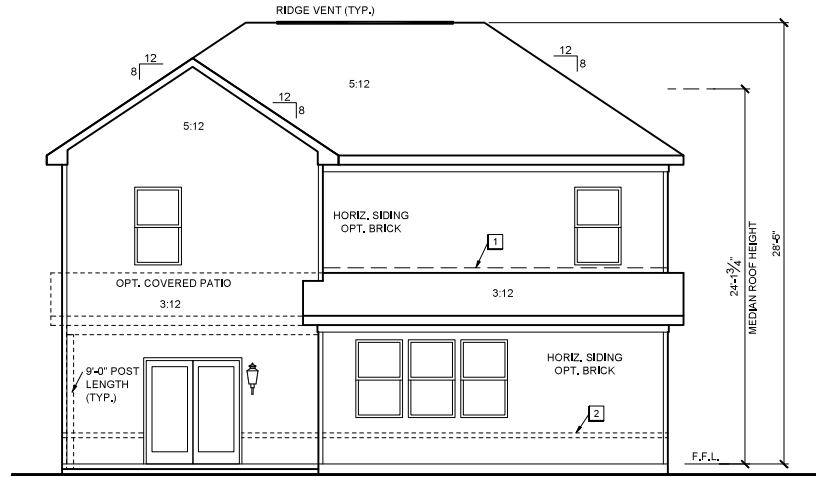
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



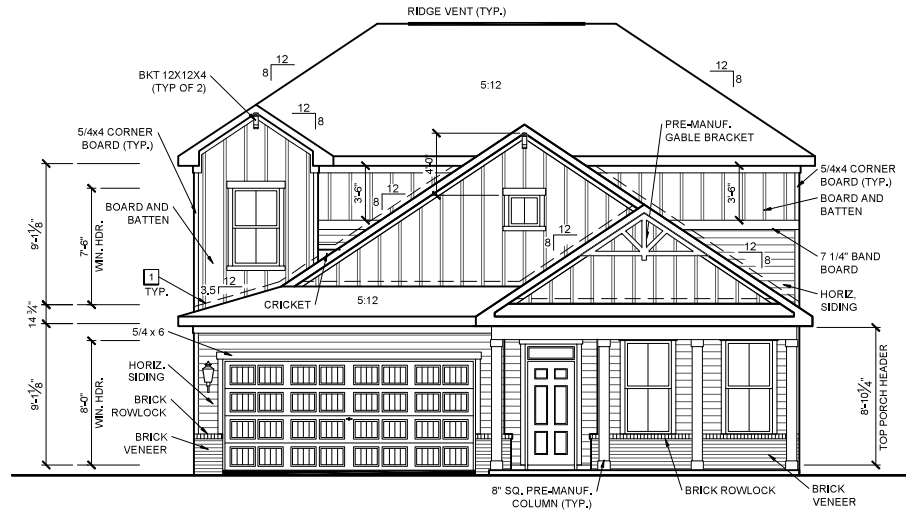
opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



REAR ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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PLAN NUMBER:
23923086

RELEASE DATE:
01.15.20

MODEL:
SILVER MAPLE

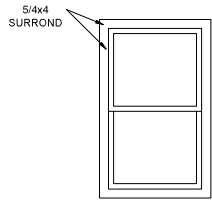
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-B2

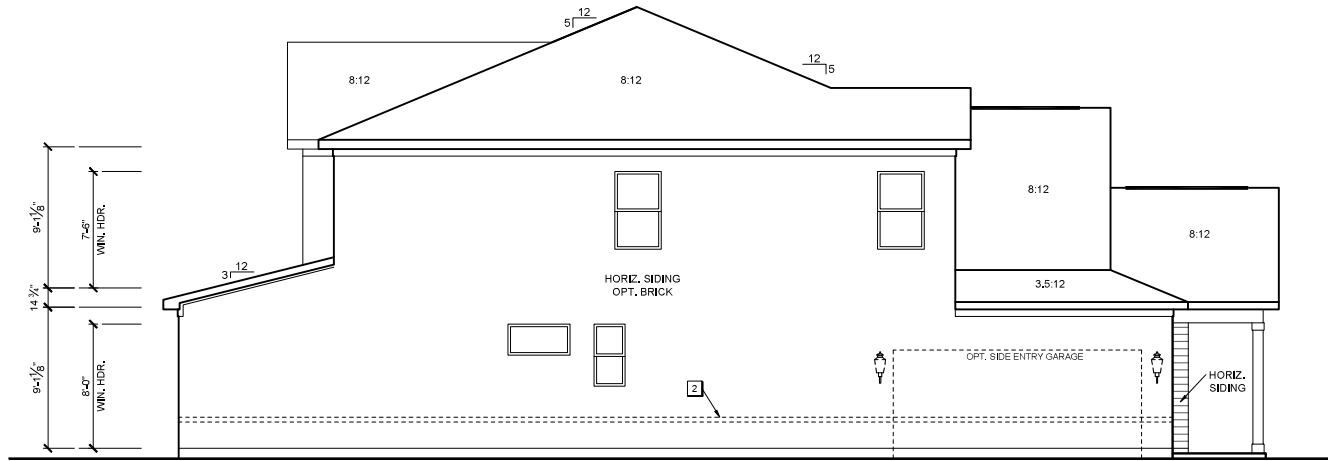
RECEIVED

7/7/2022



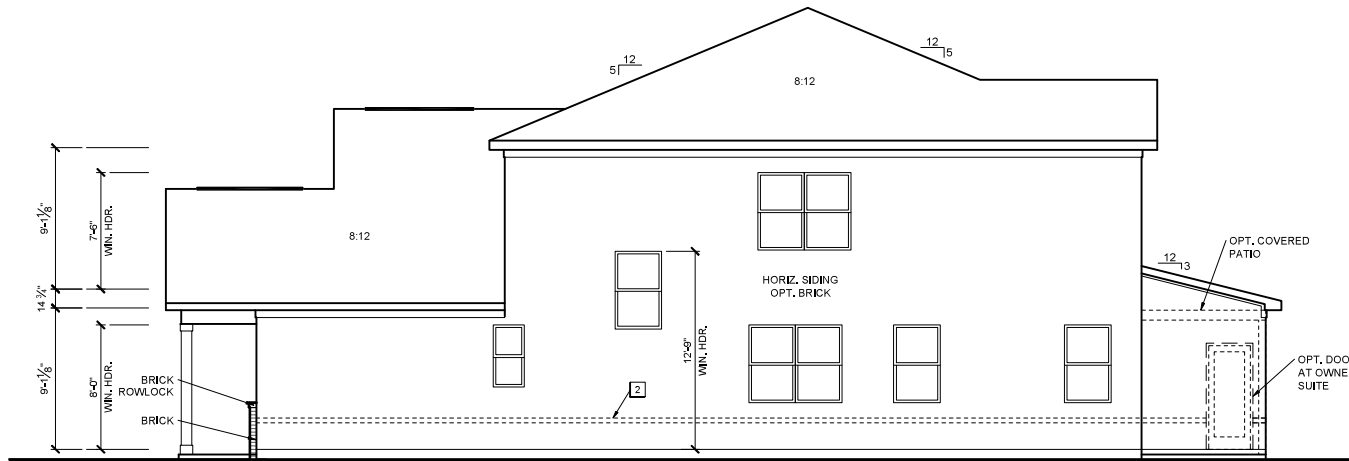
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17
GRAPHICS SCALE

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PLAN NUMBER:	23923086
RELEASE DATE:	01.15.20

MODEL:	SILVER MAPLE
DRAWING TITLE:	EXTERIOR ELEVATIONS

SHEET NO:

A1.2-B2

RECEIVED

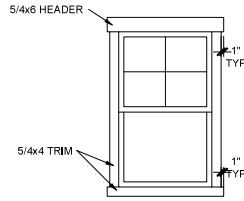
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO MATCH EXISTING FINISH AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

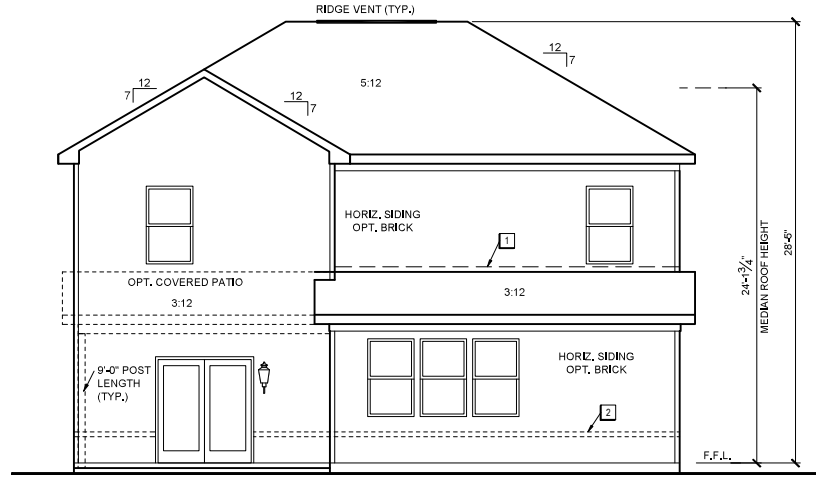
front elevation sf

Brick/Stone sf	0
Siding sf	238
Shake sf	73
Siding/Shake sf	311
Total Exterior sf	311
% Siding	77%
% Shake	23%
% Brick/Stone	0%



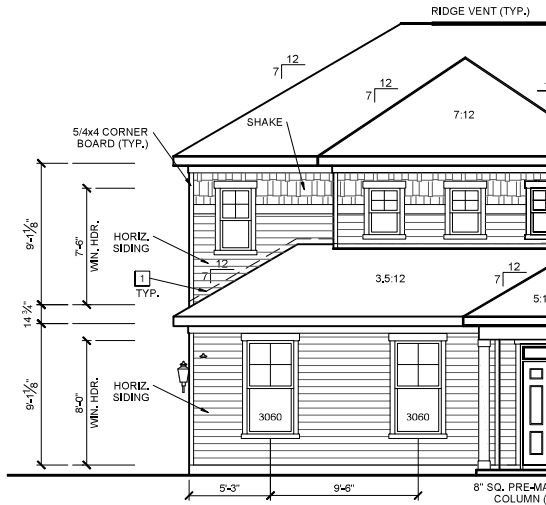
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



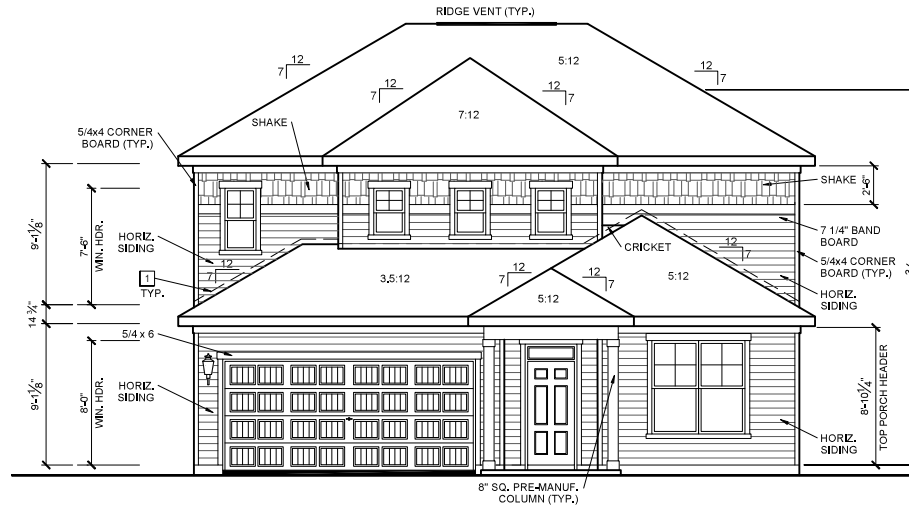
REAR ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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RELEASE DATE:
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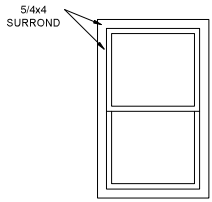
MODEL:
SILVER MAPLE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C1

RECEIVED

7/7/2022

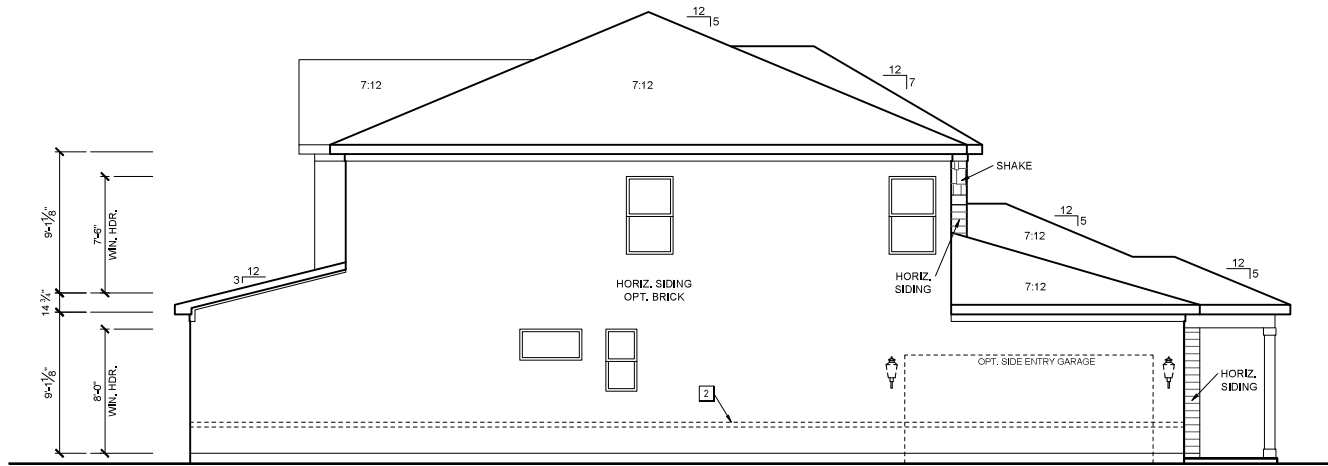


corner lot only window trim

(wilksmoor only)

1/8" = 1'-0" @ 11x17

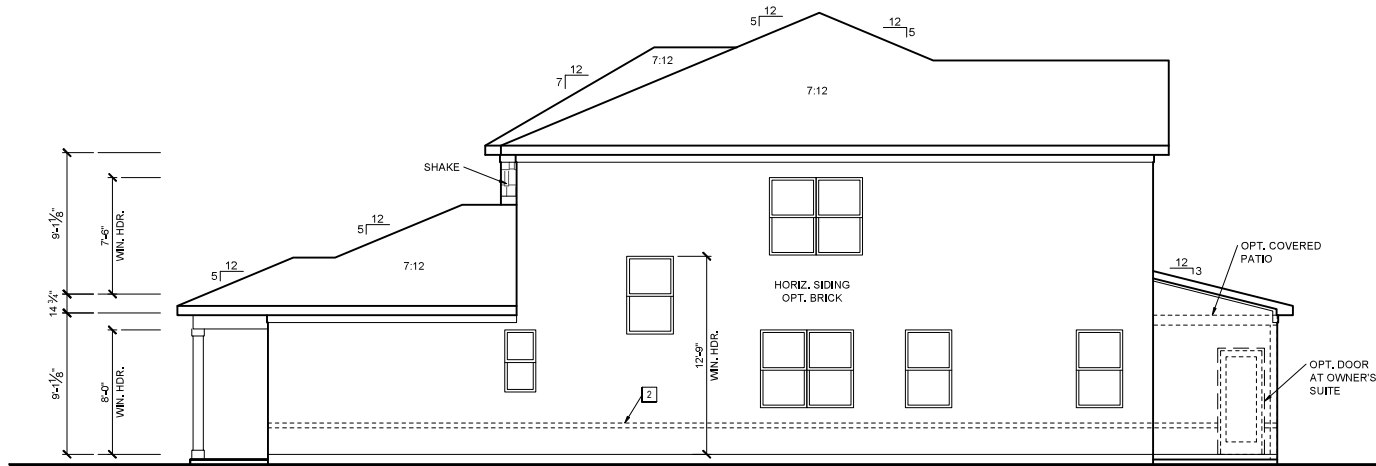
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34

NO.	REFER TO COVER SHEET FOR DESCRIPTION
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	
13	
14	
15	
16	

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PLAN NUMBER:
23923086
RELEASE DATE:
01.15.20

MODEL:
SILVER MAPLE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.2-C1

RECEIVED

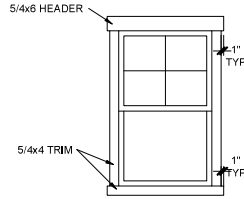
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH TO MATCH EXISTING OR TO MATCH INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

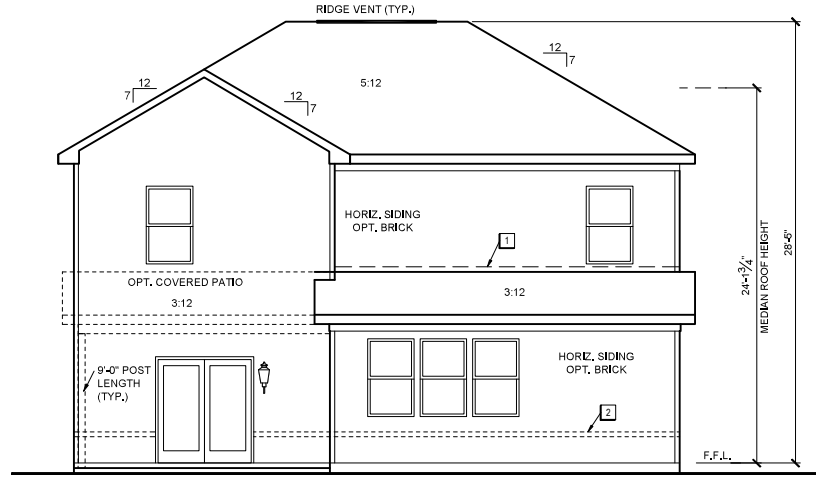
front elevation sf

Brick/Stone sf	105
Siding sf	233
Shake sf	73
Siding/Shake sf	306
Total Exterior sf	411
% Siding	57%
% Shake	18%
% Brick/Stone	26%



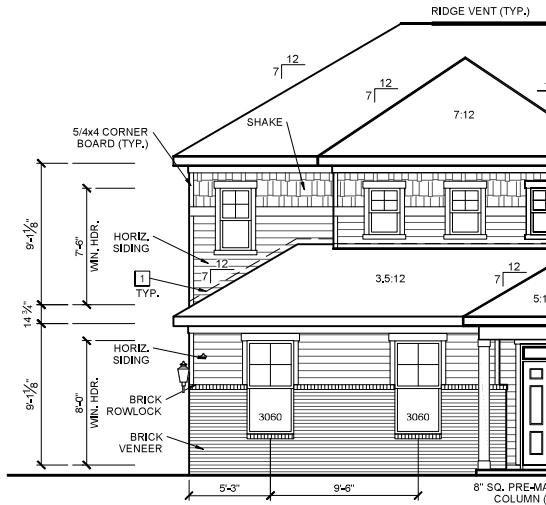
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



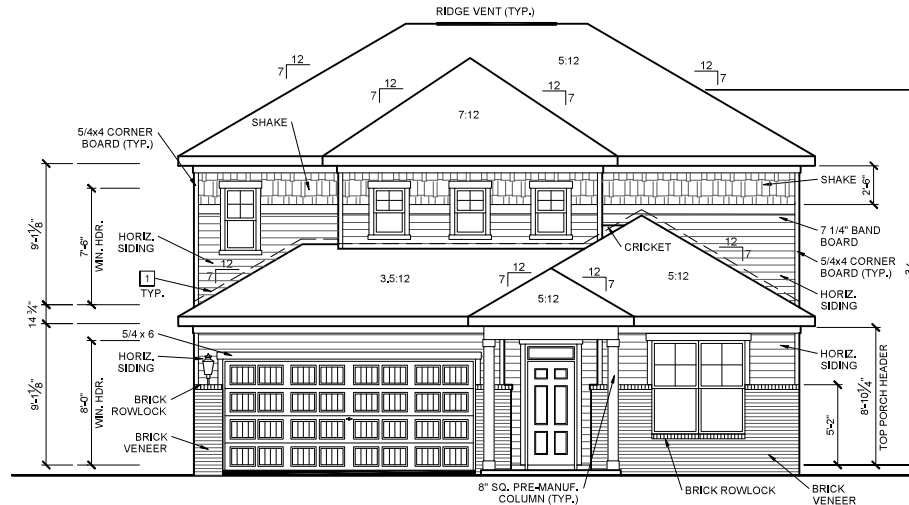
REAR ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01					
0	4	8	16		
					1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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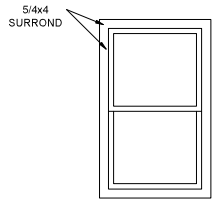
MODEL:
SILVER MAPLE
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C2

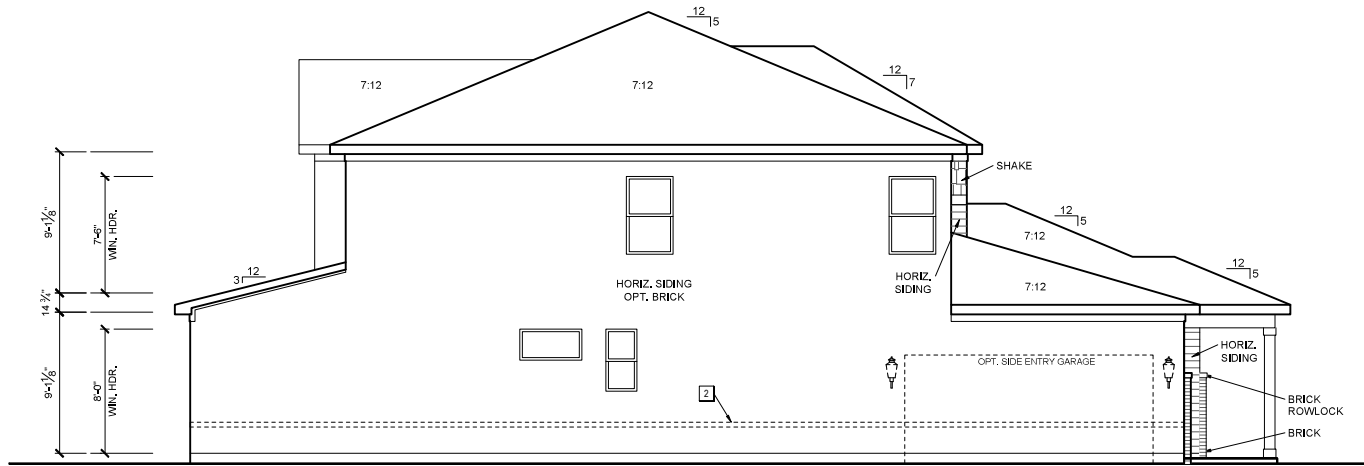
RECEIVED

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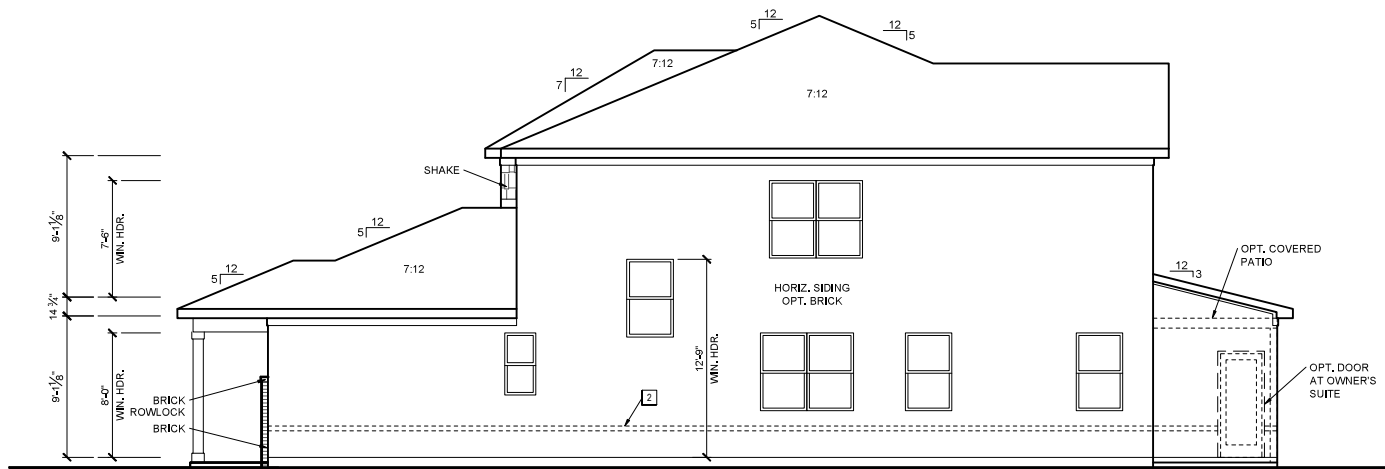
**corner lot only window trim
(wilksmoor only)**

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C2'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	0
16	16

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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PLAN NUMBER:
23923086

RELEASE DATE:
01.15.20

MODEL:
SILVER MAPLE

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A1.2-C2

RECEIVED

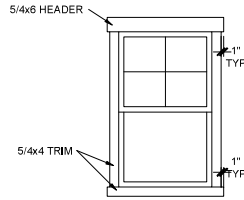
7/7/2022

Keynotes | Legend

1. BRICK OR STONE FINISH FOR ROOF SHAKES OR OTHER MATERIALS AT INTERSECTIONS.
2. BRICK WATER TABLE AS REQUIRED PER ZONING, OVERLAY DISTRICT REQUIREMENTS

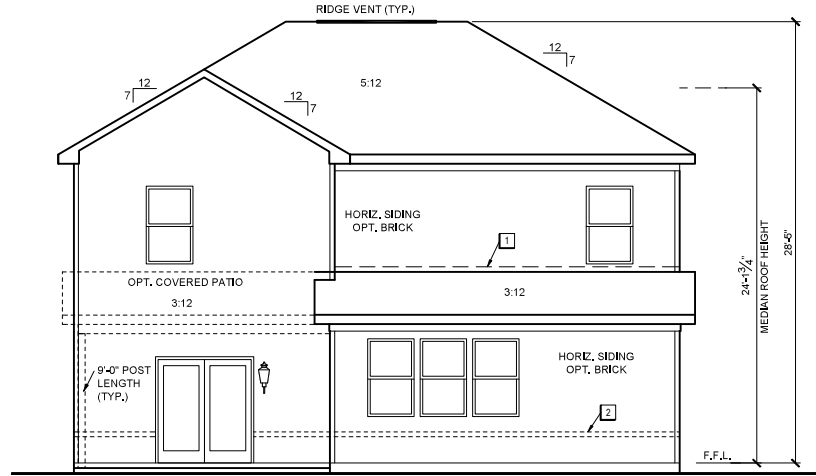
front elevation sf

Brick/Stone sf	524
Siding sf	66
Shake sf	44
Siding/Shake sf	110
Total Exterior sf	634
% Siding	10%
% Shake	7%
% Brick/Stone	83%



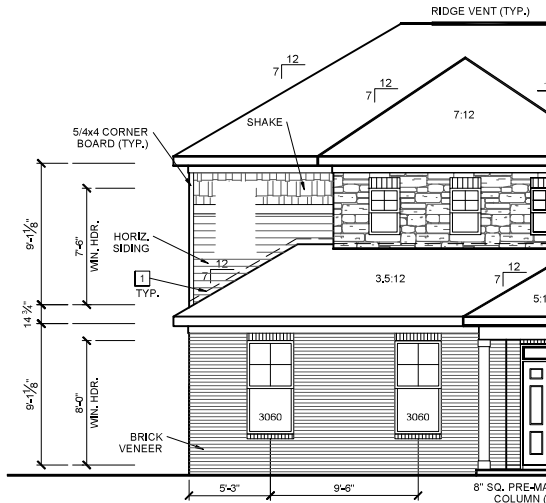
typical window and door trim

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



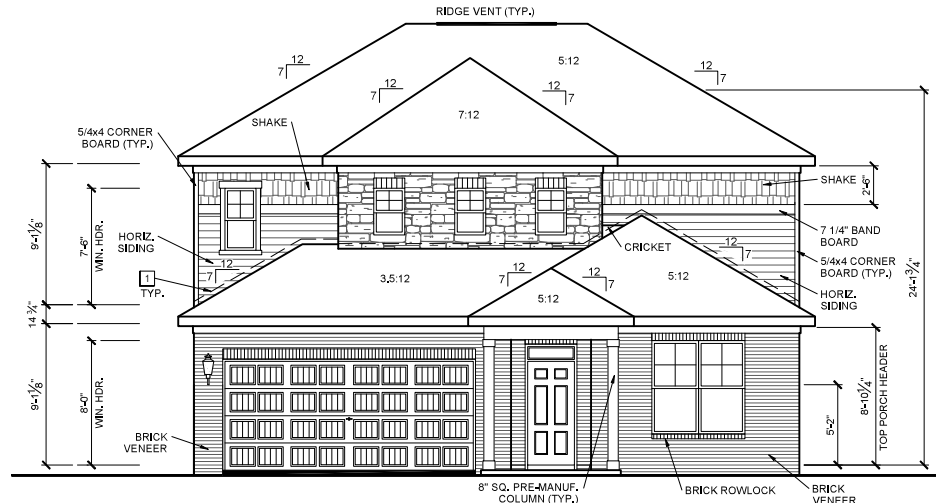
REAR ELEVATION 'C3'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



opt. side entry garage

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'C3'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

01	REFER TO COVER SHEET FOR DESCRIPTION
0	
4	
8	
16	

1/8" = 1'-0" @ 11x17 GRAPHICS SCALE

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MODEL:
SILVER MAPLE

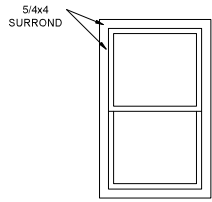
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

A1.1-C3

RECEIVED

7/7/2022

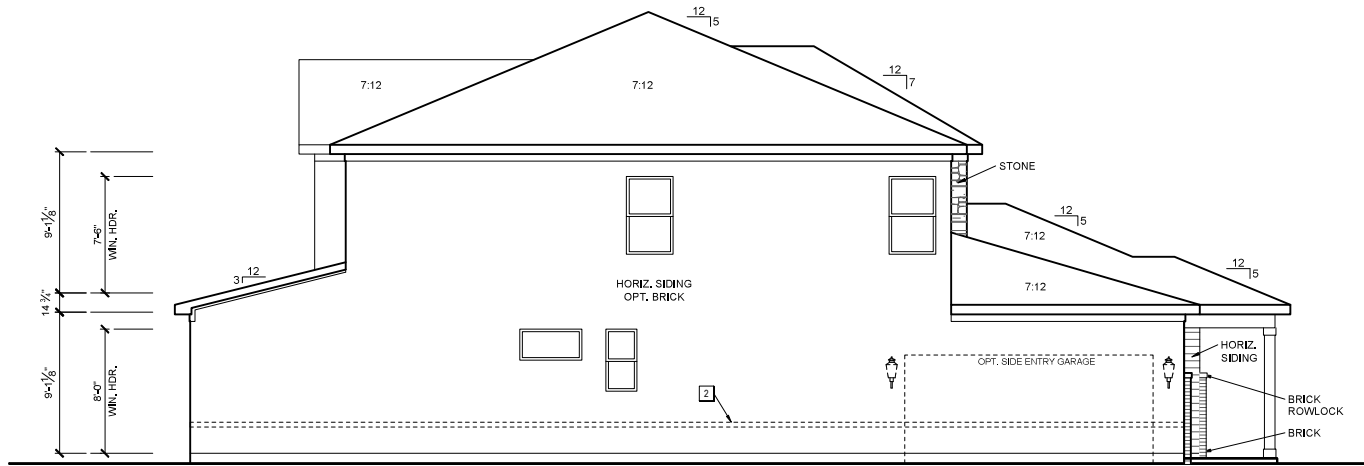


corner lot only window trim

(wilksmoor only)

1/8" = 1'-0" @ 11x17

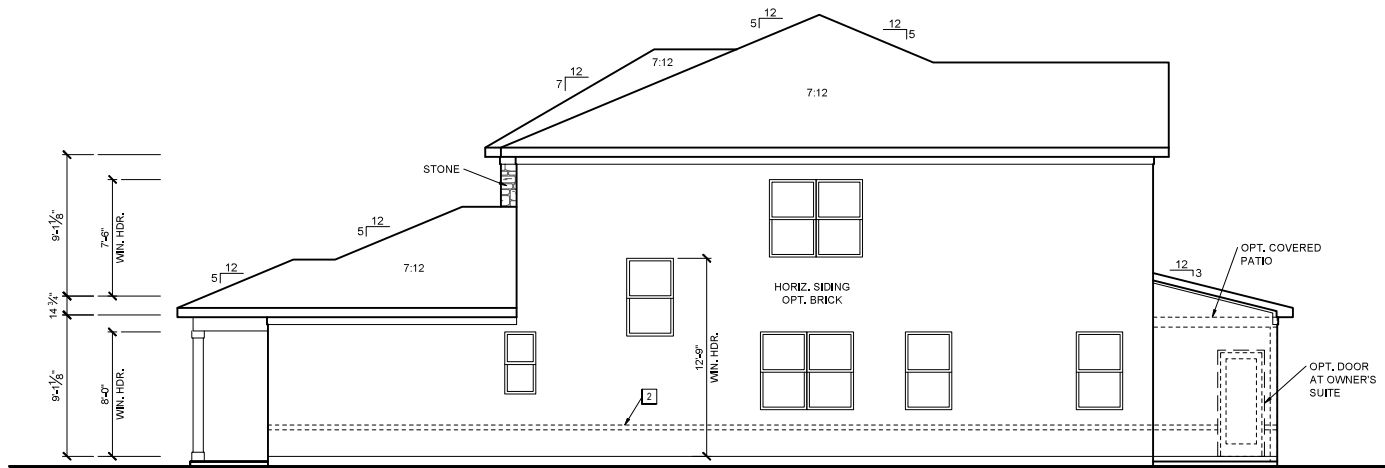
1/4" = 1'-0" @ 22x34



LEFT SIDE ELEVATION 'C3'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'C3'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34

REFER TO COVER SHEET FOR DESCRIPTION	
01	
0	16
4	8
8	4
12	2
16	1
1/8" = 1'-0" @ 11x17 GRAPHICS SCALE	

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MODEL:	SILVER MAPLE
DRAWING TITLE:	EXTERIOR ELEVATIONS

SHEET NO:

A1.2-C3