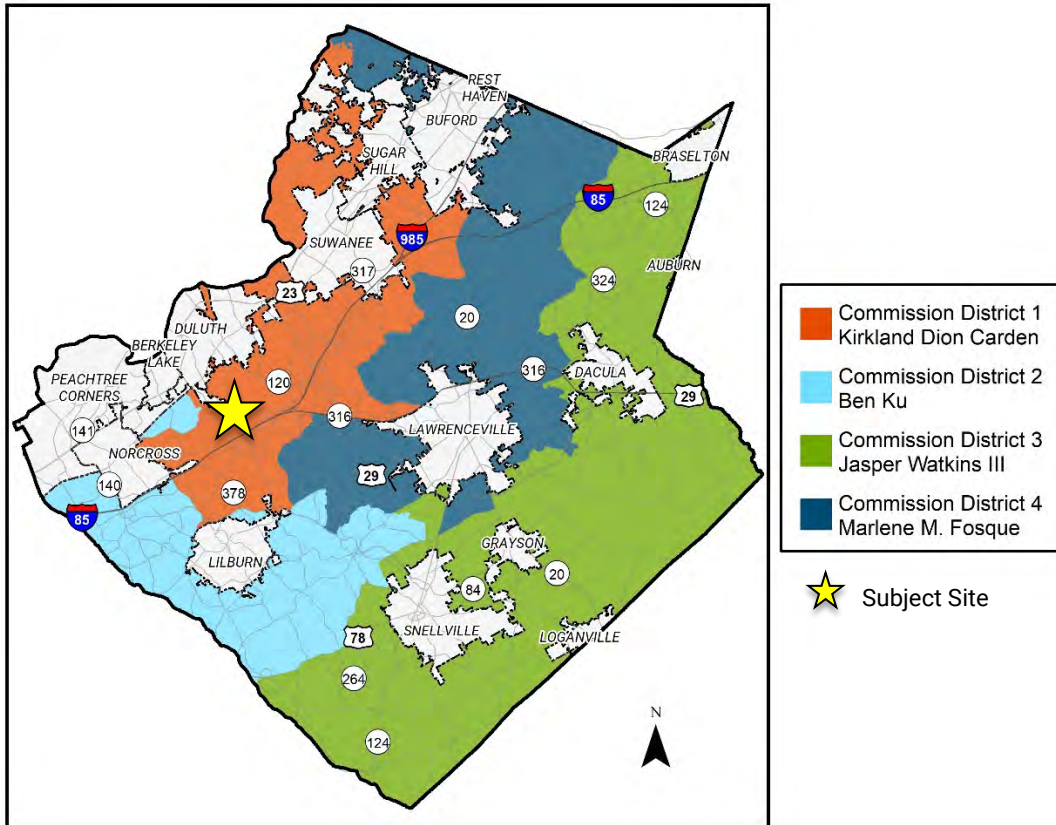


PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

Case Number: SUP2021-00057
Current Zoning: C-2 (General Business District)
Overlay District: Venture Drive
Request: Special Use Permit
Address: 3775 Venture Drive, Suite C201
Map Number: R6208 101
Site Area: 8.87 acres
Square Feet: 1,260
Proposed Development: Tattoo Parlor
Commission District: District 1 – Commissioner Carden
Character Area: Regional Activity Center

Staff Recommendation: APPROVAL WITH CONDITIONS



Location Map

Planning Commission Advertised Public Hearing Date: 9/8/2021
Board of Commissioners Advertised Public Hearing Date: 9/28/2021

Applicant: Susan C. Sreng
1061 Lulworth Lane
Lawrenceville, GA 30044

Owner: Sain Holdings, LLC
3775 Venture Drive Bldg. D300
Duluth, GA 30096

Contact: Susan Sreng

Contact Phone: 404.667.8332

Zoning History

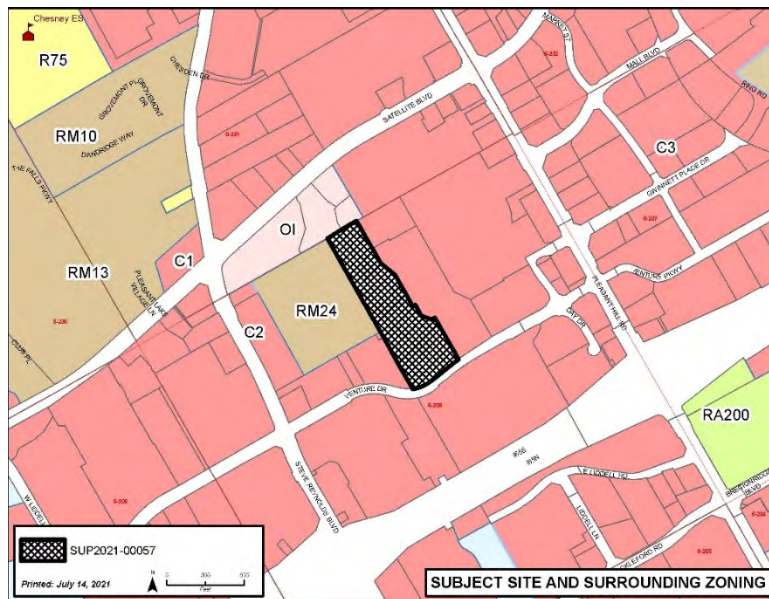
In 1978, the subject property was rezoned from M-1 (Light Industry District) to RM-10 (Multi-Family Residence District) for apartments, pursuant to REZ1978-00125. The property was rezoned from M-1 and RM-10 to C-2 (General Business District) for commercial retail use, pursuant to REZ1980-00040 in 1980. The property is located within the Venture Drive Overlay District.

Existing Site Condition

The subject site is Suite C201 in Edgewater Office Park, an 8.97-acre parcel located north of Venture Drive. The office park is a group of sixteen brick buildings that are used as office space and related business use. A small creek runs along the northeastern side of the parcel. Driveway access to the subject site is provided along Venture Drive. Sidewalks exist along the Venture Drive frontage. The nearest Gwinnett County Transit stop is located 0.46 miles from the subject site.

Surrounding Use and Zoning

The subject site is surrounded by commercial and office uses along both sides of Venture Drive. Apartments are located to the west of the office park. The following is a summary of surrounding uses and zoning:



Surrounding Zoning

| Location | Land Use | Zoning | Density |
|----------|--------------------------|--------|----------------------|
| Proposed | Tattoo Parlor | C-2 | N/A |
| North | Hotel | O-1 | N/A |
| East | Office | C-2 | N/A |
| South | Retail | C-2 | N/A |
| West | Multi-Family Residential | RM-24 | 16.85 units per acre |

Project Summary

The applicant requests a Special Use Permit for an 8.87-acre property zoned C-2 to operate a tattoo parlor, including:

- 1,260 square feet located in Building C, Suite 201 on the second floor of an existing building.
- Access via a single shared driveway from Venture Drive.
- 320 existing parking spaces within the office park.
- Services by appointment only. Hours of operation from 10:00am to 6:00pm, Tuesday through Saturday.
- Two body art artists.

Zoning and Development Standards

The applicant is requesting a Special Use Permit for a tattoo studio in the C-2, General Business District, which allows tattoo parlors as a special use permit. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

| Standard | Required | Proposed | Meets Standard? |
|--------------------|--------------------|------------|-----------------|
| Building Height | Maximum 45' | 28' 2" | YES |
| Front Yard Setback | Minimum 15' | > 50' | YES |
| Side Yard Setback | Minimum 10' | >10' | YES |
| Rear Yard Setback | Minimum 30' | > 15' | YES |
| Off-Street Parking | Minimum 320 spaces | 320 spaces | YES |

Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit D). Recommended improvements not already required by the UDO have been added as staff recommended conditions.

Staff Analysis

Special Use Permit Request Analysis: According to the UDO if a proposed amendment is for the rezoning of property and involves a change in zoning classification the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. For Special Use Permits, the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined

in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

A. Whether a proposed special use permit will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The subject site is surrounded by commercial and office uses. A tattoo parlor would be suitable.

B. Whether a proposed special use permit will adversely affect the existing use or usability of adjacent or nearby property.

The special use permit will not adversely affect the existing uses of nearby properties.

C. Whether the property to be affected by a proposed special use permit has a reasonable economic use as currently zoned.

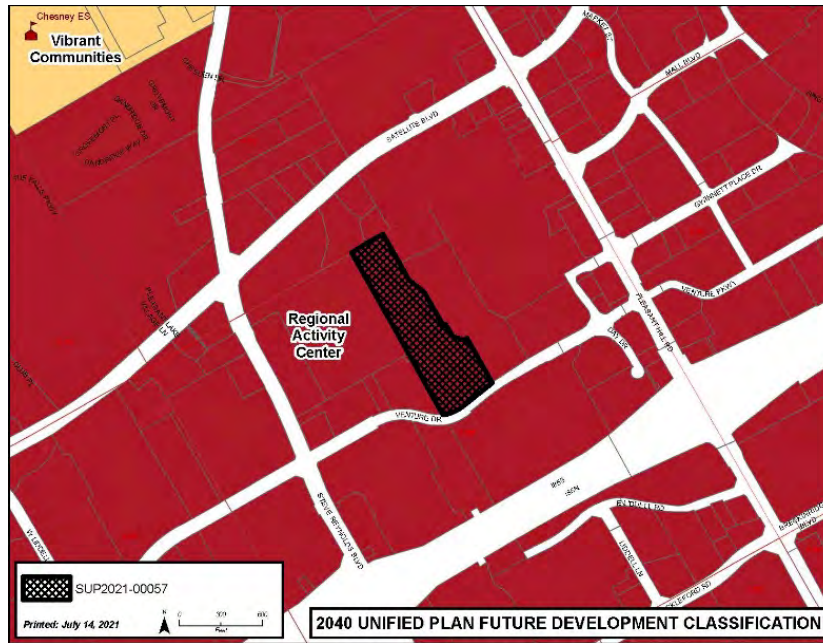
The property has a reasonable economic use, as currently zoned.

D. Whether the proposed special use permit will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

Minimal impact on public facilities is anticipated in the form of traffic, utility demand, and stormwater runoff. However, with appropriate conditions and site development requirements these impacts would be mitigated. No impact is anticipated on school enrollment. Agency review comments related to any potential improvements, related to this request, are attached (Exhibit D).

E. Whether the proposed special use permit is in conformity with the policy and intent of the Unified Plan and Future Development Map.

The 2040 Unified Plan Future Development Map indicates that the subject property lies within the Regional Activity Center Character Area. This designation is intended for areas that have intense commercial and office/employment activity, as well as some residential elements. The proposed tattoo parlor would be appropriate at this location.



Surrounding Future Land Use

F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed special use permit.

Nearby areas are developed with predominantly retail, commercial and business office uses along the corridor. The diverse services offered within the business park will provide local services to residents in the community. Operation of a tattoo parlor at this location would be appropriate.

Staff Recommendation

Based on the staff’s evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the special use permit request.

Staff Recommended Conditions

Approval of a Special Use Permit for a tattoo parlor, subject to the following conditions:

1. Retail, service, commercial, office, and accessory uses, which may include a tattoo parlor as a special use.
2. Hours of operation shall not extend past 6:00pm.
3. The Special Use Permit shall be valid for a two-year period, at which time the use shall cease or an application shall be made for renewal of the Special Use Permit.

Exhibits:

- A. Site Visit Photo
- B. Site Plan
- C. Letter of Intent and Applicant's Response to Standards
- D. Internal and External Agency Review Comments
- E. Maps

Exhibit A: Site Photo



Subject Property

Exhibit B: Site Plan

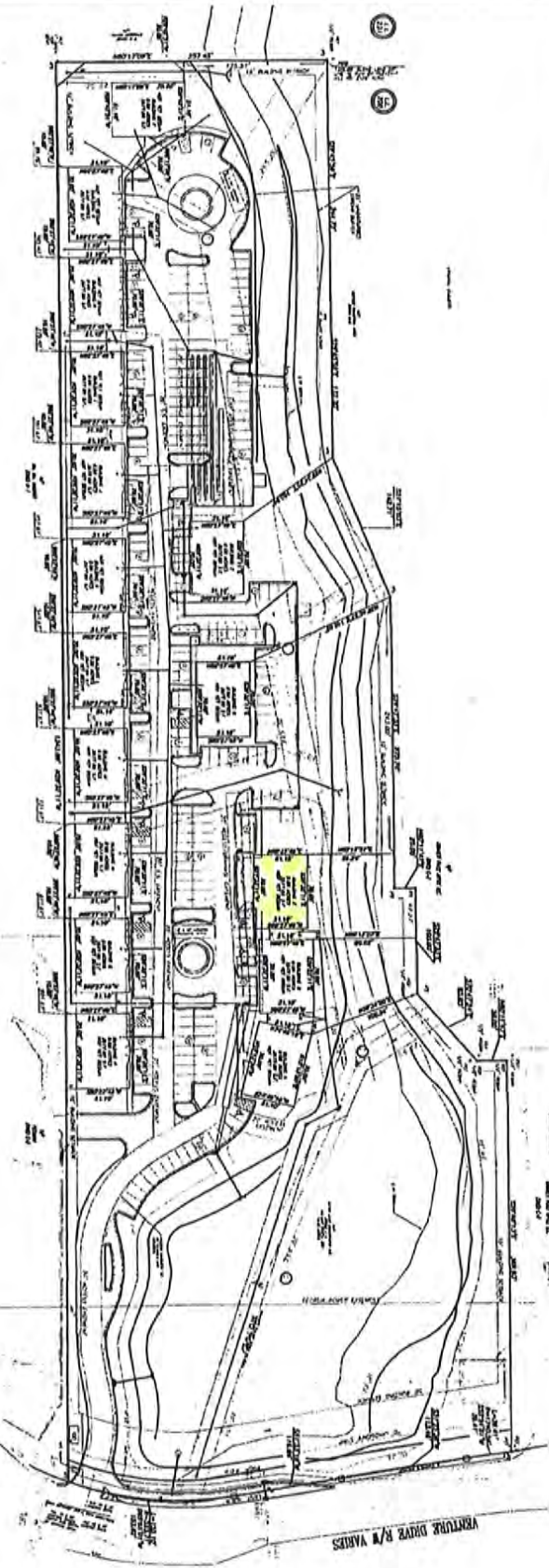
[attached]

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PLANNING AND DEVELOPMENT
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NO SCALE TO BE USED FOR THE PURPOSES OF THIS PLAN. ALL DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE DRIVE AND THE CENTERLINE OF THE DRIVE SHALL BE CONSIDERED TO BE THE CENTERLINE OF THE DRIVE.

| LEGEND | |
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| 1 | EXISTING DRIVE |
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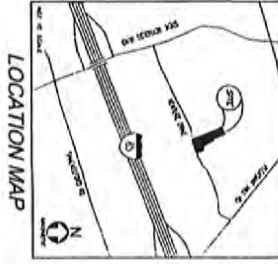
GENERAL NOTES
 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS.

OWNER/DEVELOPER
 EDgewater Office Park, LLC
 2000 Peachtree Dunwoody Road, NE
 Atlanta, GA 30328
 Phone: (770) 247-1234
 Fax: (770) 247-1235
 Email: info@edgewaterpark.com

NOTES
 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
 2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS.

CERTIFICATION
 I, the undersigned, being duly licensed as a Professional Engineer in the State of Georgia, do hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Georgia. My license number is 12345.

 DATE: 7/1/2021



ALL RECORDS
 CHANGES SHALL BE
 MADE TO THE ORIGINAL
 PLAN BY THE ARCHITECT
 OR HIS AUTHORIZED
 REPRESENTATIVE.

| | |
|--------------|----------------------------|
| SHEET NO. | 1 |
| TOTAL SHEETS | 1 |
| DATE | 7/1/2021 |
| PROJECT | EDGEWATER OFFICE PARK, LLC |

EDGEWATER
 OFFICE
 PARK, LLC

CONDOMINIUM PLAT
 for
**EDGEWATER OFFICE
 PARK, LLC**



bdg
 BLOCK
 DESIGN
 GROUP
 400
 LAUREL AVENUE, NW
 ATLANTA, GA 30318
 (404) 525-1111

Exhibit C: Letter of Intent and Applicant's Response to Standards

[attached]

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Bombshell Brows
ATLANTA

LETTER OF INTENT

Bombshell Brows is currently the tenant at 3775 Venture Drive, Suite C201, Duluth, GA 30096 and intends to open as a beauty parlor and body art studio. The studio is approximately 1,260 square feet and located inside of one of the sixteen office buildings located on the property at 3775 Venture Drive and features a beautiful waiting area, three private treatment rooms with a sink, and a single bathroom.

The business will be run by Susan Sreng, (also known as Susan Laurent) who has over 19 years of experience in the beauty industry and is currently the owner of a successful permanent makeup business. Once opened, the business will employ two other body art artists who have been trained by Susan and have gone through an apprenticeship program for permanent make-up. Services offered will include Permanent Cosmetics such as Microblading and Ombre Brows, Paramedical Tattooing such as areola tattooing and scar camouflage, eyelash enhancing services such as keratin lash lifts and eyelash extensions, eyebrow shaping and tinting, and makeup application. Business hours are Tuesday thru Saturday from 10:00 A.M. until 6:00 P.M. All clients are taken by appointment only. No walk-ins will be accepted.

Bombshell Brows was founded by Susan Sreng in 2017 when her love for Permanent Makeup was discovered. With her background in the beauty industry, an eye for detail, and numerous training certifications, in less than one year she became the Southeast's only Master Instructor for Deluxe Brows, LLC, a world re-known Permanent Cosmetics Training Academy under Alexandra Manuise, a leading innovator and educator in the Permanent Makeup Industry. This lead to the opening of Bombshell Brows Atlanta's first location on Peachtree Road in Buckhead.

Within a few short years, Bombshell Brows has become one of Atlanta's most sought-after Microblading and Permanent Makeup studios with celebrity clientele and clients who travel from all over the United States, even as far as Hawaii. While still maintaining a 5-star rating on Google and Facebook, Bombshell Brows is continuously growing and has plans to add additional artists to keep up with the demanding waiting list of clients.

Over the years, Bombshell Brows has gifted many free permanent eyebrow services to cancer survivors, chemotherapy patients, and those who suffer from Alopecia as a way of paying it forward. The gratitude shown from these amazing clients not only fills our hearts with joy but has inspired the company to make it a part of their mission to continue helping those who have lost their eyebrows due to health conditions. Tattooing one's eyebrows are not just about "looking good", it is also about helping to restore one's self-confidence and lively-hood.

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Bombshell Brows
ATLANTA

The love for helping others has also lead Bombshell Brows to receiving Paramedical Tattooing Certifications. With these certifications, they will offer medical tattooing services such as 3D areolas for Masectomy patients, 3D bellybuttons for patients who have had weight loss surgery, 6G tummy tuck, or a mommy makeover, flesh-colored scar camouflaging of surgery scars or any body scarring, stretch-mark camouflage, and even tattooing missing fingernails and toenails to make it appear as if the nail is not missing. Although Bombshell Brows has built their great reputation from permanent eyebrow services, they are on a mission to becoming the Atlanta area's sought after Paramedical Tattooing facility. With a recent partnership with I Will Survive, INC, (a non-profit organization based in Atlanta that helps provide support and services for those affected by breast cancer) Bombshell Brows is already on its way to achieving this goal.

ZONING INFORMATION:

- Requested Zoning Classification: C-2
- Site Acreage: 8.87
- Number of parking spaces: 320
- Number of stories: 2
- Building height: 28' and 2"
- Gross Square Footage Per Acre: 10,822.998 (96,000 total square footage)

SPECIAL USE PERMIT APPLICANT'S RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please See Attachment

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please See Attachment

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please See Attachment

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please See Attachment

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please See Attachment

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

Please See Attachment

SPECIAL USE PERMIT APPLICANT'S RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Yes, the proposed Special Use Permit will permit a use that is suitable in view of the use and development of adjacent and nearby properties. The property has businesses such as Law firms, Accounting Firms, a Dental office, Insurance Brokerage, Skincare Clinic, and Physical Therapy. The building adjacent to the proposed property is an empty office building ready to be leased. The current building in which Bombshell Brows is located within has a Family Law Office on the same floor, and a tech business below on the first floor.
- (B) No, a proposed Special Use Permit will not adversely affect the existing use or usability of adjacent or nearby properties. Bombshell Brows would be a great addition to the center and can refer their clients to the other surrounding businesses and vice versa. We are a specialty business and are not in competition with the surrounding businesses.
- (C) The addition of Bombshell Brows would be a positive addition to the area. We are currently a beauty parlor which is currently zoned for but would like to offer our specialty services of Permanent Cosmetics and Medical Tattooing which requires the proposed Special Use Permit.
- (D) The proposed Special Use Permit will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The business will only service one client at a time per working artist. There will not be more than 5 clients being serviced in a specific time period. There is ample parking available on the property.
- (E) Yes, to the best of my knowledge, the proposed Special Use Permit is in conformity with the policy and intent of the land use plan.
- (F) Bombshell Brows would be a great addition to the area. There are many other beauty salons in the area and other Permanent Cosmetic businesses, however, Bombshell Brows is a very known and sought after beauty clinic that started in Atlanta, GA and would like to call Duluth, GA their new home. We are gearing more towards medical tattooing and with Gwinnett Medical nearby, working with other doctors and Oncologists in the area will bring us many more clients in need of our specialty services.

Exhibit D: Internal and External Agency Review Comments

[attached]



| | | |
|--------------------------------|--|-------------------------------|
| TRC Meeting Date: | | 8/12/2021 |
| Department/Agency Name: | | Planning & Development |
| Reviewer Name: | | Gail Bass |
| Reviewer Title: | | Building Plan Review Manager |
| Reviewer Email Address: | | gail.bass@gwinnettcountry.com |
| Case Number: | | SUP2021-00057 |
| Case Address: | | 3775 Venture Dr., Ste C201 |

| | | | |
|------------------|--|--|------------------------------------|
| Comments: | | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
|------------------|--|--|------------------------------------|

| | |
|---|---|
| 1 | The applicant shall submit architectural, structural, mechanical, electrical and plumbing drawings for each proposed tenant space for review and approval by Building Plan Review. |
| 2 | Upon completion of plan review approvals, the applicant shall obtain an interior finish building permit for each proposed tenant space and achieve satisfactory field inspections for issuance of a Certificate of Occupancy. |
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|---------------------------------------|--|--|------------------------------------|
| Recommended Zoning Conditions: | | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
|---------------------------------------|--|--|------------------------------------|

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|---|--|
| TRC Meeting Date: 6/16/21 | |
| Department/Agency Name: Gwinnett Fire Plan Review | |
| Reviewer Name: Jennifer Folden-Nissen | |
| Reviewer Title: Planner III | |
| Reviewer Email Address: jennifer.folden-nissen@gwinnettcounty.com | |
| Case Number: SUP2021-00057 | |
| Case Address: 3775 Venture Dr, Ste C201 | |
| Comments: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | |
| 1 | Any new construction within the space shall be made ADA accessible. (2010 ADA 36.401) |
| 2 | If any site or building work is to be done on the property, building and site plans must be submitted for review by Gwinnett Fire Plan Review (2021 Gwinnett Fire Prevention and Protection Ordinance Sect. 42-36) |
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| Recommended Zoning Conditions: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | |
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Note: Attach additional pages, if needed

Exhibit E: Maps

[attached]



MARKET ST

GWINNETT PLACE DR

VENTURE PKWY

PLEASANT HILL RD

DAY DR

E LIDDELL RD

LIDDELL LN

185N

185S

SATELLITE BLVD

VENTURE DR

STEVE REYNOLDS BLVD

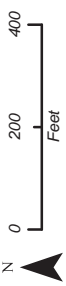
DANDRIDGE WAY
DANDRIDGE DR

PAGEAKE VILLAGE LN

SUP2021-00057

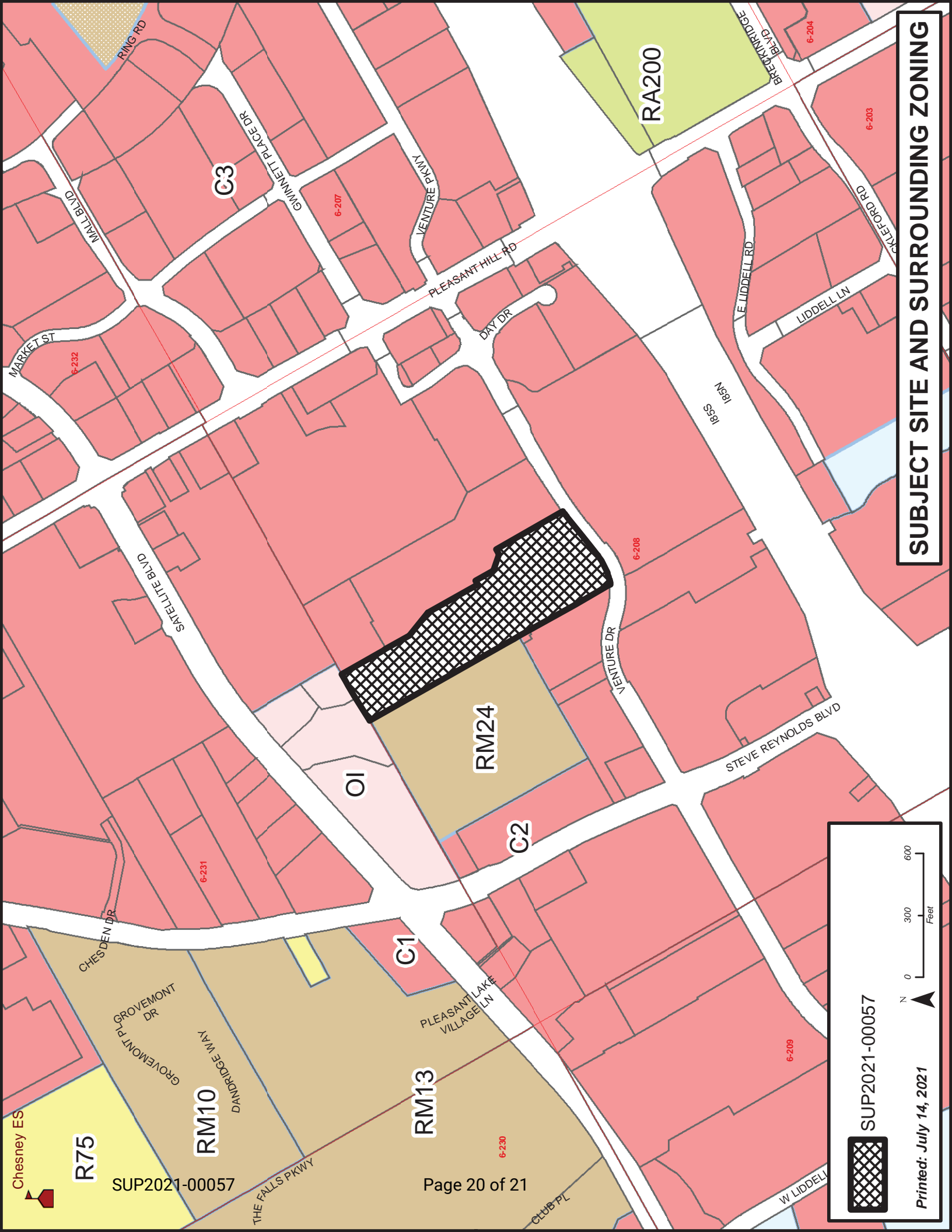
PAGE 19 of 21

SUP2021-00057



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SUBJECT SITE AND SURROUNDING ZONING



SUP2021-00057

Printed: July 14, 2021

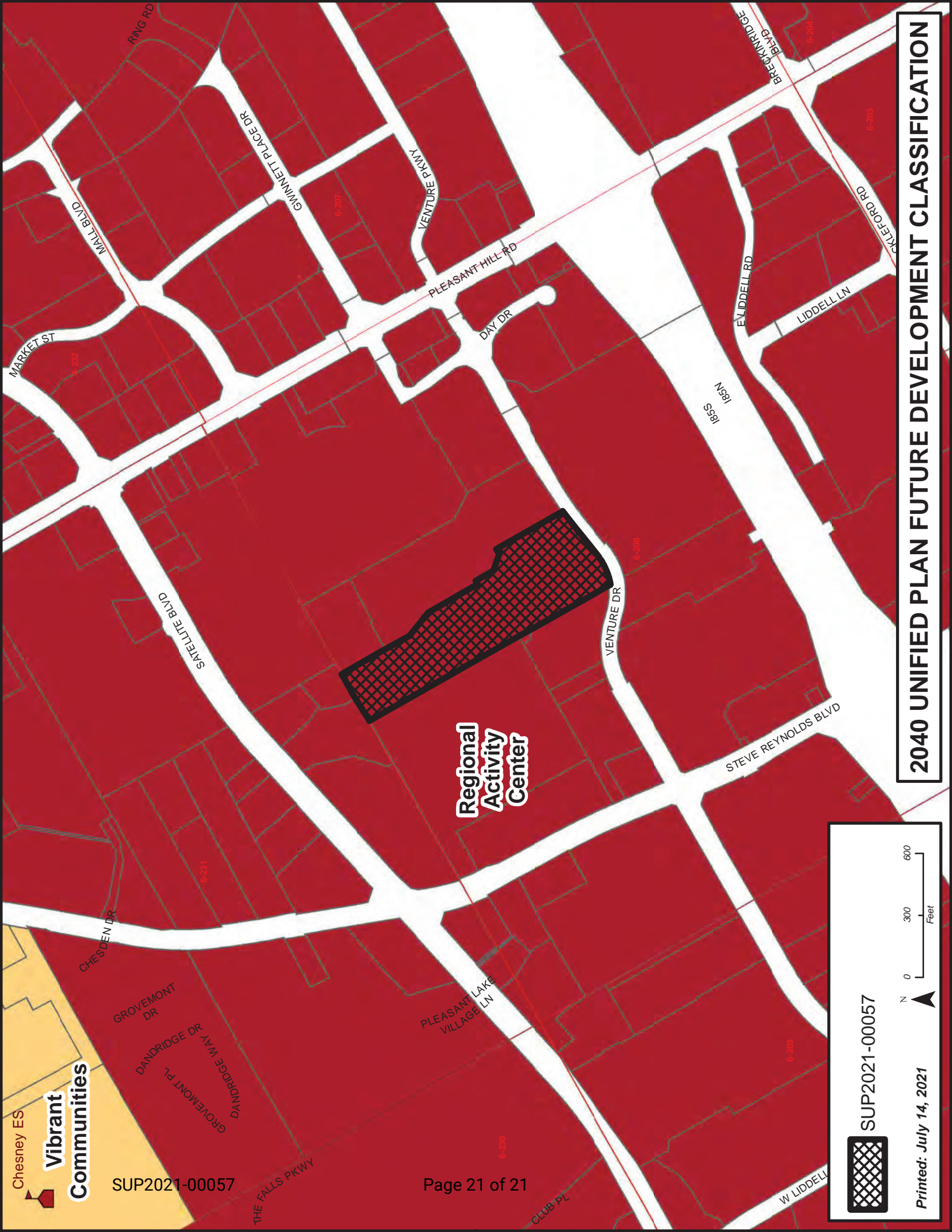
SUP2021-00057

Chesney ES

**Vibrant
Communities**

SUP2021-00057

Page 21 of 21



**Regional
Activity
Center**

2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION



SUP2021-00057

Printed: July 14, 2021



SPECIAL USE PERMIT APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

| APPLICANT INFORMATION | PROPERTY OWNER INFORMATION* |
|---|--|
| NAME: <u>Susan C. Sreng</u> | NAME: <u>Sain Holdings, LLC</u> |
| ADDRESS: <u>1061 Lulworth Lane</u> | ADDRESS: <u>3775 Venture Drive</u> <u>Building D300</u> |
| CITY: <u>Lawrenceville</u> | CITY: <u>Duluth</u> |
| STATE: <u>GA</u> ZIP: <u>30044</u> | STATE: <u>GA</u> ZIP: <u>30096</u> |
| PHONE: <u>(404) 667-8332</u> | PHONE: <u>404-931-8109</u> |
| CONTACT PERSON: <u>Susan Sreng</u> PHONE: <u>(404) 667-8332</u> | |
| CONTACT'S E-MAIL: <u>susan@BombshellBrowsATL.com</u> | |

*Include any person having a property interest and any person having a financial interest in any business entity having property interest (use additional sheets if necessary).

| APPLICANT IS THE: |
|---|
| <input checked="" type="checkbox"/> OWNER'S AGENT <input type="checkbox"/> PROPERTY OWNER <input type="checkbox"/> CONTRACT PURCHASER |
| EXISTING/PROPOSED ZONING: <u>C2</u> BUILDING/LEASED SQUARE FEET: <u>1260</u> <u>350</u> SQF |
| PARCEL NUMBER(S): <u>6208 101</u> ACREAGE: <u>8.87</u> |
| ADDRESS OF PROPERTY: <u>3775 Venture Drive Duluth, GA 30096</u> |
| SPECIAL USE REQUESTED: <u>Tattoo/Body Art Studio</u> |

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

GWINNETT COUNTY

PLANNING AND DEVELOPMENT

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EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 208, 6th District, Gwinnett County, Georgia, and being more particularly bounded and described as follows:

TO FIND THE POINT OF BEGINNING, COMMENCE at the intersection of the northwestern land lot line of Land Lot 208 said district and county, with the southerly margin of the right-of-way of Pleasant Hill Road (having a right-of-way width of 120 feet), and proceed thence the following courses and distances: southwesterly along the northwestern land lot line of Land Lot 208, said district and county, a distance of 1,325.69 feet to a point marked by an iron pin; thence South 60 degrees 17 minutes 09 seconds West a distance of 257.45 feet to a point marked by an iron pin; thence South 29 degrees 32 minutes 11 seconds East a distance of 361.67 feet to a point and thence North 60 degrees 27 minutes 49 seconds East a distance of 10.00 feet to the POINT OF BEGINNING. FROM THE POINT OF BEGINNING as thus established, proceed North 60 degrees 27 minutes 49 seconds East a distance of 51.10 feet to a point; thence South 29 degrees 32 minutes 11 seconds East a distance of 70.00 feet to a point; thence South 60 degrees 27 minutes 49 seconds West a distance of 51.10 feet to a point; and thence North 29 degrees 32 minutes 11 seconds West a distance of 70.00 feet to the POINT OF BEGINNING.

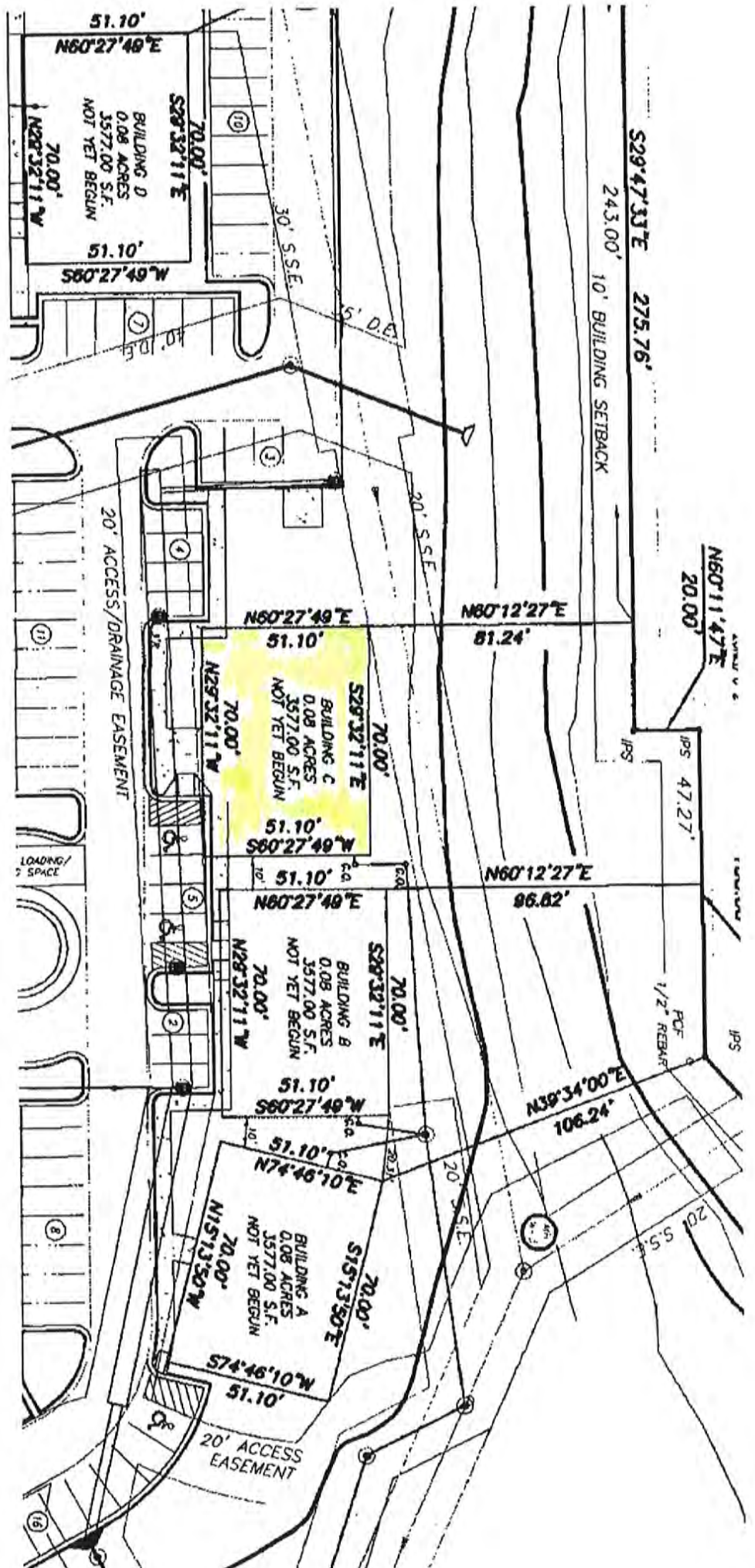
Being the same real property as that identified as "Building C" on "Condominium Plat for Edgewater Office Park, LLC" (a declaration of condominium has not been recorded), dated March 29, 2006., prepared by Brock Design Group, bearing the seal and signature of Charles H. Jackson, Georgia Registered Land Surveyor No. 2351, recorded in Plat Book CD4, Page 95, Gwinnett County, Georgia records and containing 0.08 acres according to the said plat.
Parcel ID Number: R6208 239

GWINNETT COUNTY

PLANNING AND DEVELOPMENT

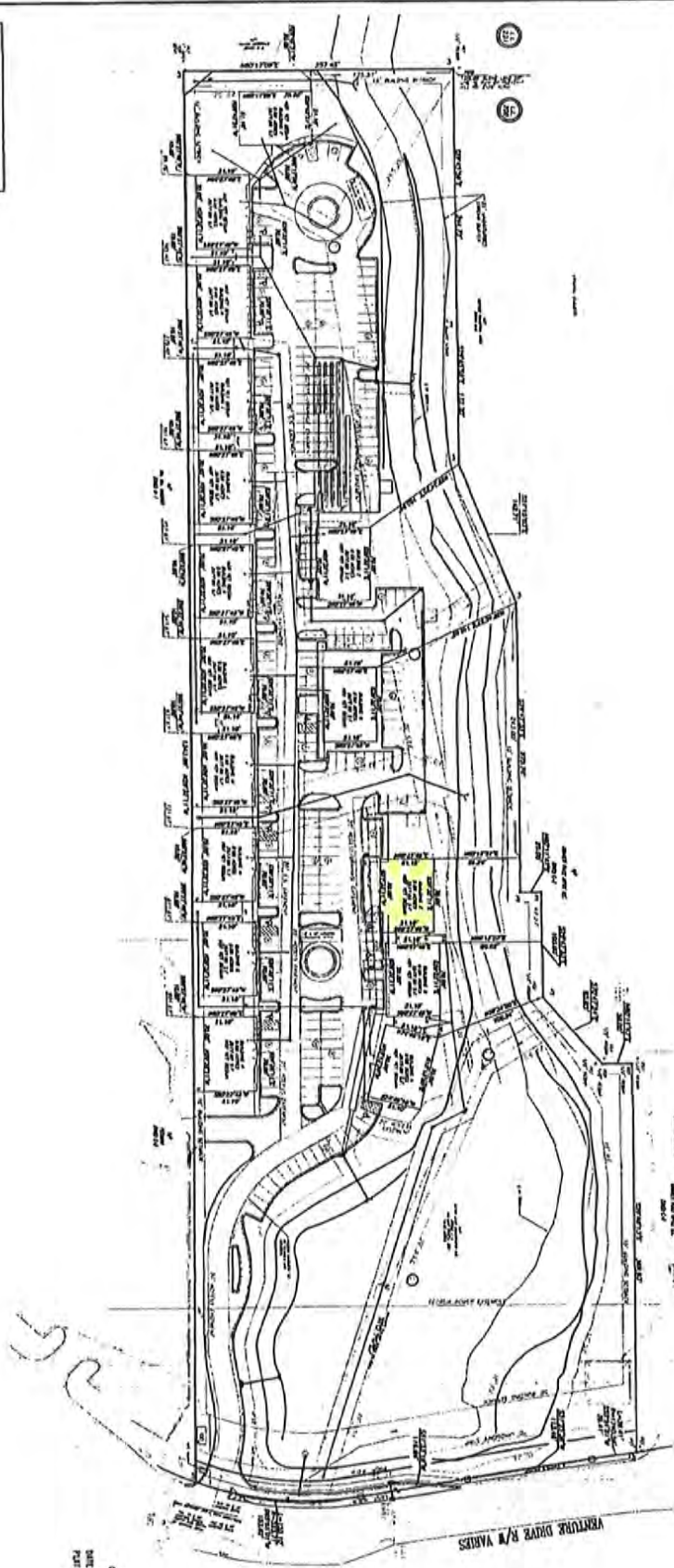
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SHOWN SCALE
 1" = 30'



LEGEND

| | |
|-----|----------------------|
| 1 | EXISTING BUILDING |
| 2 | NEW BUILDING |
| 3 | EXISTING DRIVE |
| 4 | NEW DRIVE |
| 5 | EXISTING SIDEWALK |
| 6 | NEW SIDEWALK |
| 7 | EXISTING LANDSCAPE |
| 8 | NEW LANDSCAPE |
| 9 | EXISTING UTILITY |
| 10 | NEW UTILITY |
| 11 | EXISTING FENCE |
| 12 | NEW FENCE |
| 13 | EXISTING WALL |
| 14 | NEW WALL |
| 15 | EXISTING CURB |
| 16 | NEW CURB |
| 17 | EXISTING DRIVEWAY |
| 18 | NEW DRIVEWAY |
| 19 | EXISTING PAVEMENT |
| 20 | NEW PAVEMENT |
| 21 | EXISTING CONCRET |
| 22 | NEW CONCRET |
| 23 | EXISTING ASPHALT |
| 24 | NEW ASPHALT |
| 25 | EXISTING GRAVEL |
| 26 | NEW GRAVEL |
| 27 | EXISTING SAND |
| 28 | NEW SAND |
| 29 | EXISTING DIRT |
| 30 | NEW DIRT |
| 31 | EXISTING VEGETATION |
| 32 | NEW VEGETATION |
| 33 | EXISTING TREES |
| 34 | NEW TREES |
| 35 | EXISTING SHRUBS |
| 36 | NEW SHRUBS |
| 37 | EXISTING FLOWERS |
| 38 | NEW FLOWERS |
| 39 | EXISTING LIGHTS |
| 40 | NEW LIGHTS |
| 41 | EXISTING SIGNAGE |
| 42 | NEW SIGNAGE |
| 43 | EXISTING UTILITIES |
| 44 | NEW UTILITIES |
| 45 | EXISTING FENCES |
| 46 | NEW FENCES |
| 47 | EXISTING WALLS |
| 48 | NEW WALLS |
| 49 | EXISTING CURBS |
| 50 | NEW CURBS |
| 51 | EXISTING DRIVEWAYS |
| 52 | NEW DRIVEWAYS |
| 53 | EXISTING PAVEMENTS |
| 54 | NEW PAVEMENTS |
| 55 | EXISTING CONCRETS |
| 56 | NEW CONCRETS |
| 57 | EXISTING ASPHALTS |
| 58 | NEW ASPHALTS |
| 59 | EXISTING GRAVELS |
| 60 | NEW GRAVELS |
| 61 | EXISTING SANDS |
| 62 | NEW SANDS |
| 63 | EXISTING DIRTS |
| 64 | NEW DIRTS |
| 65 | EXISTING VEGETATIONS |
| 66 | NEW VEGETATIONS |
| 67 | EXISTING TREES |
| 68 | NEW TREES |
| 69 | EXISTING SHRUBS |
| 70 | NEW SHRUBS |
| 71 | EXISTING FLOWERS |
| 72 | NEW FLOWERS |
| 73 | EXISTING LIGHTS |
| 74 | NEW LIGHTS |
| 75 | EXISTING SIGNAGES |
| 76 | NEW SIGNAGES |
| 77 | EXISTING UTILITIES |
| 78 | NEW UTILITIES |
| 79 | EXISTING FENCES |
| 80 | NEW FENCES |
| 81 | EXISTING WALLS |
| 82 | NEW WALLS |
| 83 | EXISTING CURBS |
| 84 | NEW CURBS |
| 85 | EXISTING DRIVEWAYS |
| 86 | NEW DRIVEWAYS |
| 87 | EXISTING PAVEMENTS |
| 88 | NEW PAVEMENTS |
| 89 | EXISTING CONCRETS |
| 90 | NEW CONCRETS |
| 91 | EXISTING ASPHALTS |
| 92 | NEW ASPHALTS |
| 93 | EXISTING GRAVELS |
| 94 | NEW GRAVELS |
| 95 | EXISTING SANDS |
| 96 | NEW SANDS |
| 97 | EXISTING DIRTS |
| 98 | NEW DIRTS |
| 99 | EXISTING VEGETATIONS |
| 100 | NEW VEGETATIONS |

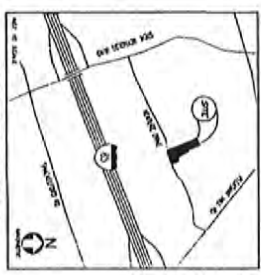


PROJECT INFORMATION
 PROJECT NO. 2021-001
 PROJECT NAME: EDGEWATER OFFICE PARK, LLC
 PROJECT ADDRESS: 10000 WOODBRIDGE DR, ALPHARETTA, GA 30201
 PROJECT OWNER: EDGEWATER OFFICE PARK, LLC
 PROJECT ARCHITECT: [Name]
 PROJECT ENGINEER: [Name]

OWNER/DEVELOPER
 NAME: EDGEWATER OFFICE PARK, LLC
 ADDRESS: 10000 WOODBRIDGE DR, ALPHARETTA, GA 30201
 CONTACT: [Name]
 PHONE: [Number]
 FAX: [Number]

NOTES
 1. THIS PLAN IS TO BE USED FOR THE SUBMITTAL OF A CONDOMINIUM PLAT TO THE GWINNETT COUNTY PLANNING AND DEVELOPMENT DEPARTMENT.
 2. THE PLANNING AND DEVELOPMENT DEPARTMENT WILL REVIEW THIS PLAN FOR COMPLIANCE WITH THE GWINNETT COUNTY ZONING ORDINANCES AND THE CONDOMINIUM ACT.
 3. THE PLANNING AND DEVELOPMENT DEPARTMENT WILL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN.
 4. THE PLANNING AND DEVELOPMENT DEPARTMENT WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
 5. THE PLANNING AND DEVELOPMENT DEPARTMENT WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.

CERTIFICATION
 I, the undersigned, being duly qualified, do hereby certify that I am the duly authorized representative of the owner/developer and that the information provided on this plan is true and correct to the best of my knowledge and belief.
 Signature: [Name]
 Title: [Title]
 Date: [Date]



LEGAL RECORDS
 GWINNETT COUNTY RECORDS
 10000 WOODBRIDGE DR, ALPHARETTA, GA 30201
 PLAT NO. 2021-001
 RECORDED: 7/1/2021

| | |
|-------------------|---|
| SHEET NO. | 1 |
| TOTAL SHEETS | 1 |
| DATE | 7/1/2021 |
| PROJECT NO. | 2021-001 |
| PROJECT NAME | EDGEWATER OFFICE PARK, LLC |
| PROJECT ADDRESS | 10000 WOODBRIDGE DR, ALPHARETTA, GA 30201 |
| PROJECT OWNER | EDGEWATER OFFICE PARK, LLC |
| PROJECT ARCHITECT | [Name] |
| PROJECT ENGINEER | [Name] |

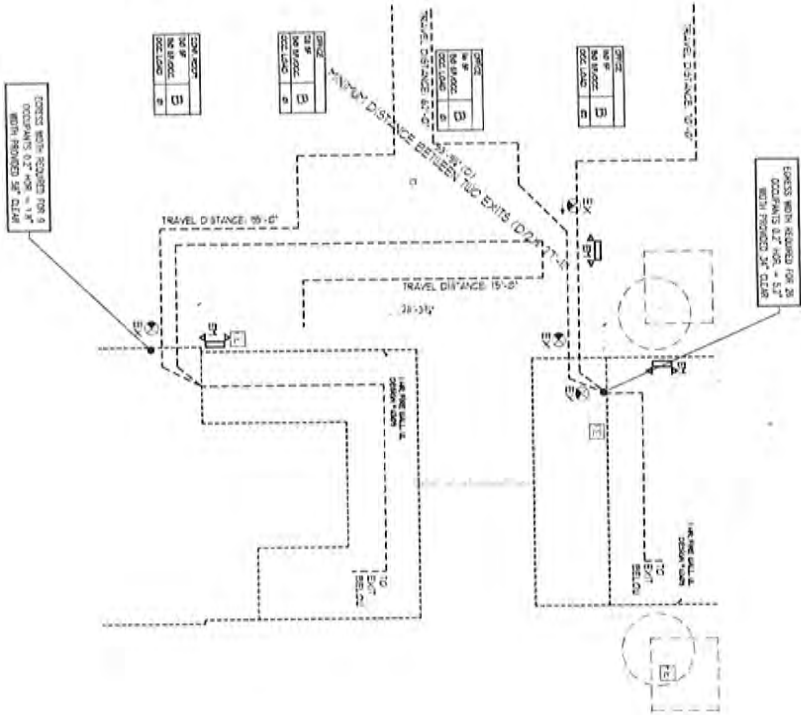
CONDOMINIUM PLAT
 for
EDGEWATER OFFICE PARK, LLC



bdg.
 BLOCK DESIGN GROUP
 400
 LAMAR AVENUE, SUITE 100
 ATLANTA, GA 30303
 (404) 525-1111

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
 RECEIVED
 7/1/2021 4:55PM

1 SECOND FLOOR - LIFE SAFETY PLAN
 CD3 SCALE 1/8"=1'-0"



LEGEND :

| | | | |
|----------------------------|----------------------------|----------------------------|---|
| DOOR | DOOR WITH PUSH BAR | DOOR WITH CLEARANCE | DOOR WITH CLEARANCE (MAXIMUM CLEARANCE) |
| EXIT | EXIT WITH PUSH BAR | EXIT WITH CLEARANCE | EXIT WITH CLEARANCE (MAXIMUM CLEARANCE) |
| EMERGENCY LIGHTS | EMERGENCY LIGHTS | EMERGENCY LIGHTS | EMERGENCY LIGHTS |
| PORTABLE FIRE EXTINGUISHER | PORTABLE FIRE EXTINGUISHER | PORTABLE FIRE EXTINGUISHER | PORTABLE FIRE EXTINGUISHER |

NOTE: ALL DOORS TO BE PROVIDED WITH 18" CLEARANCE ON THE PUSH SIDE AT THE HANDLE AND PROVIDE 18" CLEARANCE ON THE PULL SIDE AT THE HANDLE. ALL DOORS TO BE PROVIDED WITH 18" CLEARANCE ON THE PULL SIDE AT THE HANDLE. ALL DOORS TO BE PROVIDED WITH 18" CLEARANCE ON THE PULL SIDE AT THE HANDLE.

GWINNETT COUNTY
 Department of Planning and Development
 AUTHORIZED
 2021.06.2021

| | | | | |
|--|--|---|--|--|
| | RELEASED FROM CONSTRUCTION DEPARTMENT | KAPIL BRITAN LICENSED PROFESSIONAL ENGINEER STATE OF GEORGIA NO. 26498 | SECOND FLOOR - LIFE SAFETY PLAN BUILDING C - SUITE 201 BOMBSHELL BROS., LLC 3715 VENTURE DRIVE DULUTH, GA 30096 JURISDICTION: GWINNETT COUNTY | CONSULTING ENTERPRISES, CORP. 1000 N. WINDY HILL ROAD, SUITE 100 DULUTH, GA 30096 PHONE: (770) 414-1111 |
| | CD3 SCALE 1/8"=1'-0" | AUTHORIZED 2021.06.2021 | KAPIL BRITAN LICENSED PROFESSIONAL ENGINEER STATE OF GEORGIA NO. 26498 | SECOND FLOOR - LIFE SAFETY PLAN BUILDING C - SUITE 201 BOMBSHELL BROS., LLC 3715 VENTURE DRIVE DULUTH, GA 30096 JURISDICTION: GWINNETT COUNTY |

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED
7/1/2021 4:55PM

VIEWER FINISH SCHEDULE

| ITEM | DESCRIPTION | UNIT | QTY | DATE |
|------|------------------------|------|-----|------|
| 1 | VIEWER FINISH SCHEDULE | | | |

DOOR SCHEDULE

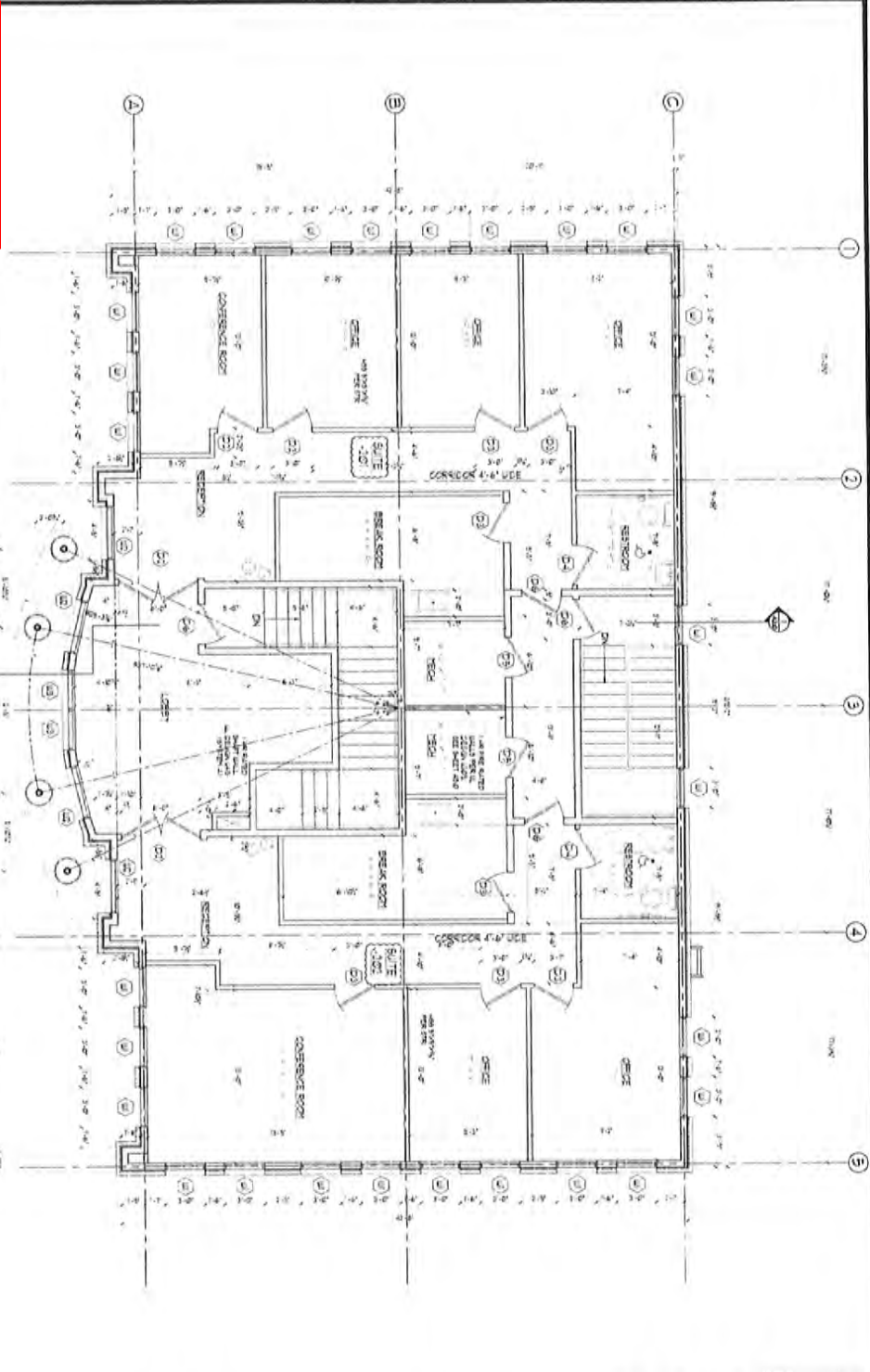
| NO. | TYPE | FINISH | SWING | OPERATION | REMARKS |
|-----|------|--------|-------|-----------|---------|
| D1 | ... | ... | ... | ... | ... |
| D2 | ... | ... | ... | ... | ... |
| D3 | ... | ... | ... | ... | ... |
| D4 | ... | ... | ... | ... | ... |
| D5 | ... | ... | ... | ... | ... |

WINDOW SCHEDULE

| NO. | TYPE | FINISH | SWING | OPERATION | REMARKS |
|-----|------|--------|-------|-----------|---------|
| W1 | ... | ... | ... | ... | ... |
| W2 | ... | ... | ... | ... | ... |
| W3 | ... | ... | ... | ... | ... |
| W4 | ... | ... | ... | ... | ... |
| W5 | ... | ... | ... | ... | ... |

GWINNETT COUNTY
 Department of Planning and Development
 AUTHORIZED
 APR 16, 2021

STATE OF GEORGIA
REGISTERED PROFESSIONAL ARCHITECT
BRISWANA
BELEND FOR CONSTRUCTION
KIM BRYAN
WYLAND BERRY
AL.I



NOTES

NOTE 1 - THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NOTE 2 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NOTE 3 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NOTE 4 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NOTE 5 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

SECOND FLOOR PLAN
 BUILDING C - SUITE 301
 BOMBUSH L BROS, LLC
 3775 VENTURE DRIVE
 DULUTH, GA 30066
 JURISDICTION: GWINNETT COUNTY

CONSULTING ENTERPRISES, CORP.
 1000 W. BROADWAY, SUITE 1000
 ATLANTA, GA 30309

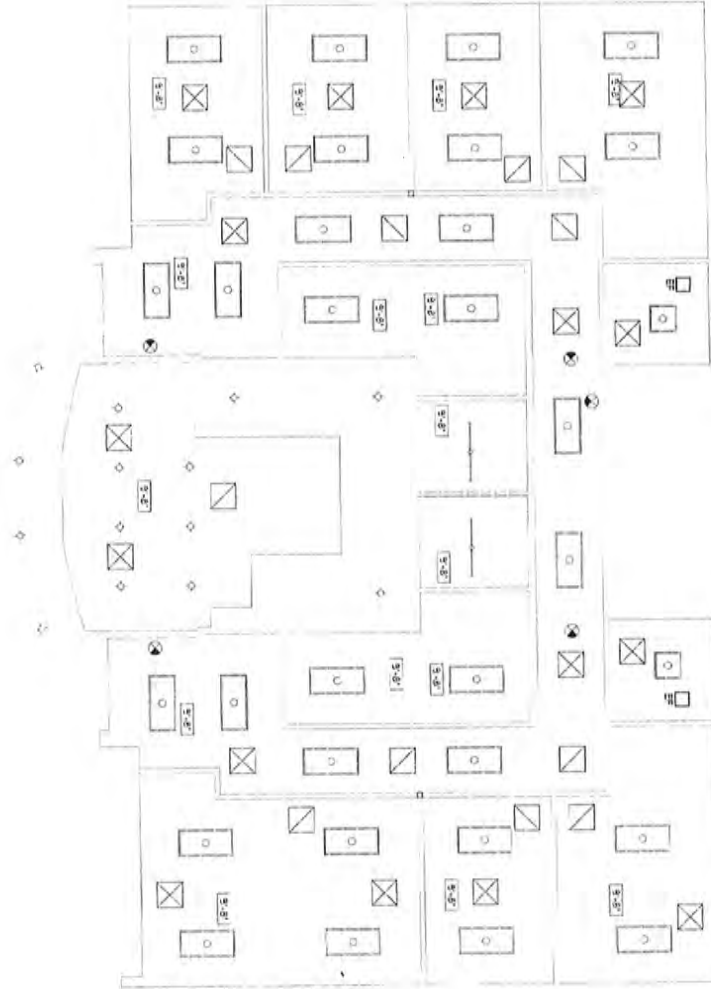
GWINNETT COUNTY

PLANNING AND DEVELOPMENT

RECEIVED

7/1/2021 4:55PM

1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



MEET ROOM
2146 GROUND
LEVEL (111)

LEGEND

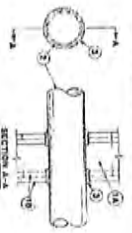
-  2'x2' LED Panel Fixture
-  4'x4' LED Panel Fixture
-  6'x6' LED Panel Fixture
-  8'x8' LED Panel Fixture
-  10'x10' LED Panel Fixture
-  12'x12' LED Panel Fixture

GWINNETT COUNTY
Department of Planning and Development
This project has been reviewed by the
Department of Planning and Development
and the Department of Public Works
and is approved for construction.
Apr 14, 2021
AUTHORIZED

| | | |
|--|---|--|
|  CONSULTING ENTERPRISES, CORP. CIVIL, ARCHITECTURAL & ELECTRICAL ENGINEERS PE No. 57428-B (11) | SECOND FLOOR REFLECTED CEILING PLAN BUILDING C - SUITE 201 BOMBHELL BROWS, LLC 3775 VENTURE DRIVE DULUTH, GA 30096 JURISDICTION: GWINNETT COUNTY | A1.4 |
| | CHECKED: [] DATE: [] DRAWN: [] SCALE: AS SHOWN SHEET: [] | RETURNED CONSTRUCTION DEPARTMENT APPROVED: [] DATE: [] |

GWINNETT COUNTY
PLANNING AND DEVELOPMENT
RECEIVED
7/1/2021 4:55PM

Design No. U309



SYSTEM NO. JH-1001
 FIGURE 1-1: JH-1001 AND JH-1002 PIPE AND JOINT SECTION A-A
 FIGURE 1-2: JH-1001 AND JH-1002 PIPE AND JOINT SECTION B-B
 FIGURE 1-3: JH-1001 AND JH-1002 PIPE AND JOINT SECTION C-C

1.00 GENERAL NOTES:

- 1.01 The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- 1.02 The contractor shall be responsible for obtaining all necessary materials and labor for the project.
- 1.03 The contractor shall be responsible for the installation and maintenance of the system.
- 1.04 The contractor shall be responsible for the safety of all personnel involved in the project.
- 1.05 The contractor shall be responsible for the protection of all existing utilities and structures.
- 1.06 The contractor shall be responsible for the cleanup and removal of all debris and materials.
- 1.07 The contractor shall be responsible for the completion of all work within the specified time frame.
- 1.08 The contractor shall be responsible for the accuracy of all measurements and calculations.
- 1.09 The contractor shall be responsible for the quality of all workmanship and materials.
- 1.10 The contractor shall be responsible for the coordination of all work with other trades and agencies.
- 1.11 The contractor shall be responsible for the communication of all progress and issues to the project manager.
- 1.12 The contractor shall be responsible for the documentation of all work and materials.
- 1.13 The contractor shall be responsible for the compliance with all applicable codes and regulations.
- 1.14 The contractor shall be responsible for the safety of all personnel and the public.
- 1.15 The contractor shall be responsible for the protection of the environment.
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- 1.24 The contractor shall be responsible for the protection of the environment.

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| Item No. | Description | Quantity | Unit |
|----------|----------------|----------|-------|
| 1.01 | Excavation | 1.00 | cuyd |
| 1.02 | Backfill | 1.00 | cuyd |
| 1.03 | Concrete | 1.00 | cuyd |
| 1.04 | Rebar | 1.00 | lb |
| 1.05 | Formwork | 1.00 | sq ft |
| 1.06 | Labor | 1.00 | hr |
| 1.07 | Material | 1.00 | unit |
| 1.08 | Transportation | 1.00 | unit |
| 1.09 | Permitting | 1.00 | unit |
| 1.10 | Inspection | 1.00 | unit |
| 1.11 | Testing | 1.00 | unit |
| 1.12 | Documentation | 1.00 | unit |
| 1.13 | Compliance | 1.00 | unit |
| 1.14 | Safety | 1.00 | unit |
| 1.15 | Environment | 1.00 | unit |

System No. W-L-2003
XHEZ-W-L-2003
Through-penetration Firestop Systems



SECTION A-A

1.00 GENERAL NOTES:

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- 1.13 The contractor shall be responsible for the compliance with all applicable codes and regulations.
- 1.14 The contractor shall be responsible for the safety of all personnel and the public.
- 1.15 The contractor shall be responsible for the protection of the environment.

GWINNETT COUNTY
 Department of Planning and Development
 These system drawings have been reviewed by Gwinnett County Planning and Development and approved for construction.
 Approved: [Signature]
 Date: 07/14/2021
AUTHORIZED

AS.0

RELEASED FOR CONSTRUCTION
 PROJECT: [Project Name]
 DRAWING: [Drawing Name]
 DATE: [Date]
 BY: [Signature]

UL DESIGN
 BUILDING C - SUITE 201
 BOMBSHILL BROWS, LLC
 3775 VENTURE DRIVE
 DULUTH, GA 30096
 JURISDICTION: GWINNETT COUNTY

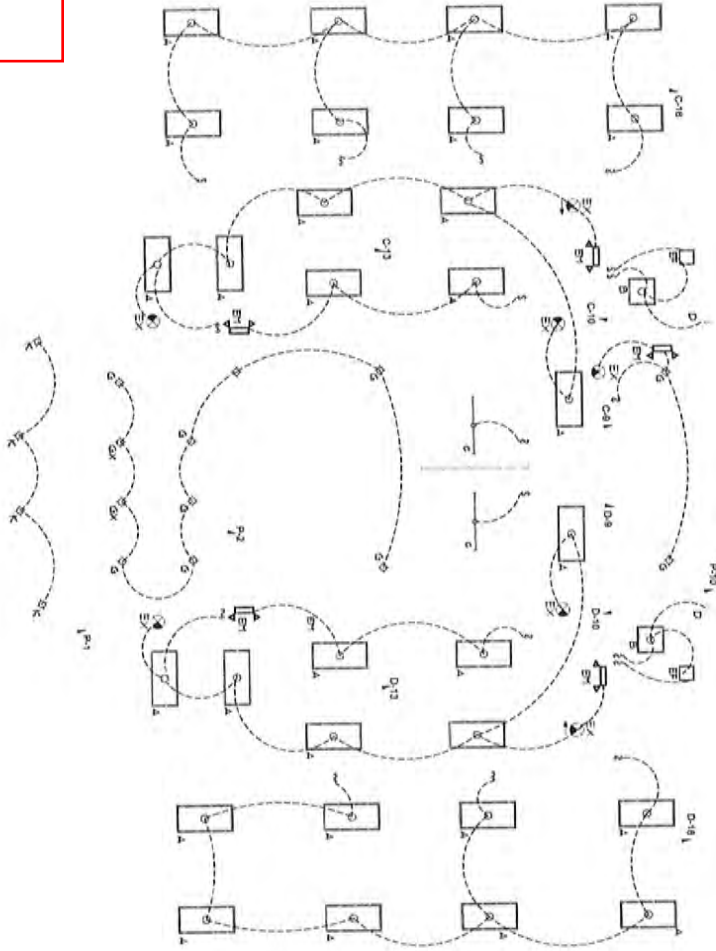
CONSULTING ENTERPRISES, CORP.
 6415 HIGHTOWER ROAD, SUITE 100
 DULUTH, GA 30096
 (770) 455-1111
 www.cecorp.com

GWINNETT COUNTY

PLANNING AND DEVELOPMENT

RECEIVED

7/1/2021 4:55PM



① SECOND FLOOR LIGHTING PLAN
E201 SCALE: 1/8"=1'-0"

1. THIS PLAN IS TO BE SUBMITTED TO THE GWINNETT COUNTY BOARD OF PLANNING AND DEVELOPMENT FOR REVIEW AND APPROVAL. THE BOARD OF PLANNING AND DEVELOPMENT HAS THE RIGHT TO REJECT OR APPROVE THIS PLAN WITH OR WITHOUT REVISIONS. APPROVED: _____ DATE: _____
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE GWINNETT COUNTY BOARD OF PLANNING AND DEVELOPMENT AND THE GWINNETT COUNTY BOARD OF ALDELMAN AND ZONING OFFICERS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE GWINNETT COUNTY BOARD OF PLANNING AND DEVELOPMENT AND THE GWINNETT COUNTY BOARD OF ALDELMAN AND ZONING OFFICERS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE GWINNETT COUNTY BOARD OF PLANNING AND DEVELOPMENT AND THE GWINNETT COUNTY BOARD OF ALDELMAN AND ZONING OFFICERS.

GWINNETT COUNTY
Department of Planning and Development
This project has been reviewed by the Department of Planning and Development and the Board of Planning and Development and has been approved for construction. APPROVED: _____ DATE: _____
APR 16, 2021
AUTHORIZED

E201

SCALE: AS SHOWN

REVISIONS

REVISED BY DATE

ROBERT J. BROWN

KAYE BRITAIN

DESKMAN

RELEASED FOR CONSTRUCTION

DATE: _____

BY: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

SECOND FLOOR LIGHTING PLAN
BUILDING C - SUITE 201
BOMBSHELL BROS. LLC
3775 VENTURE DRIVE
DULUTH, GA 30096
JURISDICTION: GWINNETT COUNTY



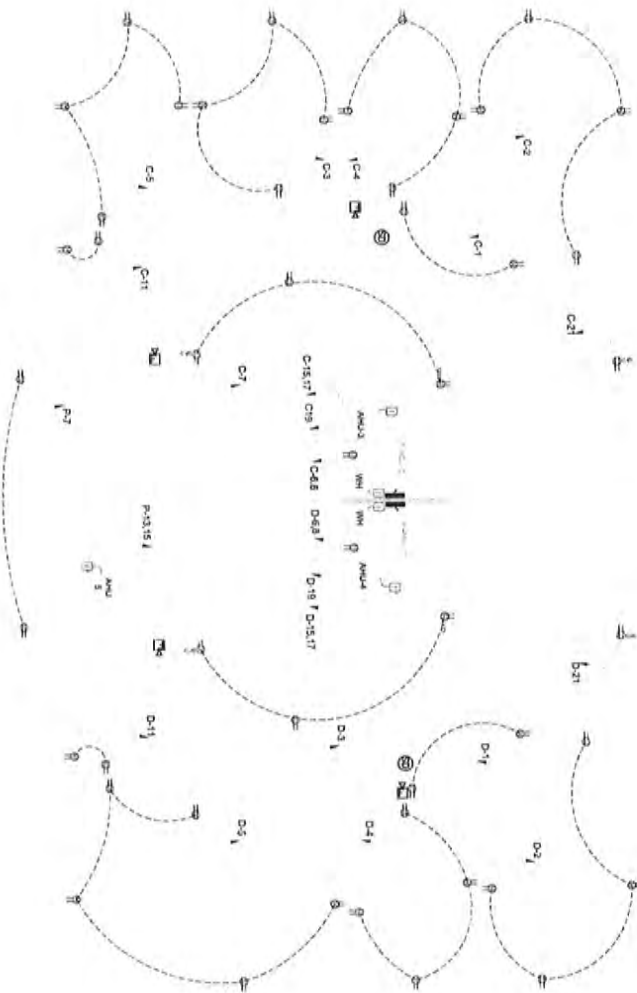
CONSULTING ENTERPRISES CORP.
105 WHEATBRIDGE ROAD, LAWRENCEVILLE, GA 30043
PHONE: (770) 461-3200

GWINNETT COUNTY

PLANNING AND DEVELOPMENT

RECEIVED

7/1/2021 4:55PM



1 SECOND FLOOR POWER PLAN
SCALE 1/8"=1'-0"

NOTES:
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72).
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS ELECTRICAL CODE (IEC) AND THE 2017 ILLINOIS FIRE ALARM AND SIGNALING CODE (IFASC).
3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE CODE (IWCC) AND THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).
4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).
5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).
6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).
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8. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).
9. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).
10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 ILLINOIS WIRE AND CABLE SIGNALING CODE (IWSCS).

GWINNETT COUNTY
Department of Planning and Development
These project documents have been prepared by a registered professional engineer in accordance with the provisions of the Illinois Professional Engineers Act, Public Act 000-007, as amended, and the Illinois Engineering Code of Ethics, Public Act 000-007, as amended.
APR 16, 2021
AUTHORIZED

E301

RELEASED FOR CONSTRUCTION

DATE: 05/14/2021

BY: S. S. S. S. S.

PROJECT: BOMBHELL BROS. LLC

DATE: 05/14/2021

BY: S. S. S. S. S.

SECOND FLOOR POWER PLAN
BUILDING C - SUITE 201
BOMBHELL BROS. LLC
3775 VENTURE DRIVE
DULUTH, GA 30096
JURISDICTION: GWINNETT COUNTY

EC CONSULTING ENTERPRISES, CORP.
FIND, MEASURE & MANAGE THE UNDISCOVERED
P.O. BOX 104888
ATLANTA, GA 30384

SPECIAL USE PERMIT APPLICANT'S RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please See Attachment

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please See Attachment

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please See Attachment

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please See Attachment

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please See Attachment

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

Please See Attachment

SPECIAL USE PERMIT APPLICANT'S RESPONSE

STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

- (A) Yes, the proposed Special Use Permit will permit a use that is suitable in view of the use and development of adjacent and nearby properties. The property has businesses such as Law firms, Accounting Firms, a Dental office, Insurance Brokerage, Skincare Clinic, and Physical Therapy. The building adjacent to the proposed property is an empty office building ready to be leased. The current building in which Bombshell Brows is located within has a Family Law Office on the same floor, and a tech business below on the first floor.
- (B) No, a proposed Special Use Permit will not adversely affect the existing use or usability of adjacent or nearby properties. Bombshell Brows would be a great addition to the center and can refer their clients to the other surrounding businesses and vice versa. We are a specialty business and are not in competition with the surrounding businesses.
- (C) The addition of Bombshell Brows would be a positive addition to the area. We are currently a beauty parlor which is currently zoned for but would like to offer our specialty services of Permanent Cosmetics and Medical Tattooing which requires the proposed Special Use Permit.
- (D) The proposed Special Use Permit will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The business will only service one client at a time per working artist. There will not be more than 5 clients being serviced in a specific time period. There is ample parking available on the property.
- (E) Yes, to the best of my knowledge, the proposed Special Use Permit is in conformity with the policy and intent of the land use plan.
- (F) Bombshell Brows would be a great addition to the area. There are many other beauty salons in the area and other Permanent Cosmetic businesses, however, Bombshell Brows is a very known and sought after beauty clinic that started in Atlanta, GA and would like to call Duluth, GA their new home. We are gearing more towards medical tattooing and with Gwinnett Medical nearby, working with other doctors and Oncologists in the area will bring us many more clients in need of our specialty services.

GWINNETT COUNTY

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Bombshell Brows
ATLANTA

LETTER OF INTENT

Bombshell Brows is currently the tenant at 3775 Venture Drive, Suite C201, Duluth, GA 30096 and intends to open as a beauty parlor and body art studio. The studio is approximately 1,260 square feet and located inside of one of the sixteen office buildings located on the property at 3775 Venture Drive and features a beautiful waiting area, three private treatment rooms with a sink, and a single bathroom.

The business will be run by Susan Sreng, (also known as Susan Laurent) who has over 19 years of experience in the beauty industry and is currently the owner of a successful permanent makeup business. Once opened, the business will employ two other body art artists who have been trained by Susan and have gone through an apprenticeship program for permanent make-up. Services offered will include Permanent Cosmetics such as Microblading and Ombre Brows, Paramedical Tattooing such as areola tattooing and scar camouflage, eyelash enhancing services such as keratin lash lifts and eyelash extensions, eyebrow shaping and tinting, and makeup application. Business hours are Tuesday thru Saturday from 10:00 A.M. until 6:00 P.M. All clients are taken by appointment only. No walk-ins will be accepted.

Bombshell Brows was founded by Susan Sreng in 2017 when her love for Permanent Makeup was discovered. With her background in the beauty industry, an eye for detail, and numerous training certifications, in less than one year she became the Southeast's only Master Instructor for Deluxe Brows, LLC, a world re-known Permanent Cosmetics Training Academy under Alexandra Manuise, a leading innovator and educator in the Permanent Makeup Industry. This lead to the opening of Bombshell Brows Atlanta's first location on Peachtree Road in Buckhead.

Within a few short years, Bombshell Brows has become one of Atlanta's most sought-after Microblading and Permanent Makeup studios with celebrity clientele and clients who travel from all over the United States, even as far as Hawaii. While still maintaining a 5-star rating on Google and Facebook, Bombshell Brows is continuously growing and has plans to add additional artists to keep up with the demanding waiting list of clients.

Over the years, Bombshell Brows has gifted many free permanent eyebrow services to cancer survivors, chemotherapy patients, and those who suffer from Alopecia as a way of paying it forward. The gratitude shown from these amazing clients not only fills our hearts with joy but has inspired the company to make it a part of their mission to continue helping those who have lost their eyebrows due to health conditions. Tattooing one's eyebrows are not just about "looking good", it is also about helping to restore one's self-confidence and lively-hood.

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Bombshell Brows
ATLANTA

The love for helping others has also lead Bombshell Brows to receiving Paramedical Tattooing Certifications. With these certifications, they will offer medical tattooing services such as 3D areolas for Masectomy patients, 3D bellybuttons for patients who have had weight loss surgery, 6G tummy tuck, or a mommy makeover, flesh-colored scar camouflaging of surgery scars or any body scarring, stretch-mark camouflage, and even tattooing missing fingernails and toenails to make it appear as if the nail is not missing. Although Bombshell Brows has built their great reputation from permanent eyebrow services, they are on a mission to becoming the Atlanta area's sought after Paramedical Tattooing facility. With a recent partnership with I Will Survive, INC, (a non-profit organization based in Atlanta that helps provide support and services for those affected by breast cancer) Bombshell Brows is already on its way to achieving this goal.

ZONING INFORMATION:

- Requested Zoning Classification: C-2
- Site Acreage: 8.87
- Number of parking spaces: 320
- Number of stories: 2
- Building height: 28' and 2"
- Gross Square Footage Per Acre: 10,822.998 (96,000 total square footage)

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Testimonial:

7/1/2021 4:55PM

I'm a newly retired Army Nurse Corps Officer but back in July of 2018, I heard the words that no one wants to hear: "It's malignant!" Within two weeks of hearing that, I had surgery to remove the tumor and begin preparations to receive nine months of chemotherapy treatments.

On my way to pick out the wig that I initially planned to wear through that ordeal, I remember thinking to myself, "Okay, the wig will cover up my bald head but what about my eyebrows? How am I going to look without eyebrows?" With one week left before I was scheduled to begin chemo treatments, I began to look into microblading and getting my eyebrows tattooed.

Well low and behold, thanks to a member of my local running group, I found a wonderful place called "Bombshell Brows Atlanta." The owner of the shop was Susan Laurent. I completed the form and let her know that I hadn't begun chemo yet, but was scheduled to begin the following Monday. I told her that I wanted to maintain as much dignity as humanly possible. Her caring attitude and the great compassion she displayed towards me, a total stranger, afforded me the ability to leave her shop that day no longer feeling self-pity but beautiful and confident that I would still look somewhat like myself as I tried to mentally and emotionally prepare myself for the side effects. On top of that, Susan would not let me pay her! If you only knew how much that service costs, then you would see that she is paying it forward by helping cancer patients and conquerors (I don't call us "survivors" because we were not created to just survive, but to thrive!) maintain their dignity, self-esteem, and therefore is greatly impacting the lives of many, one day at a time!

She blessed me so much that I talk about our encounter and her business, Bombshell Brows ATL in my book, "The Spirit of a Warrior: Jean's Self-Care Journey Through Chemotherapy." Susan is on a mission to help others and I pray that you allow her the opportunity to continue helping cancer patients within your community.

Very Respectfully,
Jean Turner, RN, Holistic Health Nurse Coach
Founder & Chief Wellness Officer, SOAW Life Enterprises, LLC
LTC, U.S. Army (Retired)
McDonough, GA 30253
678) 464-7431
www.spiritofawarrior.life
spiritofawarrior.life@gmail.com

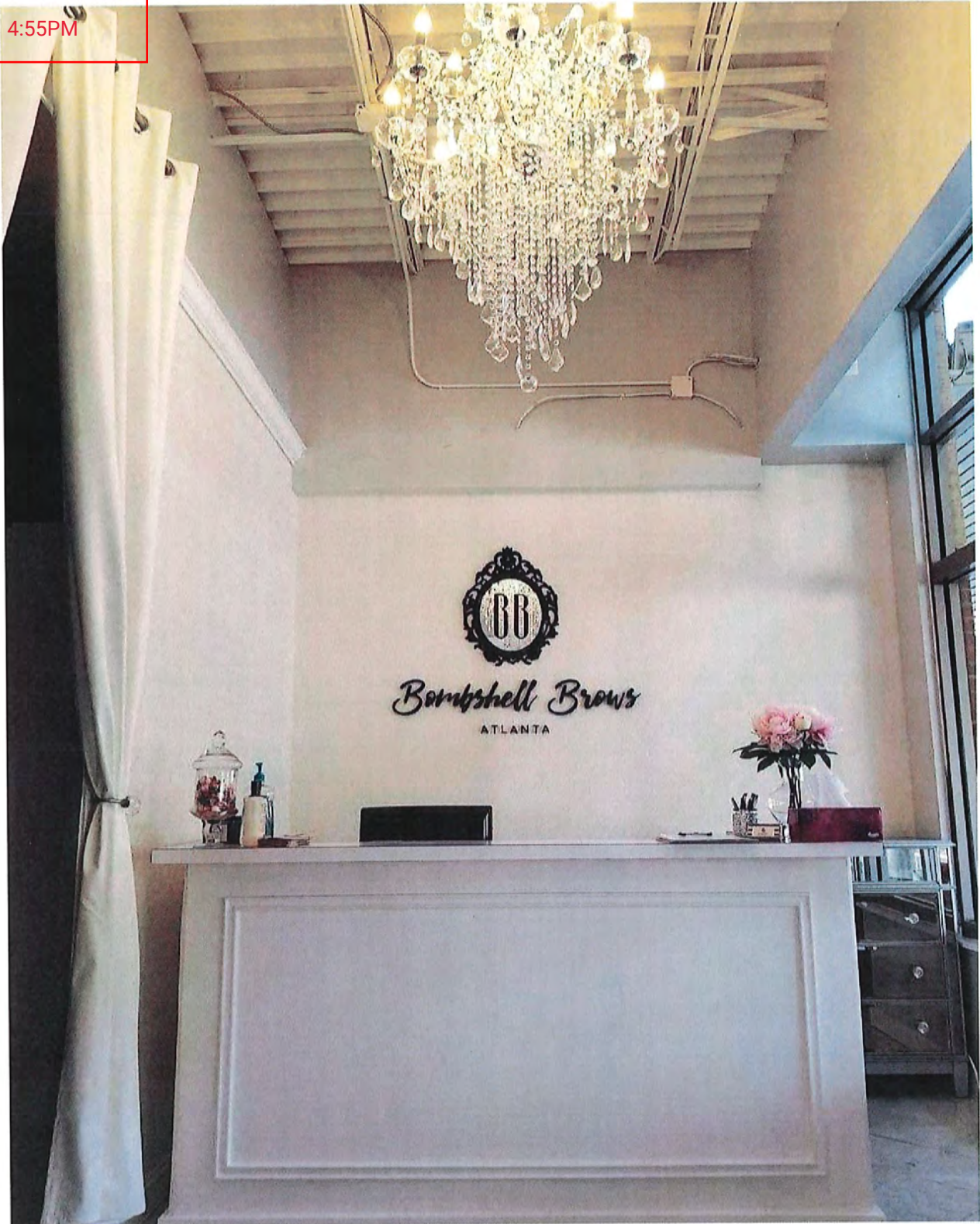
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BOMBSHELL BROWS ENTRANCE



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PARAMEDICAL TATTOOING



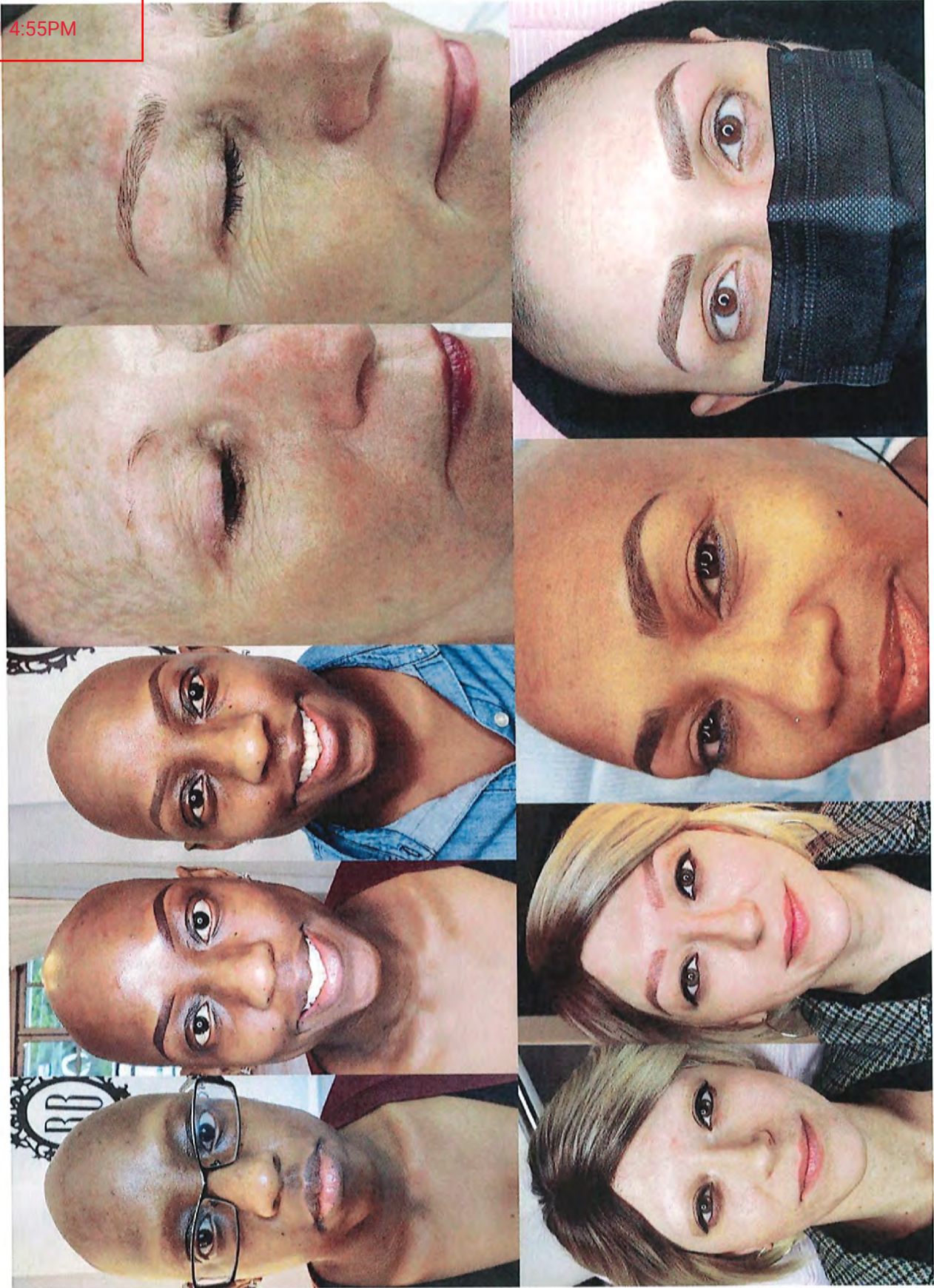
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A FEW CANCER SURVIVORS/ALOPECIA CLIENTS WE HAVE HELPED

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Gwinnett County Planning Division
Special Use Permit Application
Last Updated 12/2020

SPECIAL USE PERMIT APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Susan Sreng

Signature of Applicant

SS
7-1/21/21

Date

Susan Sreng, applicant

Type or Print Name and Title

Joseph D. Smith

Signature of Notary Public

7-1-2021

Date



Notary Seal

GWINNETT COUNTY

PLANNING AND DEVELOPMENT


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7/1/2021 4:55PM

Gwinnett County Planning Division
Special Use Permit Application
Last Updated 12/2020

SPECIAL USE PERMIT PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

 _____
Signature of Property Owner 7/1/21
Date

Martha Sanchez Manager
Type or Print Name and Title

Joseph D. Smith 7/1/2021 _____
Signature of Notary Public Date Notary Seal



Joseph D. Smith
NOTARY PUBLIC
Gwinnett County, Georgia
My Commission Expires
May 19, 2024

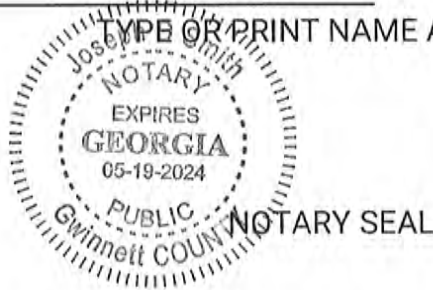
CONFLICT OF INTEREST CERTIFICATION FOR SPECIAL USE PERMIT

The undersigned below, making application for a Special Use Permit, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Susan Sreng 7/1/21 Susan Sreng, applicant
SIGNATURE OF APPLICANT DATE TYPE OR PRINT NAME AND TITLE

n/a
SIGNATURE OF APPLICANT'S DATE TYPE OR PRINT NAME AND TITLE
ATTORNEY OR REPRESENTATIVE

Joseph D. Ameth 7/1/21
SIGNATURE OF NOTARY PUBLIC DATE



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES NO Susan Sreng
YOUR NAME

If the answer is yes, please complete the following section:

| NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL | CONTRIBUTIONS (List all which aggregate to \$250 or More) | DATE CONTRIBUTION WAS MADE (Within last two years) |
|--|---|--|
| | | |
| | | |
| | | |

Attach additional sheets if necessary to disclose or describe all contributions.

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Gwinnett County Planning Division
Special Use Permit Application
Last Updated 12/2020

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

***Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.**

PARCEL I.D. NUMBER: 6th District - 208 - R6208 239
(Map Reference Number) District Land Lot Parcel

Susan Sreng 6/28/21
Signature of Applicant Date

Susan Sreng,
Type or Print Name and Title

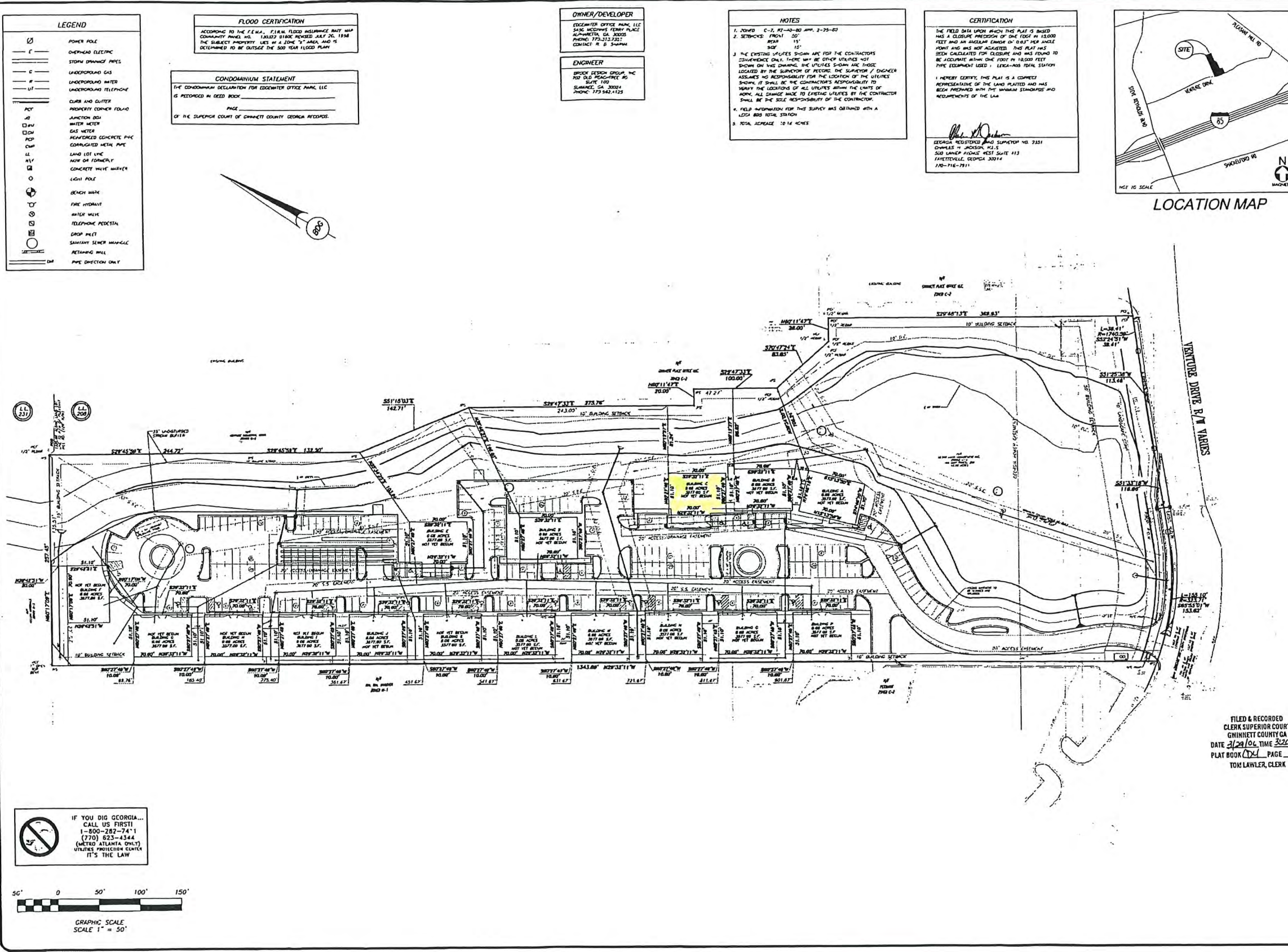
*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Jessilyn M. Duffin TSA
NAME TITLE

6/28/21
DATE



BROCK DESIGN GROUP
 800 LANIER AVENUE WEST
 SUITE 413
 FAYETTEVILLE, GA 30214
 770-716-7911
 770-716-7912

CONDOMINIUM PLAT
 for
EDGEWATER OFFICE PARK, LLC

FILED & RECORDED
 CLERK SUPERIOR COURT
 GWINNETT COUNTY GA
 DATE 3/2/06 TIME 3:20pm
 PLAT BOOK 1741 PAGE 95
 TOM LAWLER, CLERK

EDGEWATER OFFICE PARK, LLC

CONDOMINIUM PLAT

PROJECT NO: RDS002 SHEET NO: 1
 DATE: 3/2/06 ISSUE No.: of 1