

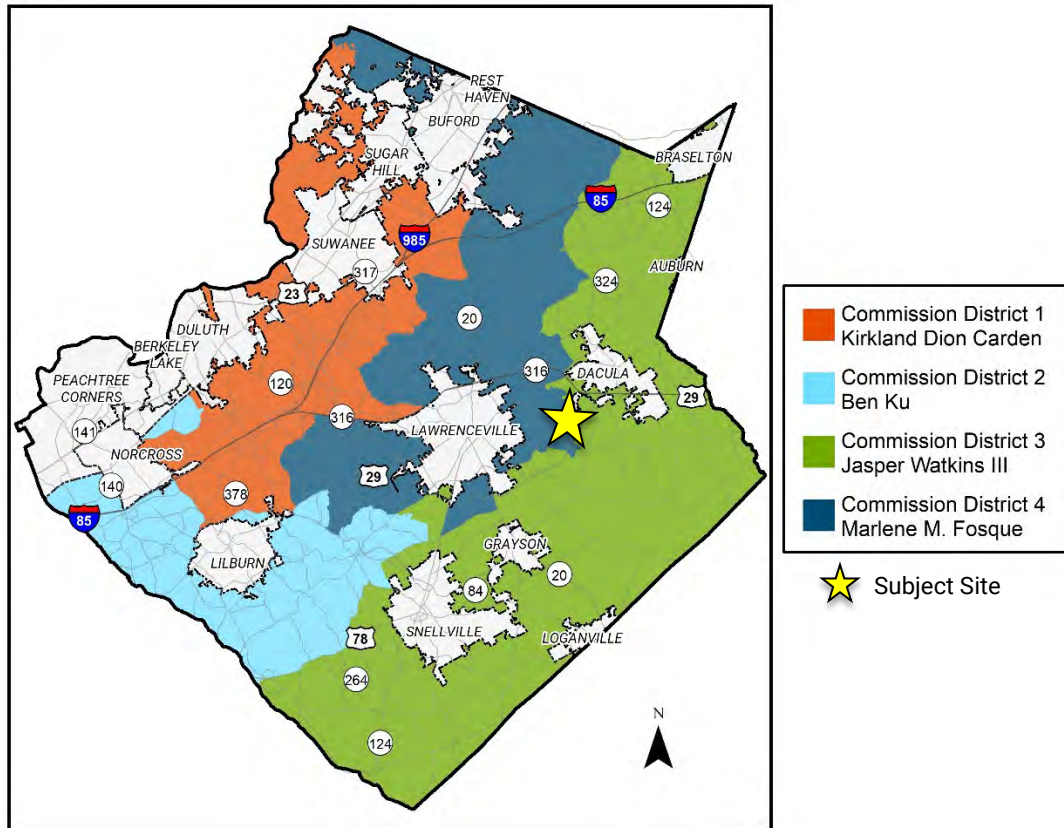


## PLANNING AND DEVELOPMENT DEPARTMENT CASE REPORT

**Case Number:** RZR2021-00030  
**Current Zoning:** R1400CSO (City of Dacula)  
**Request:** Rezoning to **OSC** (Open Space Conservation District)  
**Address:** 1400 Block of Alcovy Road  
**Map Numbers:** R5236 001 portion  
**Site Area:** 13.61 acres  
**Units:** 24  
**Proposed Development:** Single-Family Conservation Subdivision  
**Commission District:** District 3- Commissioner Watkins  
**Character Area:** N/A (City of Dacula)

**Staff Recommendation:** **APPROVAL WITH CONDITIONS**

**Planning Commission Recommendation:** **APPROVAL WITH CONDITIONS**



Location Map

**Planning Commission Advertised Public Hearing Date: 8/2/2021**  
**Board of Commissioners Advertised Public Hearing Date: 8/24/2021**

**Applicant:** Taylor Morrison of GA, LLC c/o  
Mahaffey Pickens Tucker, LLP  
1550 North Brown Road, Ste. 125  
Lawrenceville, GA 30043

**Owner:** The Labri Group, LP &  
Randall Keith Powell  
11 Lumpkin Street  
Lawrenceville, GA 30046

**Contact:** Shane Lanham

**Contact Phone:** 770.232.0000

## **Zoning History**

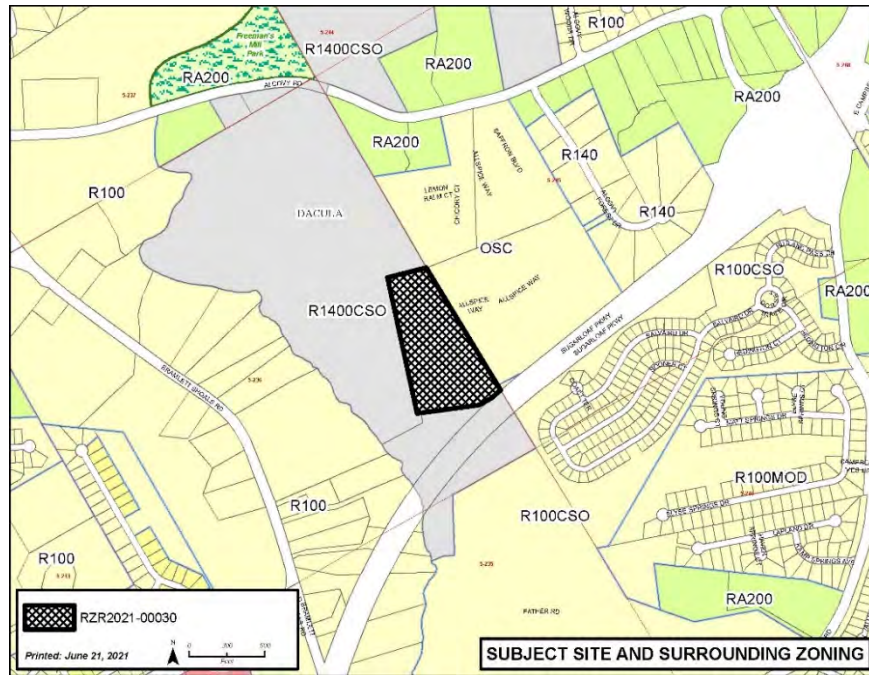
The subject property is zoned R1400CSO (City of Dacula) and is in the process of being deannexed into unincorporated Gwinnett County. In July 2005, the parcel was rezoned from RA-200 to R-100 CSO, pursuant to RZR2005-00025 for a single-family conservation subdivision. This parcel was proposed to be annexed into the City of Dacula in 2006 pursuant to ANX2006-0000,1 but was withdrawn. Later in 2006, the parcel was annexed into the City of Dacula and rezoned from R-100SCO to R-1400CSO.

## **Existing Site Condition**

The subject site is a 13.61-acre portion of a 87.06 acre-parcel stretching from Alcovy Road to Sugarloaf Parkway near Bramlett Shoals Road. On the northern side of Alcovy Road is Freeman's Mill Park and the Alcovy River. The river proceeds to run south into the parcel. The property is undeveloped and currently located in incorporated Dacula. The site plan indicates a small portion of the property lies within a floodplain. The parcel is located south of the Alcovy Baptist Church (and cemetery), one of the oldest churches in Gwinnett County built in 1868. The site is heavily wooded and is encumbered by steep slopes and stream buffers.

## **Surrounding Use and Zoning**

The surrounding area is developed as single-family detached residential. This proposed OSC development will tie in to an adjacent OSC community Alcovy Forest, which was approved in 2019 to OSC pursuant to RZR2019-00014. Many of the properties along Alcovy Road have been developed as low-density subdivisions and the area features residential development on large tracts. The following is a summary of surrounding uses and zoning:



Surrounding Zoning

Location	Land Use	Zoning	Density
Proposed	Single-Family Residential	OSC	1.76 units per acre
North	Vacant	R1400CSO (Dacula)	N/A
East	Single-Family Residential	OSC	2.43 units per acre
South	Vacant	R1400CSO (Dacula)	N/A
West	Vacant	R1400CSO (Dacula)	N/A

## Project Summary

The applicant requests rezoning of a 13.61-acre site from R1400OSC (Dacula) to OSC (Open Space Conservation District). The proposed development is related to a current deannexation (ANX2021-00009) from the City of Dacula. According to the applicant, the property was deannexed from the City of Dacula since it is only accessible from unincorporated Gwinnett County. The rezoning request is to construct a single-family detached subdivision development, including:

- A total of 24 lots with an overall density of 1.76 units per acre.
- A minimum heated floor area of 1,400 square feet.
- This proposed development will be an extension of the adjacent OSC development of Alcovy Forest which was approved for a rezoning to OSC in 2019.
- Double-car garages.

## Zoning and Development Standards

The applicant is requesting rezoning to the OSC, Open Space Conservation District. The following is a summary of applicable development standards from the Unified Development Ordinance (UDO):

Standard	Required	Proposed	Meets Standard?
Building Height	Maximum 35'	35'	Yes
Front Yard Setback	Minimum 25'	25'	Yes
Side Yard Setback	Minimum 7.5'	7.5'	Yes
Rear Yard Setback	Minimum 30'	30'	Yes
Off-Street Parking	Minimum: 48 spaces Maximum: 144 spaces	48 spaces	Yes
Heated Floor Area	Minimum 1,400 square feet	1,400 square feet	Yes
Common Area	Minimum 20%	25%	Yes
Minimum Parcel Area	10 acres	13.61 acres	Yes
Minimum Conservation Space	Minimum: 3.4 acres	3.4 acres	Yes
Primary Conservation Space	Minimum: 0.51 acres	4.11 acres	Yes

### Internal and External Agency Review

In addition to these Development Standards, the applicant must meet all other UDO requirements related to infrastructure improvements. Internal and External agency review comments are attached (Exhibit E). Standard site and infrastructure improvements will also be required related to transportation, stormwater, water, and sewer utilities. Recommended improvements not already required by the UDO have been added as staff recommended conditions.

### Staff Analysis

**Rezoning Request Analysis:** According to the UDO, if a proposed amendment is for the rezoning of property and involves a change in zoning classification the Department shall evaluate the request and make a recommendation with respect to the standards governing exercise of zoning power as defined in Section 270-20.5. After this evaluation, staff makes the following findings based on the standards from the UDO:

**A. Whether a proposed zoning will permit a use that is suitable in view of the use and development of adjacent and nearby property.**

The site is surrounded by residentially zoned single-family detached developments. The development will connect to a similar OSC development approved in 2019. The proposed request, to allow for 24 single-family detached homes to join the adjacent OSC development, would be suitable.

**B. Whether a proposed rezoning will adversely affect the existing use or usability of adjacent or nearby property.**

The existing use and usability of adjacent or nearby properties would not be adversely impacted by the zoning change. With the recommended conditions placed on the property, nearby and adjacent properties would be minimally impacted.

**C. Whether the property to be affected by a proposed rezoning has a reasonable economic use as currently zoned.**

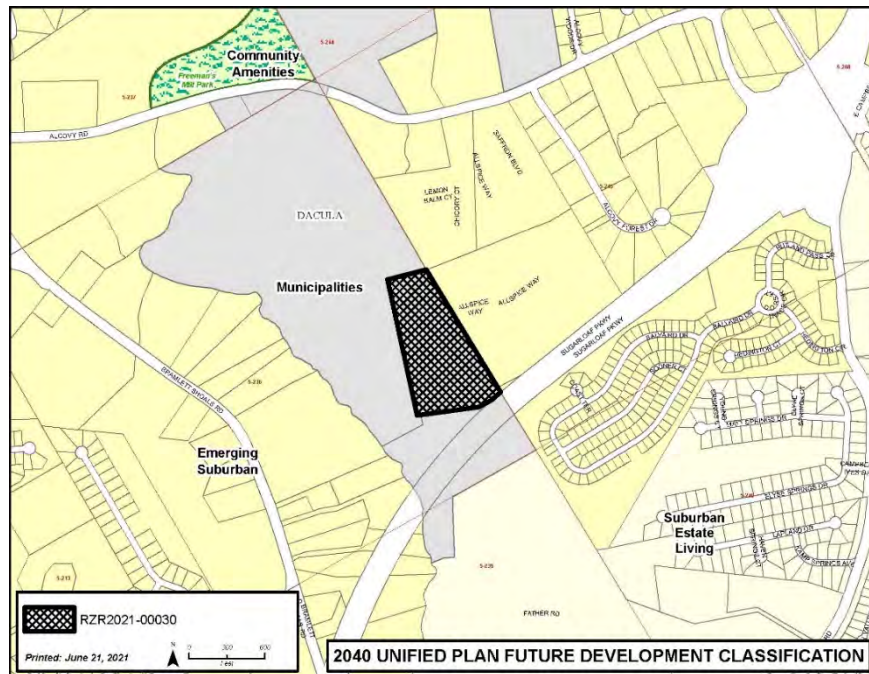
The property has a reasonable economic use. Many of the properties in the vicinity have a similar zoning designation and/or development pattern.

**D. Whether the proposed rezoning will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

An increase in impacts on public facilities would be anticipated in the form of traffic, utility demand, stormwater runoff, and school enrollment. However, with appropriate conditions and site development requirements utility impacts would be mitigated. Agency review comments related to any potential improvements, related to this request, are attached (Exhibit E).

**E. Whether the proposed rezoning is in conformity with the policy and intent of the Unified Plan and Future Development Map; and**

The 2040 Unified Plan Future Development Map indicates the subject property is surrounded by the Emerging Suburban Character Area. If included in this character area, the proposed single-family detached development, containing 24 homes, would be appropriate.



*Surrounding Future Land Use*

**F. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning.**

The surrounding area is developed with single-family detached lots within subdivisions and homes on large lots. The proposed development would be consistent with the existing zoning pattern and adjacent OSC development.

## **Staff Recommendation**

Based on the staff's evaluation of the request and the standards governing exercise of zoning power, the Department of Planning and Development recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

## **Planning Commission Recommendation**

Based on the staff's evaluation of the rezoning application, information presented during the public hearing, and the Planning Commission's consideration of the standards governing the exercise of zoning power related to this application, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of the rezoning request.

## **Planning Commission Recommended Conditions (includes Staff Recommended Conditions, as Amended)**

Approval as OSC (Open Space Conservation District), subject to the following conditions:

1. The property shall be limited to single-family detached dwellings and accessory uses and structures, not to exceed 24 lots.
2. The site shall be developed in general accordance with the Exhibit B: Site Plan received by Planning and Development on June 3, 2021.
3. Homes shall be constructed with front ~~and side~~ façades primarily of brick and/or stacked stone. The balance of the home may be the same or of cedar or fiber-cement siding or shake with a minimum two-foot-high brick or stacked stone water table.
4. All dwellings shall have at least a double-car garage.
5. Common area shall be provided in general accordance with the submitted rezoning exhibit. Design and location shall be subject to the review and approval by the Director of Planning and Development.
6. Natural vegetation shall remain on the property until the issuance of a subdivision development permit.
7. **The minimum heated floor area per dwelling unit shall be 2,000 square feet.**

**Exhibits:**

- A. Site Visit Photos
- B. Site Plan
- C. Building Elevations
- D. Letter of Intent and Applicant's Response to Standards
- E. Internal and External Agency Review Comments
- F. Maps

**Exhibit A: Site Visit Photos**



**Proposed Site from Sugarloaf Parkway**



**Proposed Site Along Sugarloaf Parkway**



**Exhibit B: Site Plan**  
**[attached]**



LOCATION MAP - 1" = 1000'

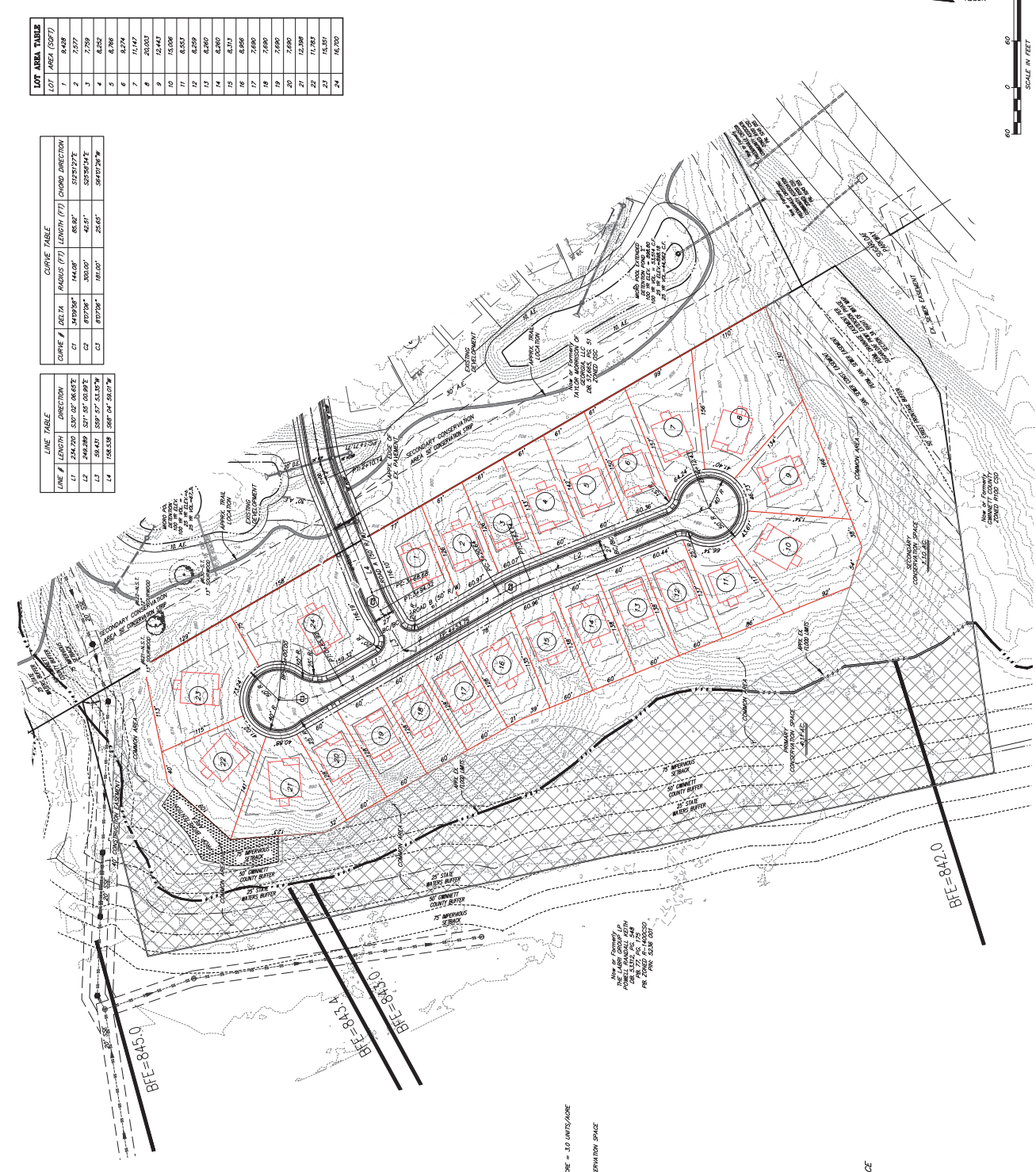
**GENERAL SITE NOTES:**  
 1. TOTAL NET AREA = 8.4 ACRES  
 2. OWNER: THE LAMB GROUP LP  
 3. 24-HOUR CONVENIENCE STORE  
 4. 24-HOUR PHARMACY  
 5. EXISTING TRAIL  
 6. EXISTING TRAIL  
 7. EXISTING TRAIL  
 8. MIN. LOT SIZE = 1,400 S.F.  
 9. MIN. WALKED FLOOR = 1,400 S.F.  
 10. MIN. LOT SIZE = 2,500 S.F.  
 11. MIN. WALKED FLOOR = 2,500 S.F.  
 12. TOTAL COMMON AREA PROVIDED = 6.28 ACRES  
 13. DENSITY = 1.0 UNITS/ACRE  
 14. PROPOSED NUMBER OF LOTS = 24  
 15. PROPOSED NUMBER OF UNITS = 24  
 16. PROPOSED NUMBER OF UNITS = 24  
 17. PROPOSED NUMBER OF UNITS = 24  
 18. PROPOSED NUMBER OF UNITS = 24  
 19. PROPOSED NUMBER OF UNITS = 24  
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 26. PROPOSED NUMBER OF UNITS = 24  
 27. PROPOSED NUMBER OF UNITS = 24  
 28. PROPOSED NUMBER OF UNITS = 24

**OWNER CERTIFICATION:**  
 I HEREBY CERTIFY THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
 \_\_\_\_\_  
 PROJECT MANAGER

**Parking Calculations:**  
 241 Cars & 2 Heavy parking spaces = 48  
 Total parking spaces = 96

**PRIMARY CONSERVATION SPACE**

**SECONDARY CONSERVATION SPACE**



LOT #	AREA (SQ FT)
1	8,459
2	7,577
3	7,577
4	8,252
5	8,252
6	8,252
7	11,147
8	20,032
9	12,443
10	15,008
11	8,557
12	8,557
13	8,557
14	8,557
15	8,557
16	8,557
17	7,055
18	7,055
19	7,055
20	7,055
21	12,308
22	11,782
23	15,351
24	16,700

LINE TABLE		CURVE TABLE	
LINE #	LENGTH	RADIUS (FT)	CHORD DIRECTION
L1	248.200	537.07	68.83°
L2	496.399	537.07	68.83°
L3	584.471	537.07	68.83°
L4	768.539	537.07	68.83°

CURVE #	DELTA	RADIUS (FT)	CHORD DIRECTION
C1	147.934°	140.81'	68.83°
C2	89.726°	103.00'	42.51°
C3	89.726°	103.00'	25.65°



**Exhibit C: Building Elevations**

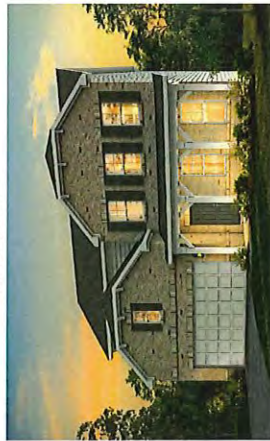
**[attached]**

inspired by you™

The Atwood | 4 Bedrooms | 2.5 Bathrooms | Flex | 2-Car Garage | 2,696 - 2,732 Sq. Ft.



ELEVATION D



ELEVATION E



ELEVATION F



ELEVATION F

inspired by you®

The Prescott | 4 Bedrooms | 2.5 Bathrooms | Flex | 2-Car Garage | 2,486 - 2,500 Sq. Ft.



ELEVATION D



ELEVATION E



ELEVATION F



ELEVATION F



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inspired by you®

The Sheridan | 5 Bedrooms | 4 Bathrooms | Loft | 2-Car Garage | 3,236 - 3,265 Sq. Ft.



ELEVATION E



ELEVATION G



ELEVATION H



ELEVATION H

Information provided, but not limited to, prices, availability, inventory, future plans, locations, size, price, materials and dimensions. Subject to change without notice. Make an appointment to view the home. Community amenities, merchandise, furniture and other items are based upon current development plans, which are subject to change. See Taylor Morrison's Website for more information. © 2021 Taylor Morrison Homes, LLC. All rights reserved.



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**GWINNETT COUNTY**

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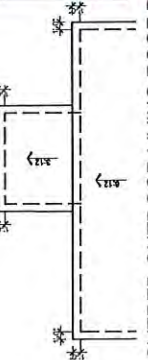
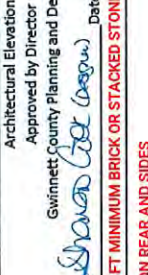
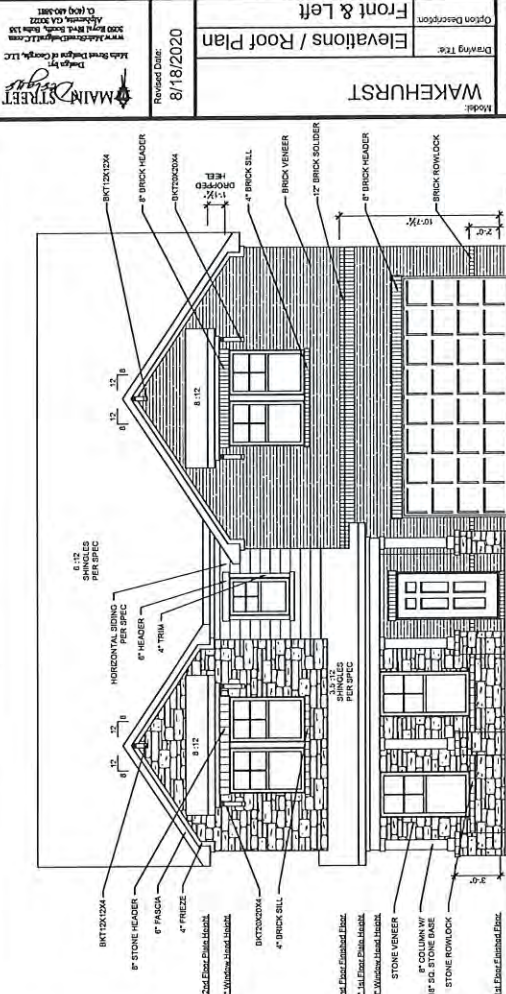
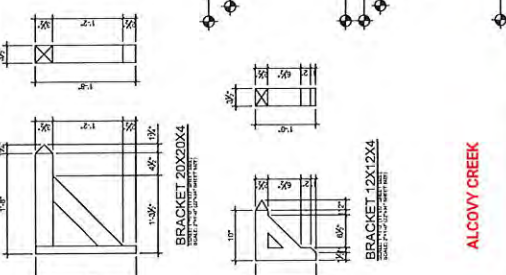
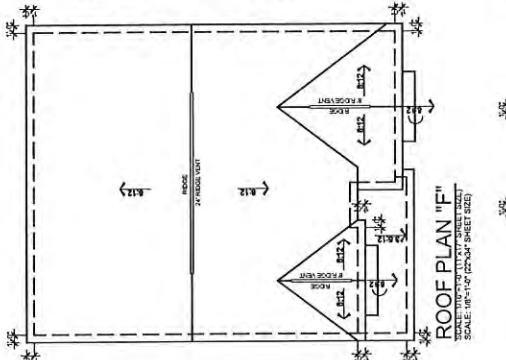
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<b>ATTIC VENTILATION</b>	<b>ROOF "F"</b>
18" x 30" FT UNDER ROOF	18" x 30" FT UNDER ROOF
SOFFIT VENT = 6.00 SQ FT VENTILATION	SOFFIT VENT = 6.00 SQ FT VENTILATION
BOX VENTS 2 @ 30" N x 14" (2 @ 50 FT)	SOFFIT VENTS 2 @ 30" N x 14" (2 @ 50 FT)
6.00 SQ FT x 50% = 3.00 SQ FT OF ROOF	6.00 SQ FT x 50% = 3.00 SQ FT OF ROOF
3.00 SQ FT x 14" = 42.00 SQ FT OF SOFFIT	3.00 SQ FT x 14" = 42.00 SQ FT OF SOFFIT
ROOF VENT = 24.2 FEET OF ROOF VENT	ROOF VENT = 24.2 FEET OF ROOF VENT
SOFFIT VENT = 42.00 SQ FT	SOFFIT VENT = 42.00 SQ FT
3.00 SQ FT x 14" = 42.00 SQ FT	3.00 SQ FT x 14" = 42.00 SQ FT
ACTUAL ROOF VENT PROVIDED = 40 FEET	ACTUAL ROOF VENT PROVIDED = 40 FEET
ACTUAL SOFFIT VENT PROVIDED = 42 FEET	ACTUAL SOFFIT VENT PROVIDED = 42 FEET
REG. (ACTUAL = 82)	REG. (ACTUAL = 82)

<b>PORCH ROOF "F"</b>	<b>COVID OUTDOOR LIVING ROOF</b>
18" x 30" FT UNDER ROOF	18" x 30" FT UNDER ROOF
SOFFIT VENT = 6.00 SQ FT VENTILATION	SOFFIT VENT = 6.00 SQ FT VENTILATION
BOX VENTS 2 @ 30" N x 14" (2 @ 50 FT)	SOFFIT VENTS 2 @ 30" N x 14" (2 @ 50 FT)
6.00 SQ FT x 50% = 3.00 SQ FT OF ROOF	6.00 SQ FT x 50% = 3.00 SQ FT OF ROOF
3.00 SQ FT x 14" = 42.00 SQ FT OF SOFFIT	3.00 SQ FT x 14" = 42.00 SQ FT OF SOFFIT
ROOF VENT = 24.2 FEET OF ROOF VENT	ROOF VENT = 24.2 FEET OF ROOF VENT
SOFFIT VENT = 42.00 SQ FT	SOFFIT VENT = 42.00 SQ FT
3.00 SQ FT x 14" = 42.00 SQ FT	3.00 SQ FT x 14" = 42.00 SQ FT
ACTUAL ROOF VENT PROVIDED = 40 FEET	ACTUAL ROOF VENT PROVIDED = 40 FEET
ACTUAL SOFFIT VENT PROVIDED = 42 FEET	ACTUAL SOFFIT VENT PROVIDED = 42 FEET
REG. (ACTUAL = 82)	REG. (ACTUAL = 82)



<b>OPTIONAL COVERED OUTDOOR LIVING LEFT ELEVATION</b>
SCALE: 1/8" = 1'-0" (20'-0" SHEET SIZE)

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Lee (Sign)* Date: 10-21-2020  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**

**ALCOVY CREEK**

Plan Name: WAKEHURST  
Division: Atlanta  
Municipality: County  
Community:  
Lot Number:  
Scale: 1/8" = 1'-0" (20'-0" SHEET SIZE)  
Unless Otherwise Noted  
Sheet: A-3.0F

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600  
Taylor Morrison  
Homes Inspired by You

Model: WAKEHURST  
Drawing Title: Elevations / Roof Plan  
Revision Date: 8/18/2020  
Main Street  
Made Smart Building Group, LLC  
10000 Peachtree Dunwoody Road, Suite 100  
Atlanta, Georgia 30328  
Tel: 404-480-8811

### OPTIONAL COVERED OUTDOOR LIVING REAR ELEVATION

SCALE: 1/4" = 1'-0" (20'-0" SHEET SIZE)

### OPTIONAL COVERED OUTDOOR LIVING RIGHT ELEVATION

SCALE: 1/4" = 1'-0" (20'-0" SHEET SIZE)

### REAR ELEVATION "F"

SCALE: 1/4" = 1'-0" (20'-0" SHEET SIZE)

### RIGHT ELEVATION "F"

SCALE: 1/4" = 1'-0" (20'-0" SHEET SIZE)

<b>Model:</b> WAKEHURST	<b>Open Description:</b> Elevations	<b>Client:</b> Wakehurst (770) 945-3600	<b>Project:</b> 4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022
<b>Revision Date:</b> 8/18/2020	<b>Drawing Title:</b> Elevations	<b>Architect:</b> Taylor Morrison Homes Inspired by You	
<b>Project Address:</b> 4400 North Point Parkway Suite 295 Alpharetta, GA 30022		<b>City:</b> Atlanta	<b>County:</b> Wakehurst
<b>Scale:</b> 1/4" = 1'-0" (20'-0" SHEET SIZE)		<b>Sheet:</b> A-3.1F	

ALCOW CLUB

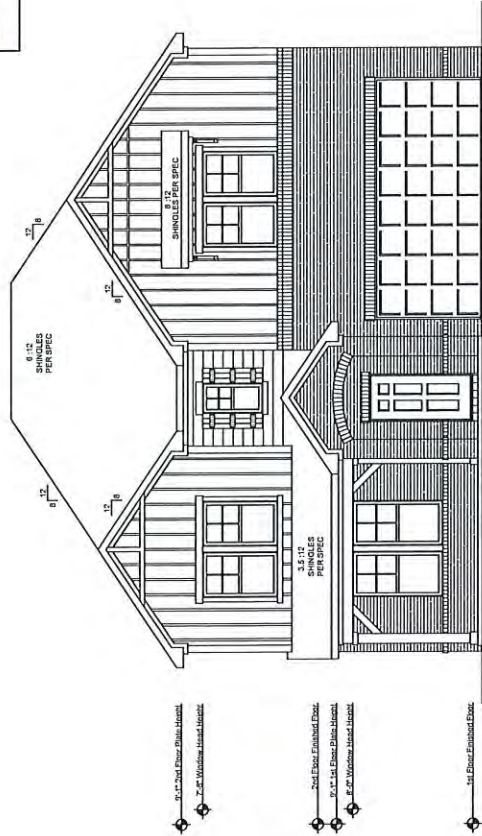
Architectural Elevation  
Approved by Director

Gwinnett County Planning and Development

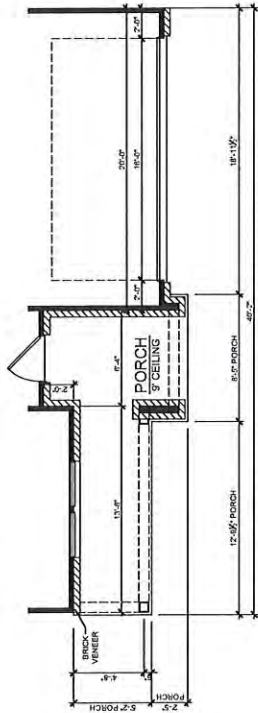
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Date

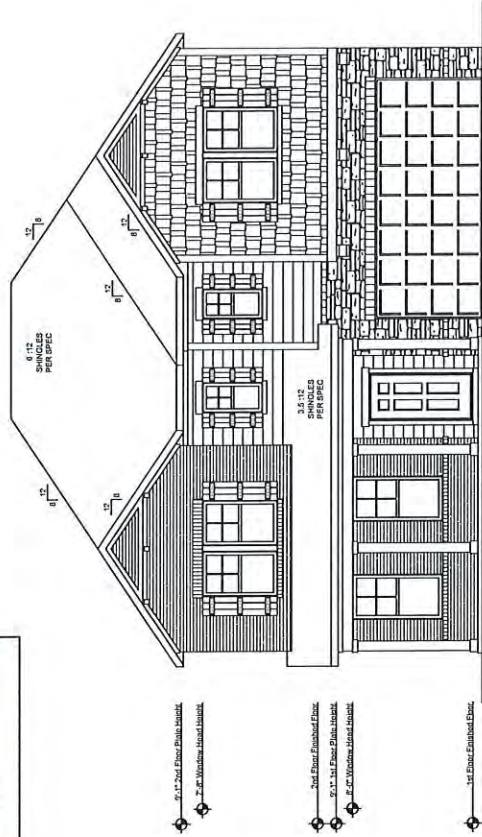
*Sharon Cole (owner)*



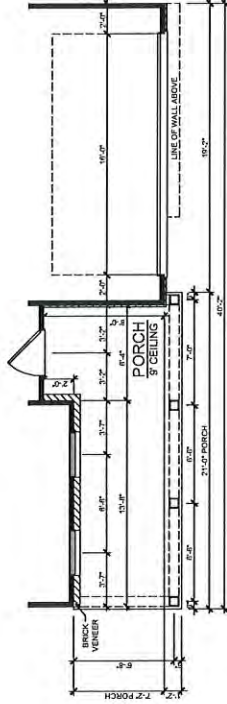
FRONT ELEVATION "G"  
SCALE: 1/4" = 1'-0" (1/2" x 34" SHEET SIZE)



1st FLOOR PARTIAL PLAN - ELEVATION "G"  
SCALE: 1/4" = 1'-0" (1/2" x 34" SHEET SIZE)



FRONT ELEVATION "H"  
SCALE: 1/4" = 1'-0" (1/2" x 34" SHEET SIZE)



1st FLOOR PARTIAL PLAN - ELEVATION "H"  
SCALE: 1/4" = 1'-0" (1/2" x 34" SHEET SIZE)

Main Street Designs of Georgia, LLC is a professional residential design firm. Because the design conditions may vary, Main Street Designs of Georgia, LLC cannot warrant the accuracy of these plans for any specific site. Construction of these plans should not be undertaken without the assistance of a construction professional.

3050 Royal Blvd., South Suite 135  
Alpharetta, GA 30022  
Ph: (404) 480-3181

40' - SHERIDAN PLAN Add. Elevations

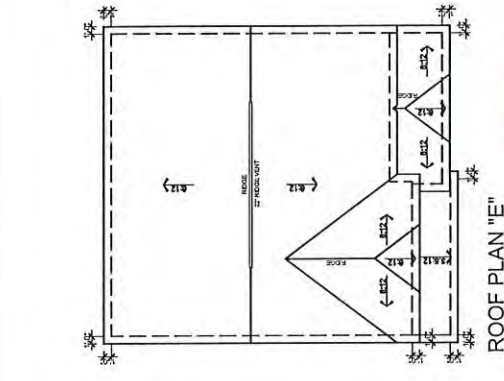


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TAYLOR MORRISON

December 2, 2020

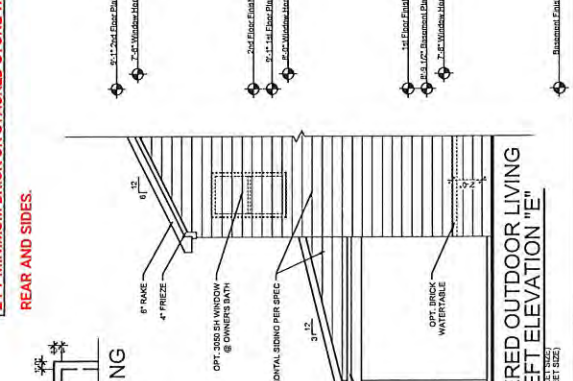
<p><b>ATTIC VENTILATION</b></p> <p><b>MAIN ROOF "E"</b></p> <p>150 SQ FT UNDER ROOF</p> <p>150 SQ FT VENTILATION</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>ROOF VENT</p> <p>1.15 30 FT</p> <p>2.00 50 FT</p> <p>4.11 FEET OF SOFFIT VENT</p> <p>3.00 50 FT</p> <p>ACTUAL ROOF VENT PROVIDED</p> <p>20 FEET</p> <p>NUMBER OF ROOF VENTS NEEDED (INCLUDE -0)</p> <p>0</p>	<p><b>GARAGE ROOF "E"</b></p> <p>178 SQ FT UNDER ROOF</p> <p>178 SQ FT VENTILATION</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>ROOF VENT</p> <p>1.15 30 FT</p> <p>2.00 50 FT</p> <p>4.11 FEET OF SOFFIT VENT</p> <p>3.00 50 FT</p> <p>ACTUAL ROOF VENT PROVIDED</p> <p>14 FEET</p> <p>NUMBER OF ROOF VENTS NEEDED (INCLUDE -0)</p> <p>0</p>	<p><b>PORCH ROOF "E"</b></p> <p>10 SQ FT UNDER ROOF</p> <p>10 SQ FT VENTILATION</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>ROOF VENT</p> <p>1.15 30 FT</p> <p>2.00 50 FT</p> <p>4.11 FEET OF SOFFIT VENT</p> <p>3.00 50 FT</p> <p>ACTUAL ROOF VENT PROVIDED</p> <p>20 FEET</p> <p>NUMBER OF ROOF VENTS NEEDED (INCLUDE -0)</p> <p>0</p>	<p><b>COVID OUTDOOR LIVING ROOF</b></p> <p>130 SQ FT UNDER ROOF</p> <p>130 SQ FT VENTILATION</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>ROOF VENTS 18 SQ IN x 1 (25 SQ FT)</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>5.14 50 FT x 50% 2.58 50 FT OF ROOF</p> <p>ROOF VENT</p> <p>1.15 30 FT</p> <p>2.00 50 FT</p> <p>4.11 FEET OF SOFFIT VENT</p> <p>3.00 50 FT</p> <p>ACTUAL ROOF VENT PROVIDED</p> <p>14 FEET</p> <p>NUMBER OF ROOF VENTS NEEDED (INCLUDE -0)</p> <p>0</p>
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**ALCOVY CREEK**

Architectural Elevation  
 Approved by Director  
 Gwinnett County Planning and Development  
*Sharon Cole (design)* Date **10-21-2020**

**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON REAR AND SIDES.**



<p>Model: <b>Alwood</b></p> <p>Drawing Title: <b>Elevations / Roof Plan</b></p> <p>Open Description: <b>Front &amp; Left</b></p>	<p>Address: <b>4400 North Point Parkway</b></p> <p>City: <b>Alpharetta, Georgia 30022</b></p> <p>Phone: <b>(770) 945-3600</b></p>	<p>Pin Name: <b>ATWOOD</b></p> <p>Division: <b>Atlanta</b></p> <p>Municipality: <b>County</b></p> <p>Community:</p> <p>Lot Number:</p> <p>Scale: <b>1/4" = 1'-0"</b></p> <p>Sheet: <b>A-3.0E</b></p>
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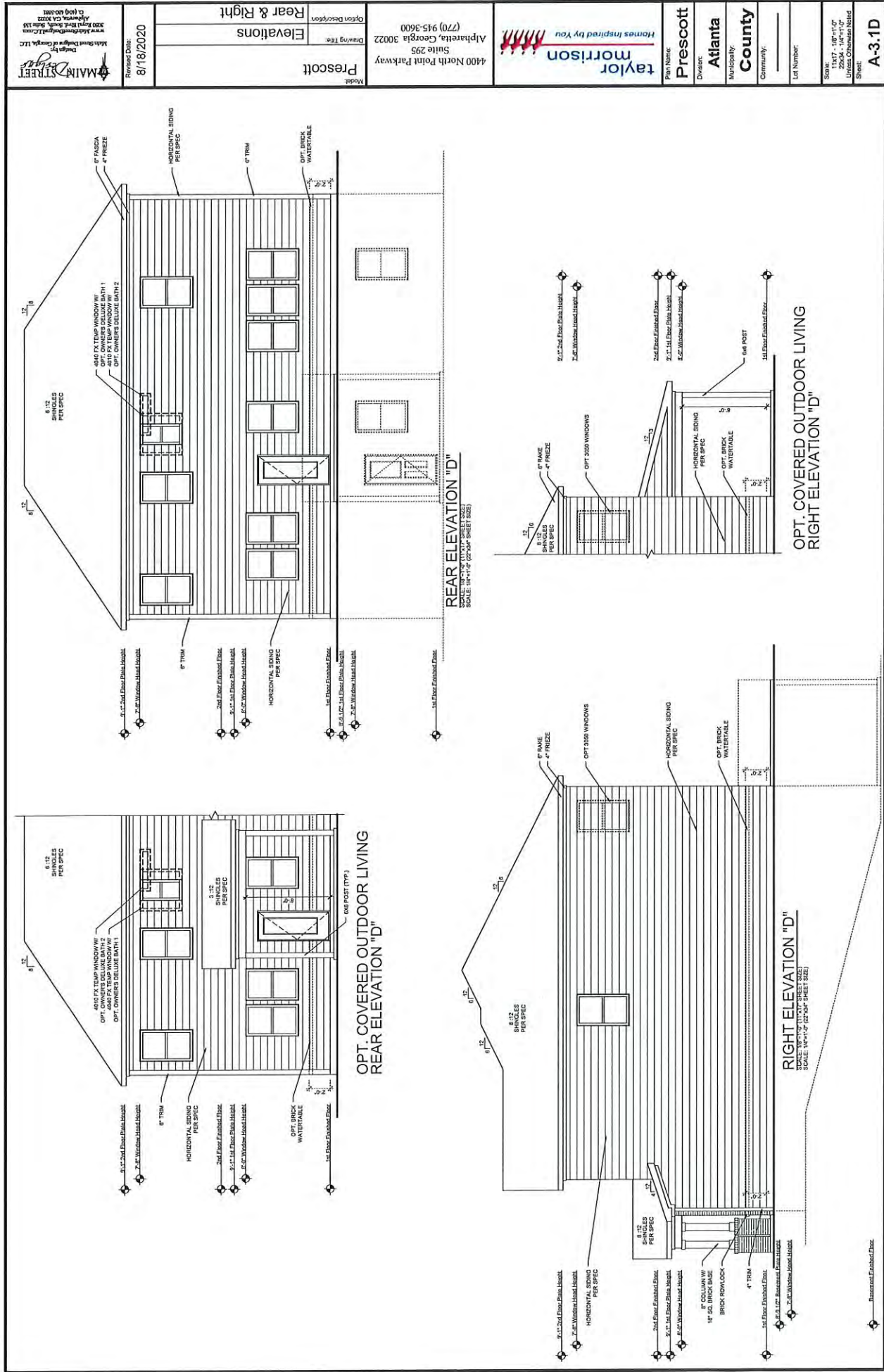
Revised Date: **8/18/2020**

Project Name: **MAIN STREET**

Address: **2020 Boyd Rd., Suite 100, Alpharetta, GA 30022**

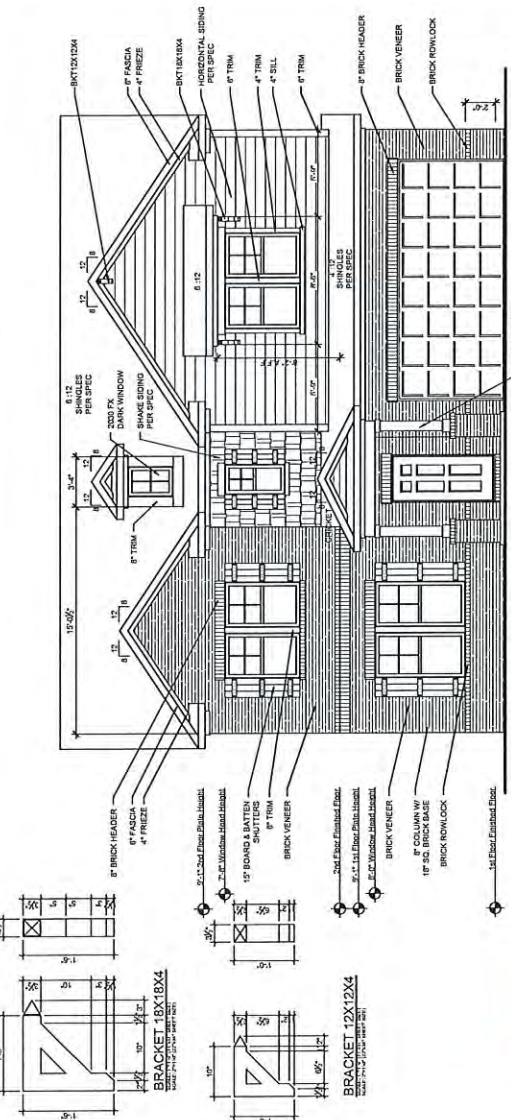
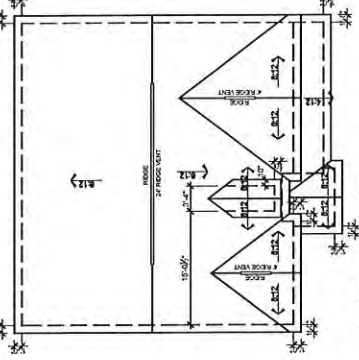
Architect: **Taylor Morrison**

Project: **Homes Inspired by You**



ATTIC VENTILATION	
ROOF VENT	29 FEET
SOFFIT VENT	14 FEET
ACTUAL ROOF VENT PROVIDED	29 FEET
ACTUAL SOFFIT VENT PROVIDED	14 FEET
<b>ROOF "E"</b> RIDGE VENTS 18 SQ IN + (132 SQ FT) RIDGE VENTS 20 SQ IN + (140 SQ FT) BOX VENTS 50 SQ IN + (147 SQ FT) 4.77 SQ FT x 50% = 2.385 SQ FT OF RIDGE 4.77 SQ FT x 50% = 2.385 SQ FT OF SOFFIT SOFFIT VENT = 19.1 FEET OF RIDGE VENT SOFFIT VENT = 38.1 FEET OF SOFFIT VENT 19.1 SQ FT + 38.1 SQ FT = 57.2 SQ FT 57.2 SQ FT + 147 SQ FT = 204.2 SQ FT ACTUAL ROOF VENT PROVIDED 29 FEET ACTUAL SOFFIT VENT PROVIDED 14 FEET NUMBER OF RIDGE VENTS NEEDED (NEGATIVE = 0) NUMBER OF SOFFIT VENTS NEEDED (NEGATIVE = 0)	
<b>PORCH ROOF "E"</b> SOFFIT VENTS 9 SQ IN + (602 SQ FT) ASSUME 100% VENTING @ SOFFIT SOFFIT VENT = 12.8 FEET OF SOFFIT VENT SOFFIT VENT = 25.6 FEET OF SOFFIT VENT ACTUAL SOFFIT VENT PROVIDED 14 FEET	

COVID OUTDOOR LIVING ROOF	
ROOF VENT	29 FEET
SOFFIT VENT	14 FEET
ACTUAL ROOF VENT PROVIDED	29 FEET
ACTUAL SOFFIT VENT PROVIDED	14 FEET




**ALCOVY CREEK**

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Lee* Date: **10-21-2020**

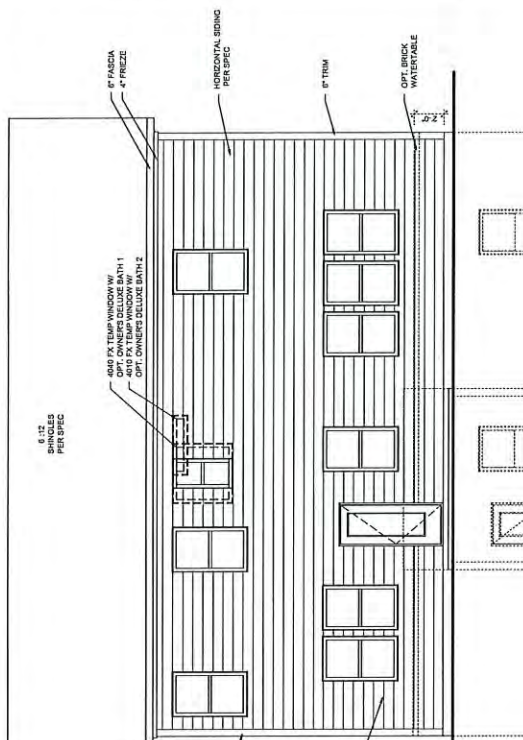
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON REAR AND SIDES**

<p>Taylor Morrison Homes Inspired by You</p>	<p>4400 North Point Parkway Suite 295 Alpharetta, Georgia 30022 (770) 945-3600</p>	<p>Project Name: Prescott Division: Atlanta Municipality: Gwinnett County Community: Lot Number: Scale: 1/8"=1'-0" (12"X18" SHEET SIZE) Linear Observations Scale: Sheet: A-3.0E</p>
<p>Model: Elevations / Roof Plan Drawing Title: Front &amp; Left Revision Date: 8/18/2020</p>	<p>13665 MAIN STREET Atlanta, Georgia 30322 3100 Boyd Road, Suite 130 Atlanta, Georgia 30322 Taylor Morrison Building of Georgia, LLC</p>	

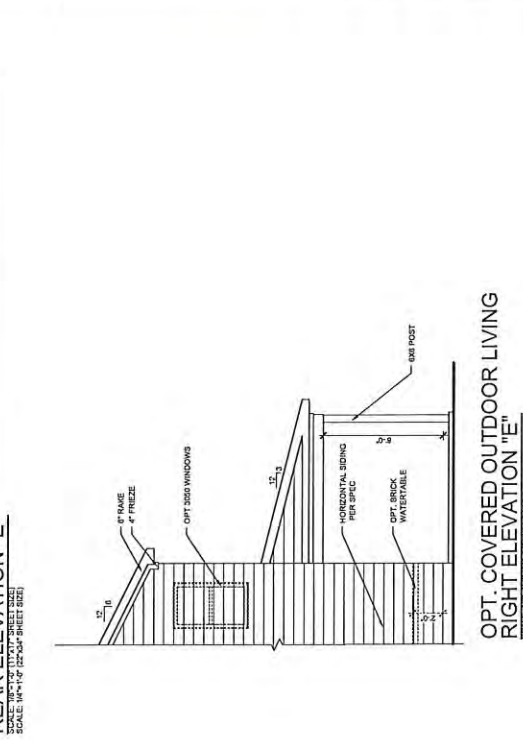


 <p><b>taylor morrison</b>          Homes Inspired by You</p>	<p>4400 North Point Parkway          Atlanta, Georgia 30022          (770) 945-3600</p>	<p>Model: Prescott          Drawing Title: Elevations          Option Description: Rear &amp; Right</p>	<p>Permit Name: Prescott          Division: Atlanta          Municipality: County          Community:          Lot Number:</p>	<p>Scale: 1/4" = 1'-0"          25/34" = 1'-0"          1/8" = 1'-0"          1/16" = 1'-0"          1/32" = 1'-0"          1/64" = 1'-0"</p>	<p><b>A-3.1E</b></p>
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**REAR ELEVATION "E"**  
 SCALE: 1/4" = 1'-0" (25/34" SHEET SIZE)



**RIGHT ELEVATION "E"**  
 SCALE: 1/4" = 1'-0" (25/34" SHEET SIZE)

<p><b>taylor morrison</b>          Homes Inspired by You</p>	<p>Project Name: <b>Prescott</b>          Division: <b>Atlanta</b>          Municipality: <b>Atlanta County</b>          Community: _____          Lot Number: _____</p>	<p>Model: <b>Prescott</b>          Drawing Title: <b>Elevations / Roof Plan</b>          Drawing Date: <b>8/18/2020</b></p>	<p>Address: <b>4400 North Point Parkway</b>          Suite 295          Alpharetta, Georgia 30022          Phone: (770) 945-3600</p>	<p>Scale: 1/4" = 1'-0"          1/8" = 1'-0"          1/16" = 1'-0"          Unless Otherwise Noted          Sheet: <b>A-3.0F</b></p>
--	--	---	--	---

**FRONT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**LEFT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**REAR ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**LEFT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**ROOF PLAN "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**OPT. COVERED OUTDOOR LIVING ROOF PLAN "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**OPT. COVERED OUTDOOR LIVING LEFT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**OPT. COVERED OUTDOOR LIVING LEFT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (24" X 36" SHEET SIZE)

**ATTIC VENTILATION ROOF "F"**

144" SQ FT LIVING ROOF  
 RIDGE VENTS 18 SQ IN (1.33 SQ FT)  
 BOX VENTS 20 SQ IN (1.44 SQ FT)  
 4.81 SQ FT x 50% = 2.405 SQ FT OF RIDGE  
 2.405 SQ FT + 2.405 SQ FT OF SOFFIT  
 4.81 SQ FT x 50% = 2.405 SQ FT OF RIDGE  
 2.405 SQ FT + 2.405 SQ FT OF SOFFIT  
 4.81 SQ FT

ACTUAL RIDGE VENT PROVIDED: 18 FEET  
 NUMBER OF BOX VENTS NEEDED: 0.4 COUNT  
 (RHS-ADJUS-SOFT)

**PORCH ROOF "F"**

102 SQ FT LIVING ROOF  
 SOFFIT VENTS 9 SQ IN (0.625 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT

SOFFIT VENT: 128 FEET OF SOFFIT VENT  
 TUBES: 32 FT

ACTUAL SOFFIT VENT PROVIDED: 4 FEET

**COVID OUTDOOR LIVING ROOF**

102 SQ FT LIVING ROOF  
 SOFFIT VENTS 9 SQ IN (0.625 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT

SOFFIT VENT: 128 FEET OF SOFFIT VENT  
 TUBES: 32 FT

ACTUAL SOFFIT VENT PROVIDED: 14 FEET

**ALCOVY CREEK**

Architectural Elevation  
 Approved by Director  
 Gwinnett County Planning and Development  
 10-21-2020  
 2 FT MINIMUM BRICK OR STACKED STONE ON WATER TABLE  
 ON REAR AND SIDES

**REAR ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (25'-0" SHEET SIZE)

**RIGHT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (25'-0" SHEET SIZE)

**REAR ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (25'-0" SHEET SIZE)

**RIGHT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (25'-0" SHEET SIZE)

**REAR ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (25'-0" SHEET SIZE)

**RIGHT ELEVATION "F"**  
 SCALE: 1/4" = 1'-0" (25'-0" SHEET SIZE)

Model: Prescott  
 Drawing Title: Elevations  
 Open Description: Rear & Right

4400 North Point Parkway  
 Suite 295  
 Alpharetta, Georgia 30022  
 (770) 945-3600

**taylor morrison**  
 Homes Inspired by You

Plan Name: Prescott  
 Division: Atlanta  
 Municipality: County  
 Community:  
 Lot Number:  
 Scale: 1/4" = 1'-0" (25'-0" SHEET SIZE)  
 Sheet: A-3.1F

Revised Date: 8/18/2020  
 3000 Peachtree Dunwoody Rd, Suite 130  
 Atlanta, GA 30328  
 404.487.2000  
 taylor@taylor-morrison.com

**ROOF PLAN 'D'**  
SCALE: 1/8" = 1'-0" (PER PLAN SHEET SIZE)

**FRONT ELEVATION 'D'**  
SCALE: 1/8" = 1'-0" (PER PLAN SHEET SIZE)

**LEFT ELEVATION 'D'**  
SCALE: 1/8" = 1'-0" (PER PLAN SHEET SIZE)

**COVERED OUTDOOR LIVING ROOF PLAN**  
SCALE: 1/8" = 1'-0" (PER PLAN SHEET SIZE)

**OPTIONAL COVERED OUTDOOR LIVING LEFT ELEVATION**  
SCALE: 1/8" = 1'-0" (PER PLAN SHEET SIZE)

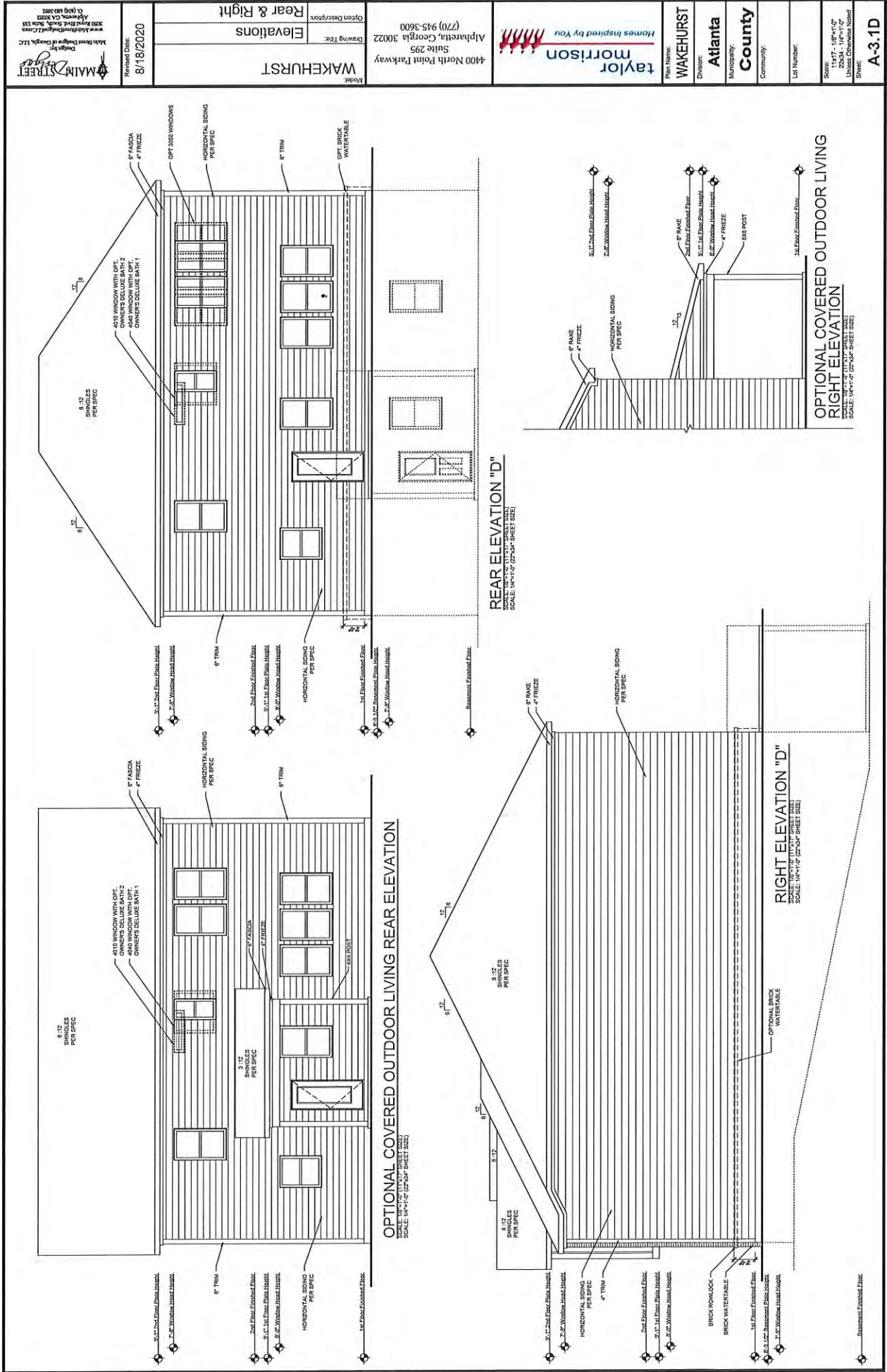
<b>ATTIC VENTILATION</b> ROOF 'D' 180 SQ FT SOFFIT VENT * 0.11 = 19.8 SQ FT VENTILATION 180 SQ FT ROOF * 0.01 = 1.8 SQ FT VENTILATION 200 SQ FT GABLE ROOF * 0.01 = 2.0 SQ FT VENTILATION TOTAL VENTS 19 SQ FT * 0.08 = 1.52 SQ FT	<b>PORCH ROOF 'D'</b> 100 SQ FT ROOF * 0.01 = 1.0 SQ FT VENTILATION 100 SQ FT SOFFIT * 0.01 = 1.0 SQ FT VENTILATION TOTAL VENTS 2.0 SQ FT * 0.05 = 0.10 SQ FT VENTILATION TOTAL VENTS 1.62 SQ FT * 0.05 = 0.081 SQ FT VENTILATION TOTAL VENTS 1.52 SQ FT * 0.05 = 0.076 SQ FT VENTILATION
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**ACTUAL SOFFIT VENT PROVIDED: 23 FEET**  
**ACTUAL SOFFIT VENT PROVIDED: 14 FEET**

**2.5 FT MINIMUM BRICK OR STACKED STON WATER TABLE ON REAR AND SIDES**

**ALCOVY CREEK**  
Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
Sharon Cole (Assoc.) Date: 10-21-2020  
2.5 FT MINIMUM BRICK OR STACKED STON WATER TABLE ON REAR AND SIDES





<p>Model: WAKEHURST</p> <p>Drawing Title: Elevations</p> <p>Open Description: Rear &amp; Right</p>	<p>Revised Date: 8/18/2020</p> <p>4100 North Point Parkway Suite 295 Atlanta, Georgia 30022 (770) 945-3600</p>	<p>Division: WAKEHURST</p> <p>City: Atlanta</p> <p>County: DeKalb</p> <p>Lot Number:</p>
--	--	--

**taylor morrison**  
 Homes Inspired by You  
 Wakehurst  
 Atlanta  
 DeKalb County  
 A-3.1D

ATTIC VENTILATION ROOF "E"	
100' SOFT VENT	100' SOFT VENT
300' SOFT VENT	300' VENTILATION
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT

PORCH ROOF "E"	
100' SOFT VENT	100' SOFT VENT
300' SOFT VENT	300' VENTILATION
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT

COVERED OUTDOOR LIVING ROOF	
100' SOFT VENT	100' SOFT VENT
300' SOFT VENT	300' VENTILATION
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT

OPTIONAL COVERED OUTDOOR LIVING LEFT ELEVATION	
100' SOFT VENT	100' SOFT VENT
300' SOFT VENT	300' VENTILATION
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT
150' SOFT VENT	150' SOFT VENT

**WAKEHURST**

Model: Elevations / Roof Plan

Client: Wakehurst

Address: 4400 North Point Parkway, Suite 295, Alpharetta, Georgia 30022

Phone: (770) 945-3600

Architect: Taylor Morrison

Project Name: Wakehurst

Division: Atlanta

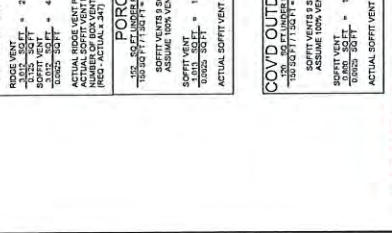
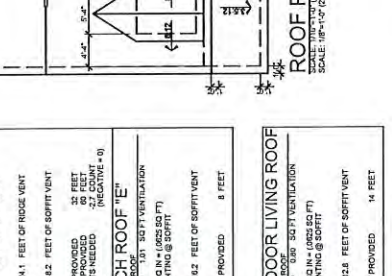
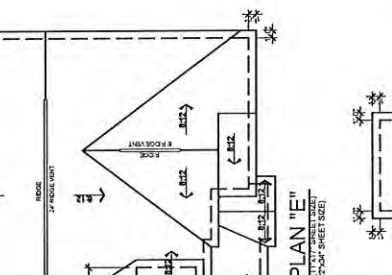
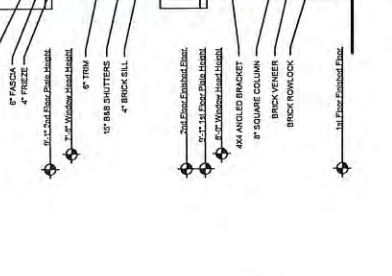
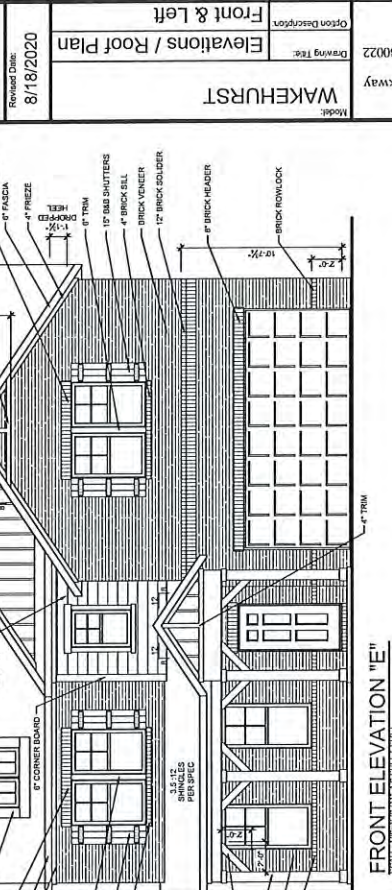
Municipality: Atlanta

Community: Wakehurst

Let Number: Wakehurst

Scale: 1/4" = 1'-0" (1/4" = 1'-0" Unless Otherwise Noted)

Sheet: A-3.0E



**ALCOVY CREEK**

Architectural Elevation  
 Approved by Director  
 Gwinnett County Planning and Development

*Shane Lee* (Signature)  
 Date: 10-21-2020

**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON REAR AND SIDES**

**WAKEHURST**

Model: Elevations / Roof Plan

Client: Wakehurst

Address: 4400 North Point Parkway, Suite 295, Alpharetta, Georgia 30022

Phone: (770) 945-3600

Architect: Taylor Morrison

Project Name: Wakehurst

Division: Atlanta

Municipality: Atlanta

Community: Wakehurst

Let Number: Wakehurst

Scale: 1/4" = 1'-0" (1/4" = 1'-0" Unless Otherwise Noted)

Sheet: A-3.0E

**FRONT ELEVATION "E"**  
 SCALE: 1/4" = 1'-0" (1/4" = 1'-0" SHEET SIZE)

**LEFT ELEVATION "E"**  
 SCALE: 1/4" = 1'-0" (1/4" = 1'-0" SHEET SIZE)

**ROOF PLAN "E"**  
 SCALE: 1/4" = 1'-0" (1/4" = 1'-0" SHEET SIZE)

**COVERED OUTDOOR LIVING ROOF PLAN**  
 SCALE: 1/4" = 1'-0" (1/4" = 1'-0" SHEET SIZE)

**OPTIONAL COVERED OUTDOOR LIVING LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0" (1/4" = 1'-0" SHEET SIZE)

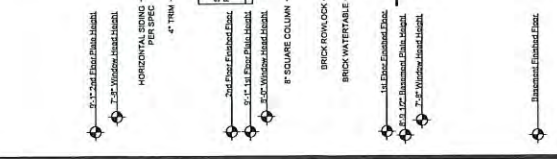
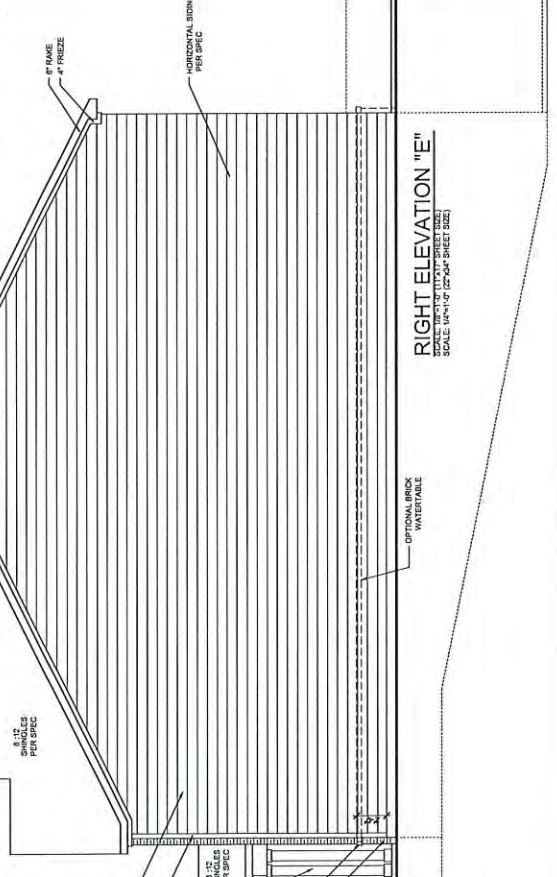
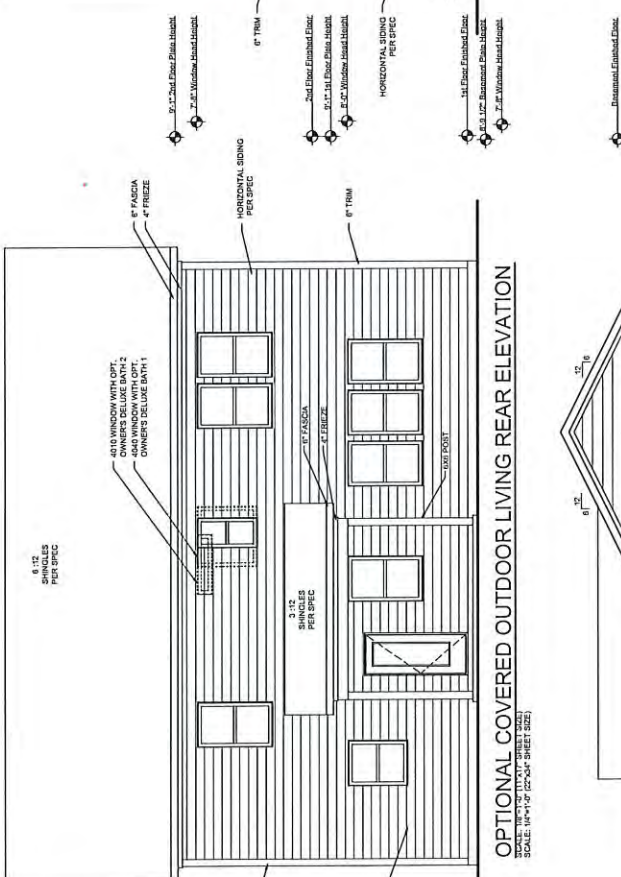
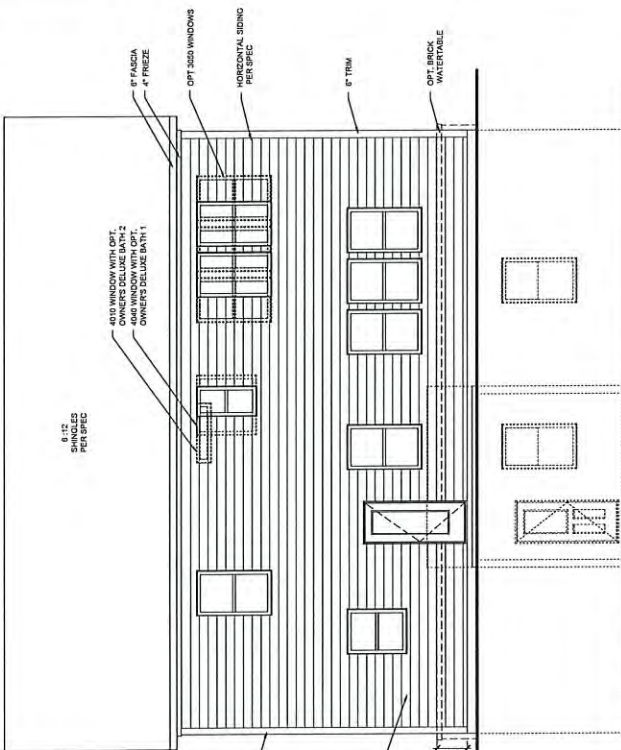
**MAYN STREET**  
3000 Peachtree Corners  
Atlanta, GA 30029  
Tel: (770) 457-5888

Model: WAKEHURST  
Drawing Title: Elevations  
Open Description: Rear & Right Elevations  
Address: 4400 North Point Parkway, Suite 295, Alpharetta, Georgia 30022  
Phone: (770) 945-3600

**taylor morrison**  
Homes Inspired by You

Project Name: WAKEHURST  
Division: Atlanta  
Municipality: County  
Community:  
Lot Number:  
Scale: 1/4" = 1'-0" (SEE SHEET A-100)  
Scale: 1/4" = 1'-0" (SEE SHEET A-100)  
Scale: 1/4" = 1'-0" (SEE SHEET A-100)

A-3.1E







Matthew P. Benson  
Gerald Davidson, Jr.\*  
Rebecca B. Gober  
Brian T. Easley  
Christopher D. Holbrook  
Charlotte L. Luu  
W. Brady Hughes

Samuel C. Kennon  
Shane M. Lanham  
Jeffrey R. Mahaffey  
Steven A. Pickens  
Andrew D. Stancil  
R. Lee Tucker, Jr.

\*Of Counsel

**LETTER OF INTENT FOR REZONING APPLICATION  
OF TAYLOR MORRISON OF GEORGIA, LLC**

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application (the "Application") on behalf of Taylor Morrison of Georgia, LLC (the "Applicant") for the purpose of requesting the rezoning of approximately 13.61 acres (the "Property") located between Alcovy Road and Sugarloaf Parkway. The subject Property is a component of tax parcel R5236 001 and was recently de-annexed by the City of Dacula since it is effectively cutoff from the balance of that parent parcel due to creeks, floodplain, and steep topography. The proposed development would serve as an extension of the adjacent OSC development which lies within unincorporated Gwinnett County and was recently approved by the Board of Commissioners in May 2019 (Case Number RZR2019-00014).


Accordingly, the Applicant is requesting a rezoning of the Property to OSC in line with the adjacent OSC community. The proposed development is compatible with surrounding land uses and would serve as a natural extension of a previously approved development. Proposed homes would include two-car garages as well as attractive architectural elements. Building materials for the proposed homes would include brick, stone, and/or cementitious shake, siding, and/or board and batten. The proposed community would also include large areas of common/open space for the use and enjoyment of residents. The proposed development is also compatible with the policy and intent of the Gwinnett County 2040 Unified Plan which designates the Property as adjacent to

land located within the Emerging Suburban Character Area (since the Property was recently de-annexed by the City of Dacula, the Property is not specifically designated as within any character area). Policies for the Emerging Suburban Character Area specifically encourage “Open Space Conservation subdivisions” and “Single-family residential” as “potential development types.”

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Planning & Development Department to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted this 6th day of May, 2021.

MAHAFFEY PICKENS TUCKER, LLP



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Shane M. Lanham  
*Attorneys for Applicant*

**REZONING APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

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- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

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- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

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- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

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- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

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- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

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**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

- A. Approval of the proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property. The subject Property is adjacent to additional land zoned for residential uses including land that is already zoned OSC. The proposed development would serve as an extension of a previously-approved OSC development on adjacent property.
- B. Approval of the proposed rezoning will not adversely affect the existing use or usability of adjacent or nearby property. Rather the proposed development would complement surrounding residential land uses by providing additional housing options for current and future residents of Gwinnett County.
- C. The Applicant submits that due to its size, location, physical characteristics, and layout, the subject property does not have a reasonable economic use as currently zoned.
- D. Approval of the proposed rezoning will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The property has convenient access to Alcovy Road via the previously approved OSC development.
- E. The proposed rezoning is in conformity with the policy and intent of the 2040 Plan. The subject Property is adjacent to land designated as within the Emerging Suburban Character Area on the 2040 Plan Future Development Map. Encouraged land uses for this character area specifically include conservations subdivisions and single-family residential development.
- F. The planned Sugarloaf Parkway extension and the subject Property's proximity to Freemans's Mill Park provide additional supporting grounds for approval of the Application.

**Exhibit E: Internal and External Agency Review Comments**

**[attached]**



<b>TRC Meeting Date:</b> July 14, 2021	
Department/Agency Name: Development Plan Review	
Reviewer Name: Terri Drabek	
Reviewer Title: Planner III	
Reviewer Email Address: terri.drabek@gwinnettcountry.com	
Case Number: RZR2021-00030	
Case Address: Alcovy Road	
<b>Comments:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
1	The bioretention area does not have road frontage for the stormwater BMP.
2	The 50 foot conservation strip is required adjacent to R-100 CSO property.
3	
4	
5	
6	
7	
8	
<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
1	
2	
3	
4	
5	
6	
7	
8	

**Note:** Attach additional pages, if needed

**Residential Rezoning Impact on Local Schools  
Prepared for Gwinnett County, August, 2021**

	School	2021-22			2022-23			2023-24			Proposed Zoning
		Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	Forecast	Capacity	+/- Cap.	
RZM2021-00029	<b>Parkview HS</b>	3,234	2,900	334	3,299	2,900	399	3,365	2,900	465	42
	Trickum MS	2,250	1,775	475	2,257	1,775	482	2,302	1,775	527	36
	Arcado ES	905	750	155	923	750	173	942	750	192	64
RZM2021-00030	<b>Grayson HS</b>	3,150	3,000	150	3,245	3,000	245	3,342	3,000	342	29
	Couch MS	1,113	1,150	-37	1,135	1,150	-15	1,158	1,150	8	25
	Starling ES	1,066	1,200	-134	1,098	1,200	-102	1,131	1,200	-69	44
RZM2021-00031	<b>Peachtree Ridge HS</b>	3,348	3,050	298	3,398	3,050	348	3,449	3,050	399	26
	Hull MS	1,342	1,750	-408	1,355	1,750	-395	1,383	1,750	-367	21
	Mason ES	976	1,150	-174	1,005	1,150	-145	1,025	1,150	-125	38
RZR2021-00027	<b>Parkview HS</b>	3,234	2,900	334	3,299	2,900	399	3,365	2,900	465	5
	Trickum MS	2,250	1,775	475	2,257	1,775	482	2,302	1,775	527	5
	Arcado ES	905	750	155	923	750	173	942	750	192	8
RZR2021-00030	<b>Dacula HS</b>	2,479	2,550	-71	2,553	2,550	3	2,630	2,550	80	7
	Dacula MS	1,786	1,900	-114	1,822	1,900	-78	1,858	1,900	-42	6
	Alcova ES	1,419	1,150	269	1,447	1,150	297	1,491	1,150	341	11
RZM2021-00032	<b>Peachtree Ridge HS</b>	3,348	3,050	298	3,398	3,050	348	3,449	3,050	399	2
	Hull MS	1,342	1,750	-408	1,355	1,750	-395	1,383	1,750	-367	2
	Parsons ES	805	700	105	829	700	129	854	700	154	4



<b>TRC Meeting Date:</b>		7-9-2021
<b>Department/Agency Name:</b>		Transportation
<b>Reviewer Name:</b>		Michael Johnson
<b>Reviewer Title:</b>		Construction Manager 1
<b>Reviewer Email Address:</b>		michael.johnson2@gwinnettcountry.com
<b>Case Number:</b>		RZR2021-00030
<b>Case Address:</b>		Alcovy Rd
<b>Comments:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO		
1		
2		
3		
4		
5		
6		
7		
8		
<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO		
1		
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7		
8		

**Note:** Attach additional pages, if needed





<b>TRC Meeting Date:</b>		07/14/21
<b>Department/Agency Name:</b>		Gwinnett Fire Plan Review
<b>Reviewer Name:</b>		Jennifer Folden-Nissen
<b>Reviewer Title:</b>		Fire Planner III
<b>Reviewer Email Address:</b>		jennifer.folden-nissen@gwinnettcountry.com
<b>Case Number:</b>		RZR2021-00030
<b>Case Address:</b>		Alcovy Rd.
<b>Comments:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
1	All site work is to be submitted for review by Gwinnett Fire Plan Review. (2012 Gwinnett Fire Prevention and Protection Ordinance Sect. 42-36)	
2	Fire department access roads shall be a minimum of 20 feet in width. (2018 IFC 503)	
3	Fire hydrants shall be placed no more than 450 feet apart. (2012 Gwinnett Fire Prevention and Protection Ordinance Sect. 42-29)	
4	Fire department access roads over 150 feet in length shall have an approved fire apparatus turn-around. (2018 IFC 503)	
5		
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8		
<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
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**Note:** Attach additional pages, if needed



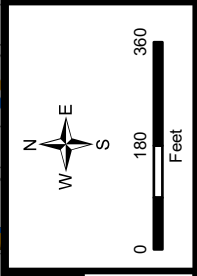
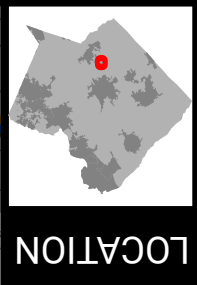
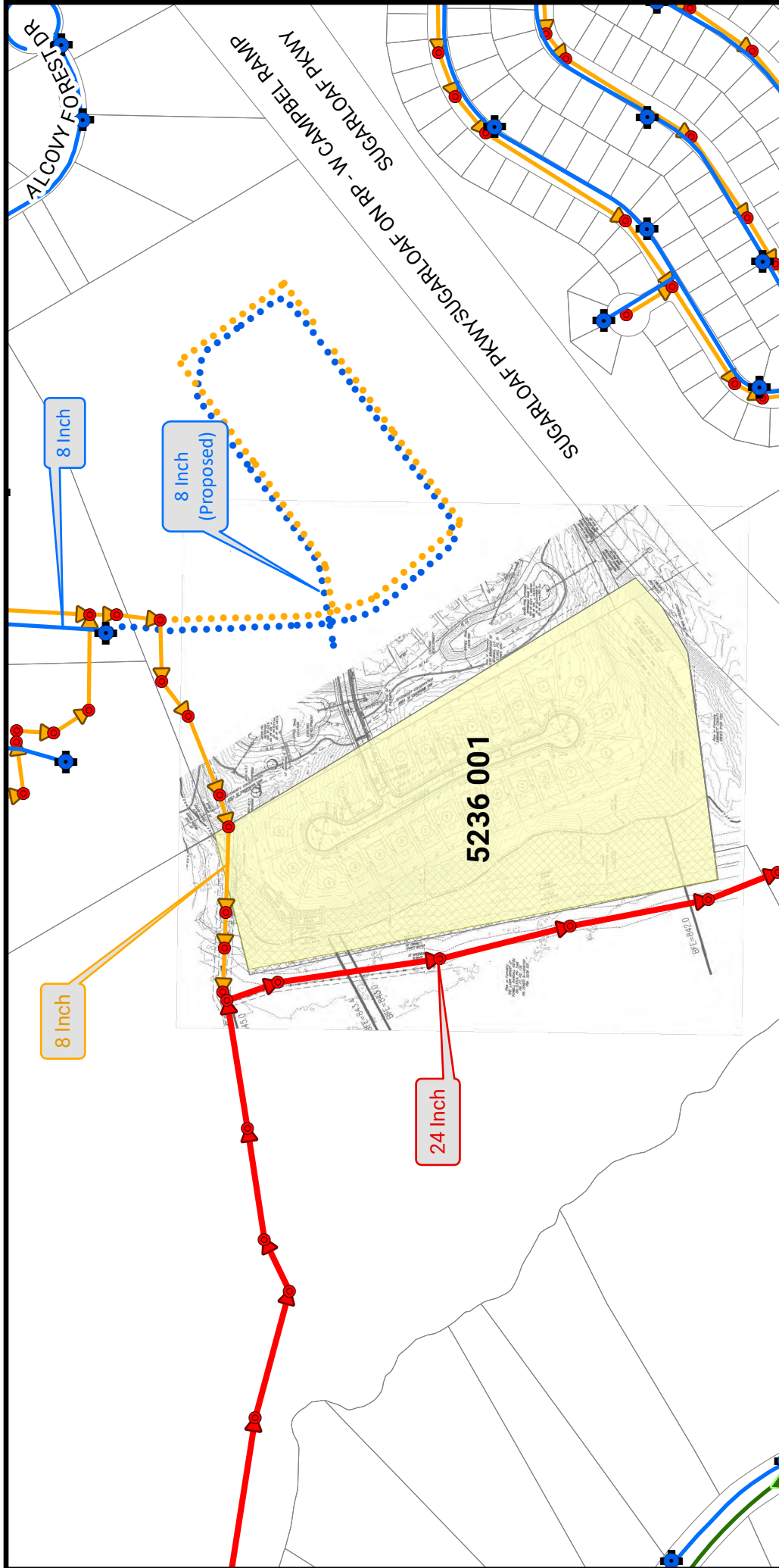
<b>TRC Meeting Date:</b> 7/14/2021	
Department/Agency Name: DOCS	
Reviewer Name: Glenn Boorman	
Reviewer Title: Deputy Division Director- Project Admin -Parks & Recreation	
Reviewer Email Address: glenn.boorman@gwinnettcountry.com	
Case Number: RZR2021-00030	
Case Address: between Alcovy Road and Sugarloaf Parkway	
<b>Comments:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
1	Accommodations shall be provided necessary easements and/or Right of ways and to construct the future greenway trail according to the UDO as indicated on the Gwinnett Trails Master Plan through this parcel with a future connection to Freeman's Mill Park.
2	
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<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
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**Note:** Attach additional pages, if needed



<b>TRC Meeting Date:</b> July 14, 2021	
Department/Agency Name: DWR	
Reviewer Name: Mike Pappas	
Reviewer Title: GIS Planning Manager	
Reviewer Email Address: michael.pappas@gwinnettcounty.com	
Case Number: RZR2021-00030	
Case Address: ALCOVY ROAD	
<b>Comments:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
1	WATER - Development plans to connect to 8-inch water main (currently proposed) in previous phase of Alcovy Creek S/D.
2	SEWER - Existing 24-inch sanitary sewer located on parcel 5236 001.
3	SEWER - Sewer Capacity Certification C2021-06-170 approved for 104.2 peak GPM.
4	
5	
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<b>Recommended Zoning Conditions:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
1	
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**Note:** Attach additional pages, if needed



**RZR2021-00030**  
**R-1400 CSO TO OSC**  
**Water & Sewer**  
**Utility Map**

**LEGEND**

	Flow Management		Hydrant		Sewer Force Main
	Pump Station		City		Effluent Outfall
	Regional		Water Main		Sewer Collector
	Manhole		Reuse Main		Sewer Interceptor

**Water Comments:** Development plans to connect to 8-inch water main (currently proposed) in previous phase of Alcovy Creek S/D.

**Sewer Comments:** Existing 24-inch sanitary sewer located on parcel 5236 001. Sewer Capacity Certification C2021-06-170 approved for 104.2 peak GPM.

**Water Availability:** Water demands imposed by the proposed development may require upsizing or extensions of existing water mains in order to meet Gwinnett County Standards and fire flow demands. Any cost associated with such required improvements will be the responsibility of the development. Current Gwinnett County Standards require a minimum of 12" pipe size for commercial developments and a minimum of 8" pipe size for residential developments. Additionally, connection to a minimum of 12" and 8" mains are required for commercial and residential developments, respectively. It is the responsibility of the developer's engineer to confirm pressure and volumes are available for the development.

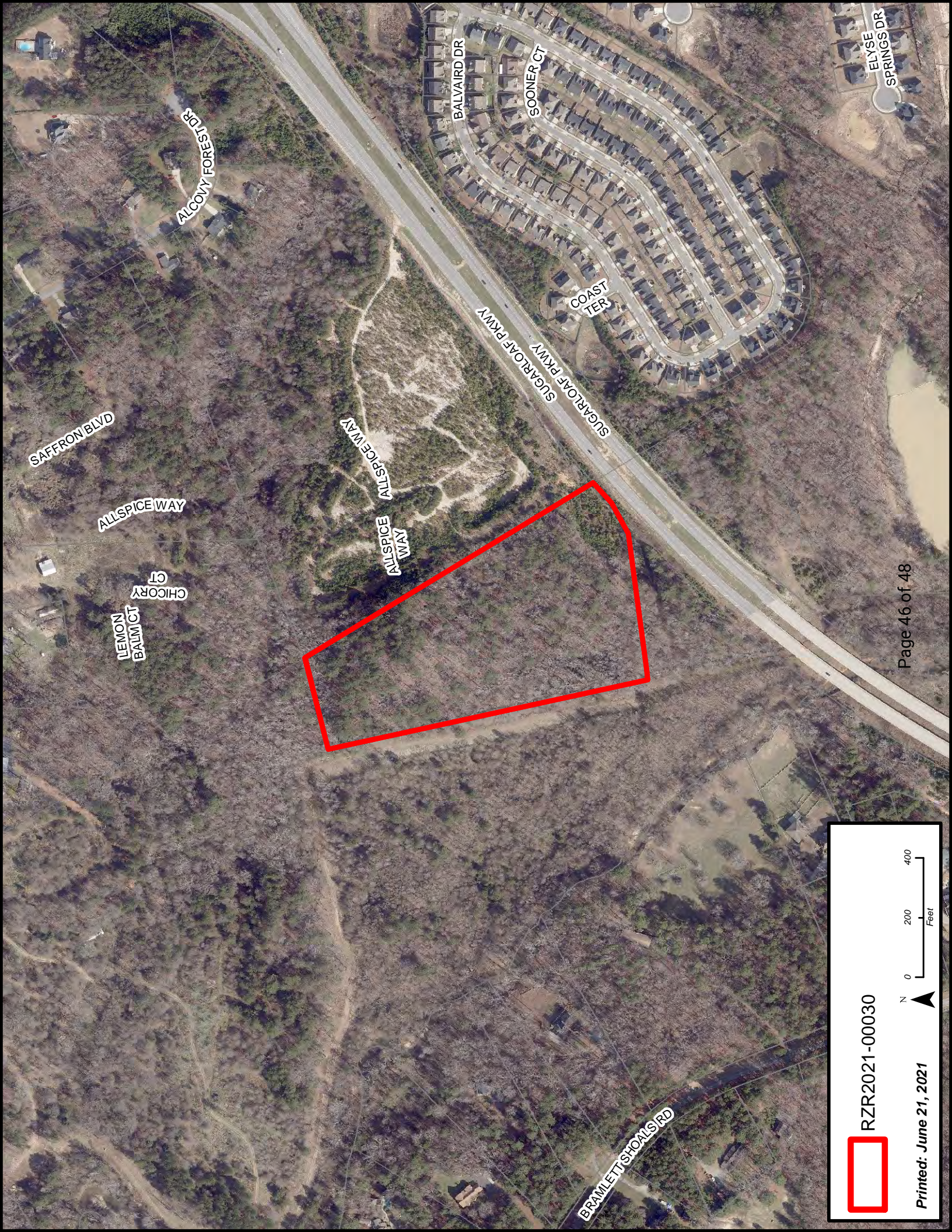
**Sewer Availability:** A Sewer Capacity Certification must be obtained from Gwinnett County to confirm the existing system can serve the development. Sewer demands imposed by the proposed development may require upsizing and/or extensions of existing sewer mains, and/or upsizing of an existing pump station and/or installation of a new pump station. Any cost associated with such required improvements will be the responsibility of the development. The developer shall provide easements for future sewer connection to all locations designated by Gwinnett County during plan review.

**Water and Sewer Design and Construction Requirements:** Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies, Gwinnett County's ordinances, and the Water Main and Sanitary Sewer Design and Construction Standards and Specifications, dated April 5th, 2016. Subsequent to design, construction, inspection, and final acceptance of the project, utilities, service would then become available under the applicable utility permit rate schedules.

**Private Road Developments:** Any development with private roads must comply with the Standard Policy Requirement for the Installation of Water and Sanitary Sewer Mains within Private Developments. This policy stipulates minimum easement requirements and location of public mains and appurtenances, among other requirements.

**Exhibit F: Maps**

**[attached]**



ALCOVY FORESTS DR

BALVAIRE DR

SOONER CT

ELYSE SPRINGS DR

COAST CENTER

SUGARLOAF PKWY

SUGARLOAF PKWY

SUGARLOAF PKWY

ALLSPICE WAY

ALLSPICE WAY

SAFFRON BLVD

ALLSPICE WAY

CHICORY CT

LEMON BALM CT

Page 46 of 48

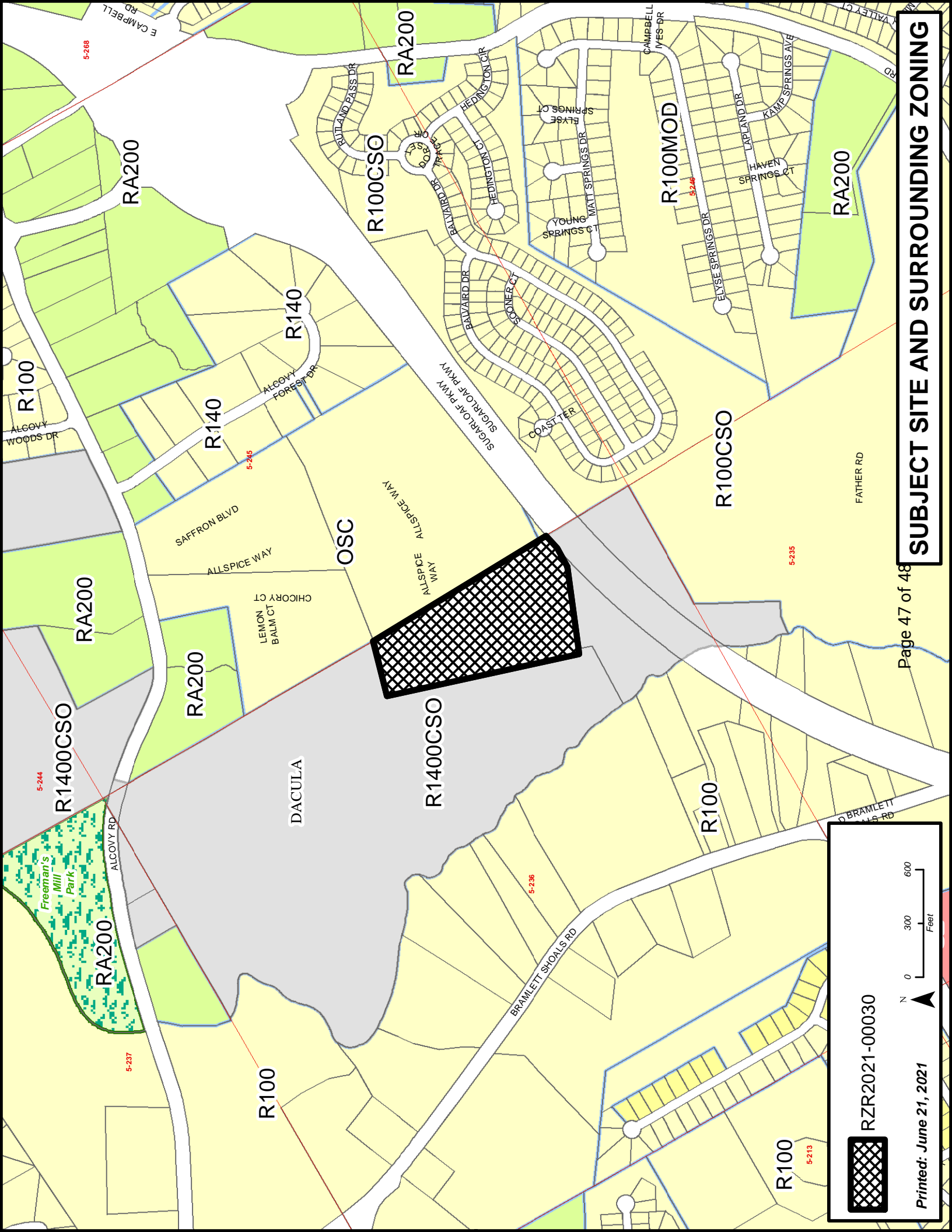


RZR2021-00030



Printed: June 21, 2021

BRAMLETT SHOMS RD




**SUBJECT SITE AND SURROUNDING ZONING**

**RZR2021-00030**



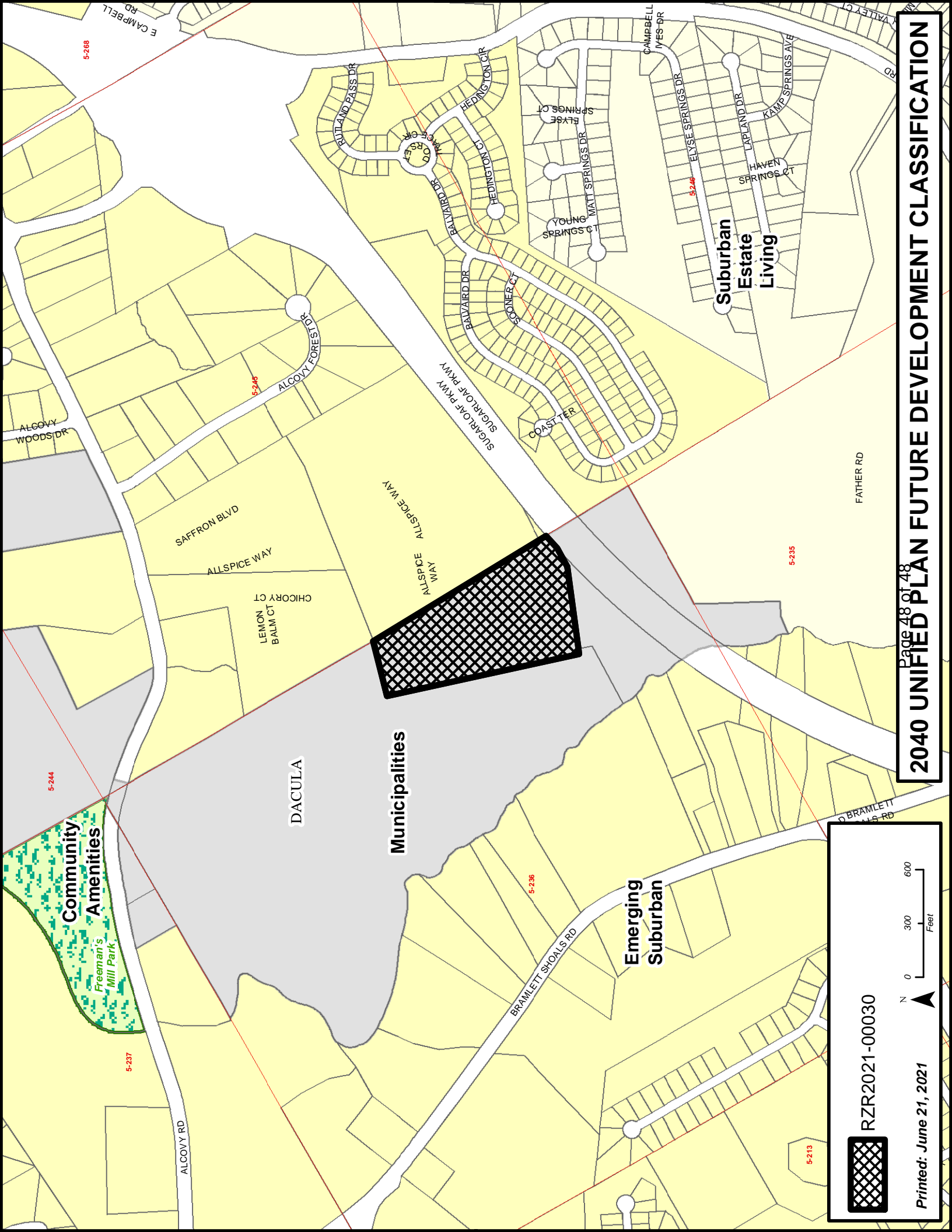
**Printed: June 21, 2021**



N



0 300 600  
Feet



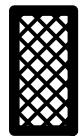
**2040 UNIFIED PLAN FUTURE DEVELOPMENT CLASSIFICATION**

RZR2021-00030

Printed: June 21, 2021

0 300 600 Feet

N



**Municipalities**

DACULA

**Emerging Suburban**

**Suburban Estate Living**

**Community Amenities**

Freeman's Mill Park

ALCOVY WOODS DR

SAFFRON BLVD

ALLSPICE WAY

LEMON BALM CT  
CHICORY CT

ALLSPICE WAY

SUGARLOAF PKWY

BRAMLETT SHOALS RD

CAMPBELL IVES DR

ELYSE SPRINGS DR

LAPLAND DR

HAVEN SPRINGS CT

KAMP SPRINGS AVE

FATHER RD

ALCOVY RD

RUTLAND PASS DR

WAGE CR

ROBERT

WALTON DR

HEDGINGTON CIR

ELYSE CT

MATT SPRINGS DR

YOUNG SPRINGS CT

BAVAIRD DR

COASTER

SPONER CT

5-268

5-246

5-235

5-244

5-237

5-236

5-213



**REZONING APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
Taylor Morrison of Georgia, LLC c/o NAME: <u>Mahaffey Pickens Tucker, LLP</u>	NAME: <u>The Labri Group, LP &amp; Randall Keith Powell</u>
ADDRESS: <u>1550 North Brown Road, Suite 125</u>	ADDRESS: <u>11 Lumpkin Street</u>
CITY: <u>Lawrenceville</u>	CITY: <u>Lawrenceville</u>
STATE: <u>Georgia</u> ZIP: <u>30043</u>	STATE: <u>Georgia</u> ZIP: <u>30046</u>
PHONE: <u>770 232 0000</u>	PHONE: <u>770 232 0000</u>
CONTACT PERSON: <u>Shane Lanham</u> PHONE: <u>770 232 0000</u>	
CONTACT'S E-MAIL: <u>slanham@mptlawfirm.com</u>	

**APPLICANT IS THE:**

OWNER'S AGENT   
  PROPERTY OWNER   
  CONTRACT PURCHASER

PRESENT ZONING DISTRICTS(S): R-1400 CSO REQUESTED ZONING DISTRICT: OSC

PARCEL NUMBER(S): 5236 001 (portion) ACREAGE: +/- 13.61

ADDRESS OF PROPERTY: Alcovy Road

PROPOSED DEVELOPMENT: Single-family Conservation Subdivision

RESIDENTIAL DEVELOPMENT	NON-RESIDENTIAL DEVELOPMENT
No. of Lots/Dwelling Units <u>24</u>	No. of Buildings/Lots: <u>NA</u>
Dwelling Unit Size (Sq. Ft.): <u>1,400+ sf</u>	Total Building Sq. Ft. <u>NA</u>
Gross Density: <u>+/- 1.76 units per acre</u>	Density: <u>NA</u>
Net Density: <u>+/-2.85 units per acre</u>	

**PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED**

LEGAL DESCRIPTIONSURVEY LEGAL DESCRIPTION

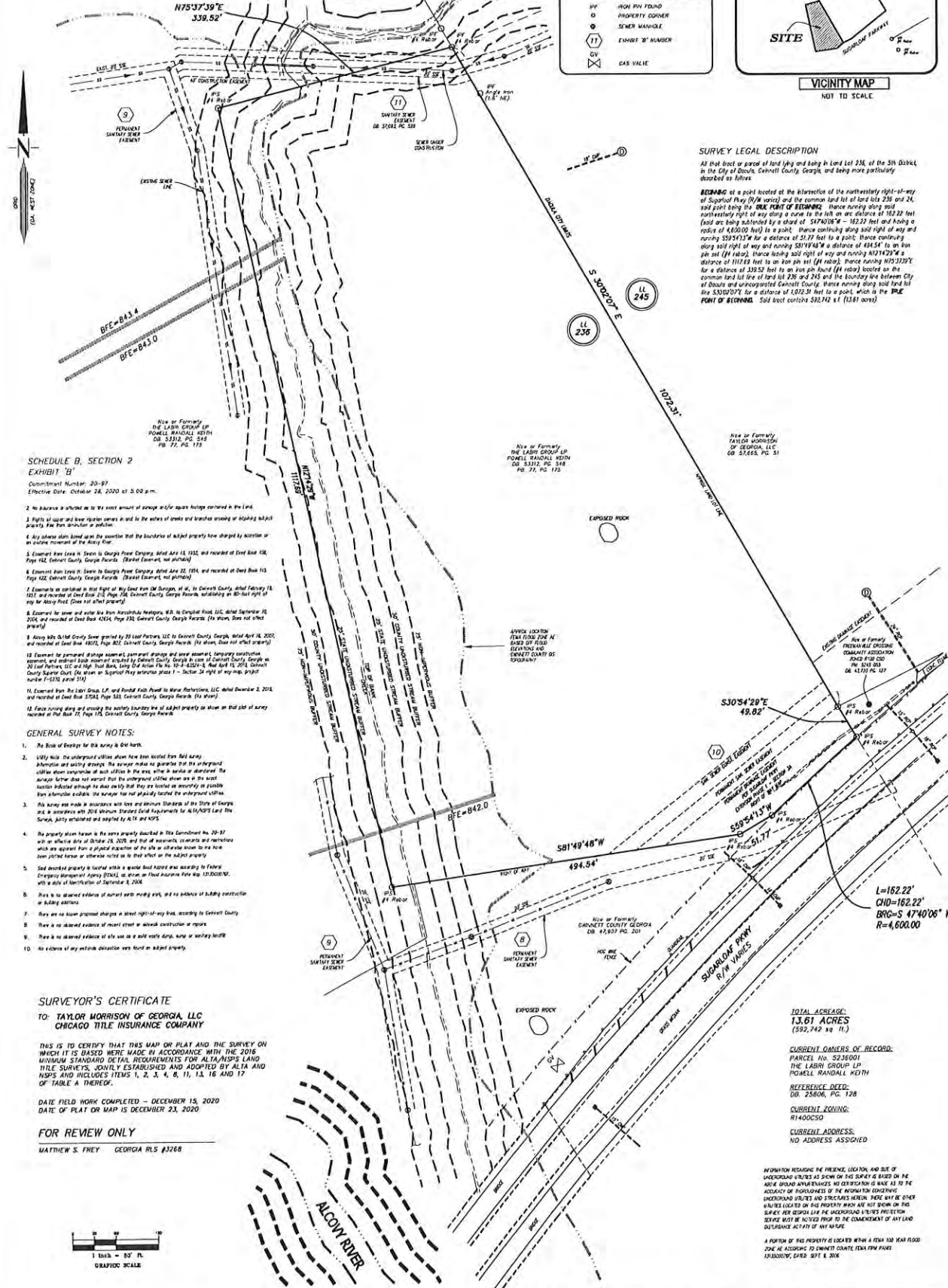
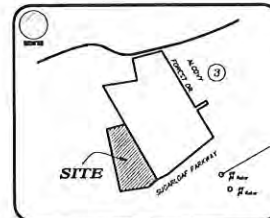
All that tract or parcel of land lying and being in Land Lot 236, of the 5th District, in the City of Dacula, Gwinnett County, Georgia, and being more particularly described as follows:

*BEGINNING* at a point located at the intersection of the northwesterly right-of-way of Sugarloaf Pkwy (R/W varies) and the common land lot of land lots 236 and 24, said point being the *TRUE POINT OF BEGINNING*; thence running along said northwesterly right of way along a curve to the left on arc distance of 162.22 feet (said arc being subtended by a chord of  $S47^{\circ}40'06''W$  - 182.22 feet and having a radius of 4,600.00 feet) to a point; thence continuing along said right of way and running  $S59^{\circ}54'13''W$  for a distance of 51.77 feet to a point; thence continuing along said right of way and running  $S81^{\circ}49'48''W$  a distance of 494.54' to an iron pin set (#4 rebar); thence leaving said right of way and running  $N12^{\circ}14'29''W$  a distance of 1117.69 feet to an iron pin set (#4 rebar); thence running  $N75^{\circ}37'39''E$  for a distance of 339.52 feet to an iron pin found (#4 rebar) located on the common land lot line of land lot 236 and 245 and the boundary line between City of Dacula and unincorporated Gwinnett County; thence running along said land lot line  $S30^{\circ}02'07''E$  for a distance of 1,072.31 feet to a point, which is the *TRUE POINT OF BEGINNING*. Said tract contains 592,742 s.f. (13.61 acres).

TRANSVERSE CLOSURE - 14.058'  
TOTAL ANGULAR ERROR - .36 SEC'S  
MEASUREMENT - COMPASS RULE  
EQUIPMENT - TRIMBLE SS RODDING  
PLAT CLOSURE - 1:254.012'  
DATE OF FIELD WORK - DECEMBER 18, 2020

**LEGEND**

- XX FIRE HYDRANT
- POWER POLE
- GUY WIRE
- OVERHEAD POWER LINE
- FENCE
- PH IRON PIN SET (#4 Rebar +/- Dia)
- PH IRON PIN FOUND
- PROPERTY CORNER
- SEWER MANHOLE
- EXHIBIT "B" NUMBER
- UV
- GAS VALVE



**SURVEY LEGAL DESCRIPTION**

All that tract or parcel of land lying and being in Land Lot 236, of the 5th District, in the City of Decatur, Gwinnett County, Georgia, and being more particularly described as follows:

**BEING** of a plot located at the intersection of the westerly right-of-way of Sugarloaf Parkway (R/W) and the common land lot of Land Lot 236 and 24, said plot being the TRUE POINT OF BEGINNING. Thence running along the westerly right-of-way along a curve to the left on an arc distance of 162.22 feet (said arc being subtended by a chord of S174°08'W - 162.22 feet and having a radius of 4420.00 feet) to a point, thence continuing along said right-of-way and running S59°54'13"W for a distance of 51.77 feet to a point, thence continuing along said right-of-way and running S81°19'48"W a distance of 494.54 feet to an iron pin found (#4 rebar) located on the common land lot line of Land Lot 236 and 24; and the boundary line between City of Decatur and unincorporated Gwinnett County, thence running along said lot lot line S33°02'07"E for a distance of 1,072.31 feet to a point, which is the TRUE POINT OF BEGINNING. Said total contains 522,742 sq. ft. (11.81 acres).

**SCHEDULE B, SECTION 2 EXHIBIT "B"**  
Covenantal Number: 20-97  
Effective Date: October 18, 2020 at 5:00 p.m.

- No easement is intended as to the most amount of easement or other surface rights contained in this land.
- Rights of upper and lower riparian owners as to the waters of streams and branches existing or existing subject thereto, are not intended or affected.
- Any address shown based on the provision that the boundaries of subject property have changed by accretion or an encroachment of the Alcoa River.
- Encroachment from Lines H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

**GENERAL SURVEY NOTES:**

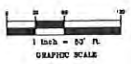
- The title of this survey is as shown.
- Utility lines, underground utilities shown have been located from field survey. Information and utility drawings, the surveyor makes no guarantee that the underground utilities shown are correct in the way shown or otherwise. The surveyor makes no warranty that the underground utilities shown are in the location indicated although he has every effort to locate them as accurately as possible from information available. The surveyor has not planned to locate the underground utilities.
- The survey was made in accordance with laws and regulations of the State of Georgia, in accordance with 2016 Minimum Standard Survey Requirements for ALTA/NSPS Land Title Surveys, fully retained and signed by ALTA and NSPS.
- The property shown herein is the same property described in this instrument No. 20-97 with an effective date of October 18, 2020 and that of all instruments, covenants and warranties which are apparent from a physical inspection of the site in accordance with the law.
- Said recorded property is located within a mobile home zone as defined by the City of Decatur, Georgia Department of Planning, as shown on their ordinance No. 12-000000, with a date of implementation of September 8, 2006.
- There is no encroachment of natural water, rock, soil or debris of building construction or building addition.
- There are no known physical changes in a street right-of-way that, according to Gwinnett County.
- There is no known existence of mineral interest or mineral construction or reports.
- There is no encroachment of site use in a mobile home zone, camp or sanitary landfill.
- No violations of any national, state or local laws are shown on subject property.

**SURVEYOR'S CERTIFICATE**  
TO: TAYLOR MORRISON OF GEORGIA, LLC  
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, FULLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 6, 11, 13, 16 AND 17 OF TABLE A THEREOF.

DATE FIELD WORK COMPLETED - DECEMBER 18, 2020  
DATE OF PLAT OR MAP IS DECEMBER 23, 2020

**FOR REVIEW ONLY**  
MATTHEW S. FREY GEORGIA RLS #3268



THIS DRAWING AND ANY COPIES THEREOF ARE THE PROPERTY OF CENTERLINE SURVEYING SYSTEMS, INC. AND SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART, OR OTHERWISE, WITHOUT PERMISSION FROM CENTERLINE SURVEYING SYSTEMS, INC. NO WARRANTIES, EXPRESS OR IMPLIED, IS EXTENDED TO ANY UNPAID THIS PARTY.

This survey was prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Real Act O.C.G.A. 15-6-57.

ALTA/NSPS LAND TITLE SURVEY FOR:  
**TAYLOR MORRISON OF GEORGIA, LLC**  
PROPERTY IS LOCATED IN LAND LOT 236  
IN THE 5TH DISTRICT  
CITY OF Dacula  
GWINNETT COUNTY, GEORGIA  
SCALE: 1"=80' DATE: DECEMBER 22, 2020

NO.	REVISION	DATE

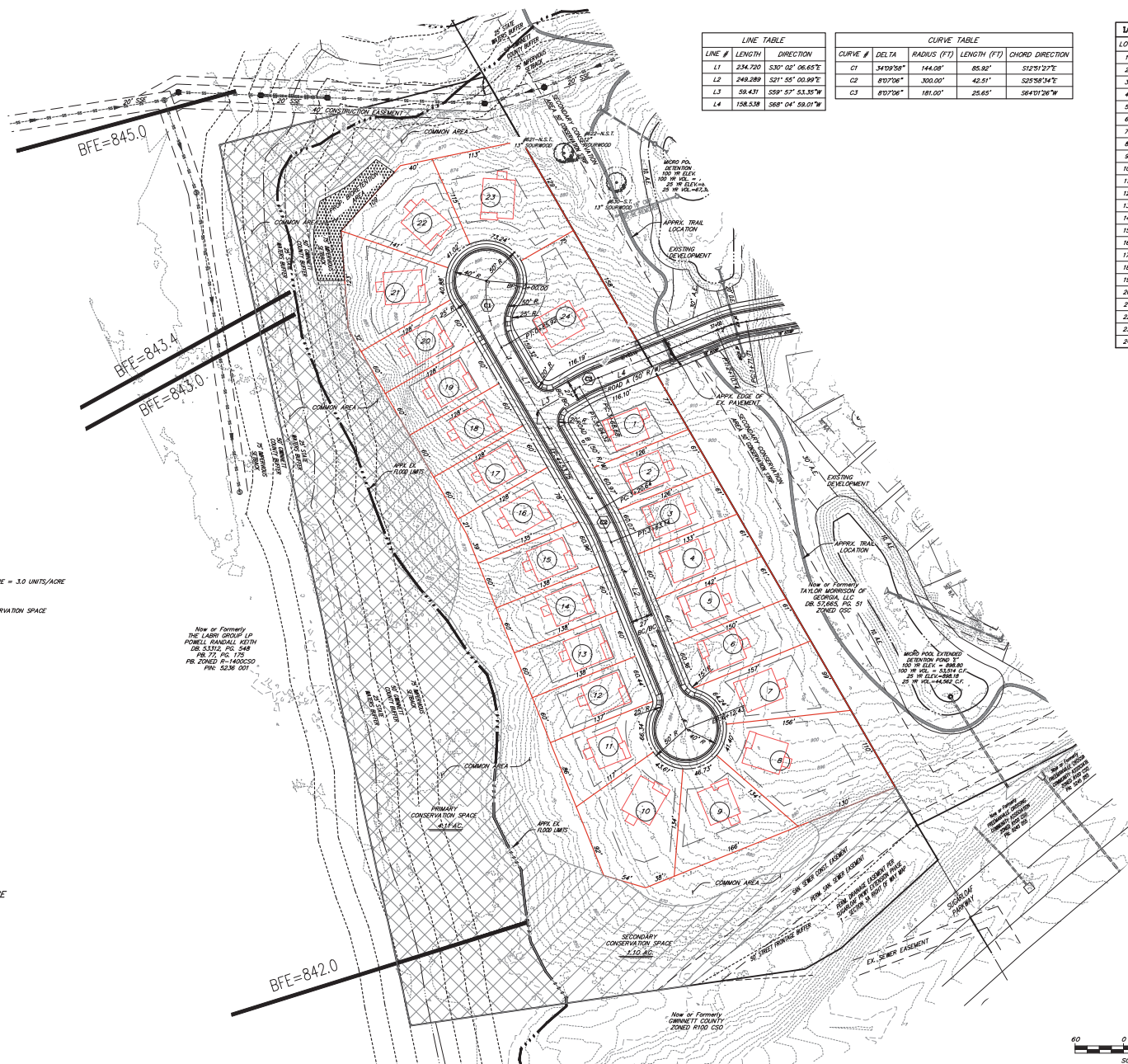
**centerline**  
Surveying and Land Planning, Inc.  
1911 BERRY AVE., SUITE 1016, DUBLIN, GA 31014  
PHONE: (770) 421-1800 FAX: (770) 421-0200

RECEIVED

06/03/2021 @3:01 PM



LOCATION MAP - 1" = 1000'



LINE #	LENGTH	DIRECTION
L1	234.720	S30° 02' 06.65"W
L2	249.289	S21° 55' 00.99"W
L3	59.431	S59° 57' 53.39"W
L4	158.538	S69° 04' 59.01"W

CURVE #	DELTA	RADIUS (FT)	LENGTH (FT)	CHORD DIRECTION
C1	34°19'36"	144.00'	85.92'	S12°12'27"E
C2	87°07'36"	300.00'	42.51'	S25°58'34"W
C3	87°07'36"	181.00'	25.65'	S64°07'26"W

LOT #	AREA (SQFT)
1	8,428
2	7,577
3	7,759
4	8,252
5	8,706
6	8,274
7	11,147
8	20,003
9	12,443
10	15,008
11	8,553
12	8,259
13	8,280
14	8,280
15	8,313
16	8,958
17	7,990
18	7,690
19	7,690
20	7,690
21	12,398
22	11,783
23	15,351
24	16,700

**GENERAL SITE NOTES:**

- TOTAL SITE AREA = 13.61 ACRES
- TOTAL NET AREA = 8.40 ACRES
- OWNER: THE LARRI GROUP LP  
POWELL RANDALL KETH  
706.255.2853
- 24-HOUR CONTACTS  
BRIAN TAYLOR  
706.255.2853
- EXISTING ZONING = R1400CSD  
PROPOSED ZONING = OSC
- BUILDING SETBACKS:  
FRONT: 25'  
REAR: 30'  
SIDE: 7.5'
- MIN. LOT WIDTH = 60'
- MIN. HEATED FLOOR = 1,400 S.F.
- MAX. BUILDING HEIGHT = 35'
- MIN. LOT SIZE = 7,500 S.F.
- MIN. COMMON AREA = 25%
- TOTAL COMMON AREA PROVIDED = 6.26 ACRES
- DENSITY BONUS = MIN. 48% OF TOTAL SITE AREA  
13.61 AC. X 48% = 6.53 AC.
- PROPOSED NUMBER OF LOTS = 24
- MAX. DENSITY (WITH DENSITY BONUS) = 2.5 + 0.5 UNITS/ACRE = 3.0 UNITS/ACRE
- DENSITY PROVIDED = 24 LOTS / 8.4 AC. = 2.86 LOTS/AC.
- MIN. CONSERVATION SPACE = 25% OF TOTAL ACREAGE  
13.61 AC. X 25% = 3.4 ACRES
- MIN. PRIMARY CONSERVATION SPACE = 15% OF TOTAL CONSERVATION SPACE  
3.4 AC. X 15% = 0.51 ACRES
- PRIMARY CONSERVATION SPACE PROVIDED = 4.11 AC.
- SECONDARY CONSERVATION SPACE PROVIDED = 1.10 AC.

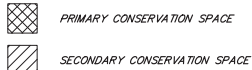
Now or Formerly  
 THE LARRI GROUP LP  
 POWELL RANDALL KETH  
 DR. 53512, PG. 548  
 PB. 77, PG. 175  
 PB. ZONING P-1400CSD  
 PNC 5236 001

**OWNER CERTIFICATION:**

TIMBER HARVESTING ACTIVITY HAS NOT OCCURRED ON THE PROPERTY IN THE PREVIOUS 24 MONTHS.

**Parking Calculations:**

- 24 Lots x 2 garage parking spaces = 48
- 24 Lots x 2 driveway parking spaces = 48
- Total parking spaces = 96



GaSWCC #10465

**ALCOY CREEK**

LAND LOTS 236 & 245, 5TH DISTRICT, 2ND SECTION,  
 WINNETT COUNTY, GEORGIA  
 ZONED OSC

**REVISION DESCRIPTION:**

DRAWN BY: DJS  
 CHECKED BY: DAH  
 DATE: 06.03.2021  
 SHEET TITLE: PRELIMINARY PLAT

SCALE: 1"=60'  
 SHT. 01 REV. ---  
 NO. ---



RECEIVED

06/03/2021 @ 3:01 PM

SYMBOL LEGEND

	WATER VALVE		WATER LINE
	LIGHT POLE		FIRE HYDRANT
	SEWER LINE MANHOLE		CONC. MANH.
	REINFORCED CONC. PIPE		IRON PIPE FLOOD
	CORRUGATED METAL PIPE		IRON PIPE SET
	HIGH DENSITY POLYETHYLENE PIPE		HOODED INLET
	EXISTING STORM PIPE		CATCH BASIN
	PROPOSED STORM PIPE		JUNCTION BOX OR PED. MEET
	FENCE LINE		MANHOLE
	POWER POLE W/ 69 KV		LIGHT POLE
	OVERHEAD POWER LINE		
	PROPERTY CORNER		

**SITE NOTES:**

PROPOSED USE: SINGLE FAMILY RESIDENTIAL  
 CURRENT ZONING: OSC (OS2000-000A, DATED MAY 28, 2019)  
 TOTAL AREA - 13.81 ACS.  
 FLOOD PLAN AREA - 2.88 ACRES  
 DENSITY AREA - 11.4 ACS. GROSS/NET  
 12.88 ACS - 3.06 WITHIN FLOODPLAIN - 10.55 ACS.  
 LOTS DO NOT ENOUGH INTO REQUIRED STATE BUREAU.  
 TOTAL RESIDENTIAL UNITS PROPOSED - 24  
 PROPOSED NET DENSITY - 217 UNITS PER ACRE  
 MINIMUM LOT SIZE - 7,500 SF.  
 TOTAL CONSERVATION SPACE - 7.51 ACS. (55.2%)  
 PRIMARY CONSERVATION AREA - 4.22 ACS. (30.2%)  
 PROP. DISTURBED AREA - 0.00 ACS (0.0%)  
 PROP. IMPROVED AREA - 0.00 ACS (0.0%)  
 SECONDARY CONSERVATION AREA - 3.29 ACS. (23.8%)  
 PROP. DISTURBED AREA - 0.00 ACS (0.0%)  
 PROP. IMPROVED AREA - 0.0 ACS (0.0%)

**BUILDING SETBACK REQUIREMENTS:**

FRONT - 30'  
 REAR - 30'  
 SIDE - 15'

**GENERAL NOTES:**

NO PROTECTIVE PLANT SPECIES OR HISTORICAL OR ARCHEOLOGICAL FEATURES ARE KNOWN TO EXIST ON THIS PROPERTY. NONE WERE DISCOVERED DURING THE SITE RECONNAISSANCE NOT IN DEC. 2020. IF ANY ARE DISCOVERED DURING DESIGN OR CONSTRUCTION, PROPER NOTIFICATION AND HANDLING OF THE DISCOVERY IS REQUIRED.

THE MAJORITY OF THE SITE HAS TREE COVER AS NOTED ON THE PLAN.

**FLOOD INFORMATION:**

THERE IS FLOOD PLAN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOOD PLAN PER FIRM PANEL 13505007P DATED SEPTEMBER 29, 2006.

**APPLICANT/DEVELOPER:**

BOHNE SMITH  
 MANOR RESTORATIONS, LLC  
 4763 TENNISON CHASE  
 MARIETTA, GEORGIA 30066  
 770-863-0344  
 BSM@MANORRESTORATIONS.LLC

**CURRENT PROPERTY OWNER:**

THE LABRI GROUP, LP  
 11 LAWRENCE ST. SUITE 200  
 LAWRENCEVILLE, GA 30046

**GENERAL NOTES:**

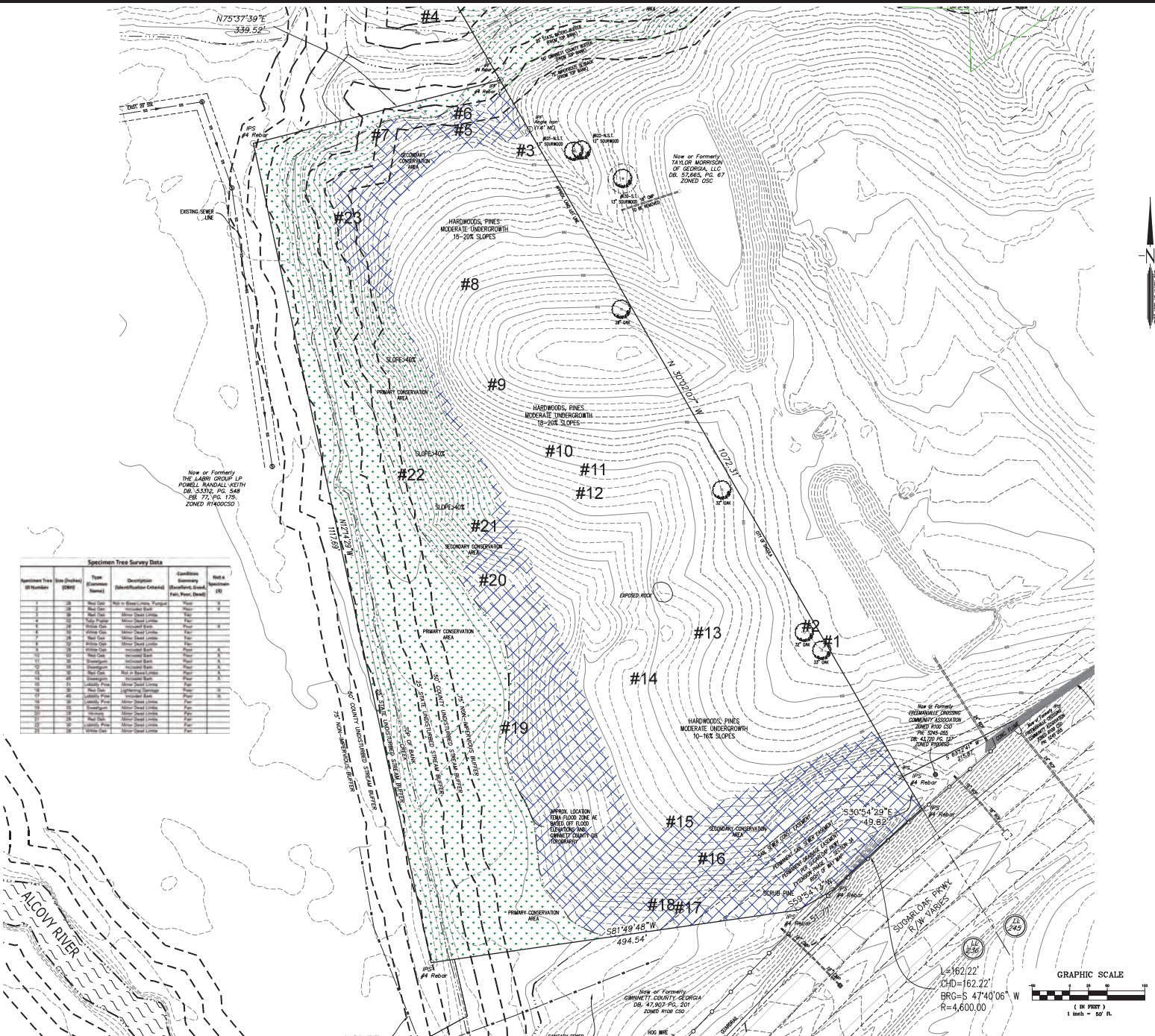
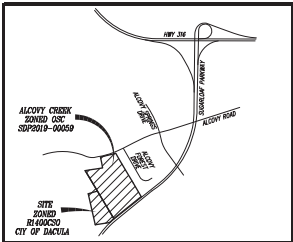
DEVELOPERS SHALL INSTALL SIDEWALKS ON ADJUTING EXTERNAL STREETS. YARDING RESTORATION AREA, LOTS, AND OPEN SPACE LOTS AND LOT DIMENSIONS SHALL BE INSTALLED INTERSECTION RADIUS CURB RAMP AT NEW STREET INTERSECTIONS AND L-SHAPED W/O-BLOCK RAMP AT OLD-DE-SAC TURNAROUNDS (IF REQUIRED) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SAID LOT.  
 ALL NEW UTILITY LINES SHALL BE LOCATED UNDERGROUND.  
 CONSERVATION SPACE IS COMMON AREA TO BE DECEDED AND MAINTAINED BY A QUALIFIED HOME OWNERS ASSOCIATION. SITE IS LOCATED IN THE ALCOVY RIVER WATERSHED.  
 STREET LIGHTS ARE TO BE PROVIDED ALONG THE SIDE OF EVERY STREET AND SHALL BE A MIN. OF 16' HIGH AND A MAX. OF 20' HIGH IF OVERHANGING INTO THE STREET AND SHALL BE PLACED NO MORE THAN 160' APART.

**OWNER CERTIFICATION:**

TIMBER HARVESTING ACTIVITY HAS NOT OCCURRED ON THE PROPERTY IN THE PREVIOUS 24 MONTHS.

Specimen Tree ID Number	Tree Size (DBH)	Type (Common Name)	Description (Health/Flower Category)	Condition Summary (Flower/Fruit, Dead, Fair, Poor, Good)	Tree #
1	12"	Red Oak	Good	Flower/Fruit	1
2	10"	White Oak	Good	Flower/Fruit	2
3	8"	Live Oak	Good	Flower/Fruit	3
4	15"	Red Oak	Good	Flower/Fruit	4
5	18"	White Oak	Good	Flower/Fruit	5
6	14"	Live Oak	Good	Flower/Fruit	6
7	16"	Red Oak	Good	Flower/Fruit	7
8	12"	White Oak	Good	Flower/Fruit	8
9	10"	Live Oak	Good	Flower/Fruit	9
10	8"	Red Oak	Good	Flower/Fruit	10
11	15"	White Oak	Good	Flower/Fruit	11
12	12"	Live Oak	Good	Flower/Fruit	12
13	10"	Red Oak	Good	Flower/Fruit	13
14	8"	White Oak	Good	Flower/Fruit	14
15	15"	Live Oak	Good	Flower/Fruit	15
16	12"	Red Oak	Good	Flower/Fruit	16
17	10"	White Oak	Good	Flower/Fruit	17
18	8"	Live Oak	Good	Flower/Fruit	18
19	15"	Red Oak	Good	Flower/Fruit	19
20	12"	White Oak	Good	Flower/Fruit	20
21	10"	Live Oak	Good	Flower/Fruit	21
22	8"	Red Oak	Good	Flower/Fruit	22
23	15"	White Oak	Good	Flower/Fruit	23
24	12"	Live Oak	Good	Flower/Fruit	24
25	10"	Red Oak	Good	Flower/Fruit	25
26	8"	White Oak	Good	Flower/Fruit	26
27	15"	Live Oak	Good	Flower/Fruit	27
28	12"	Red Oak	Good	Flower/Fruit	28
29	10"	White Oak	Good	Flower/Fruit	29
30	8"	Live Oak	Good	Flower/Fruit	30

**SITE MAP: NYS**



**centerline**  
 Surveying and Land Planning, Inc.  
 140 PHOENIX (770) 444-0528 FAX (770) 444-3559

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EXISTING FEATURES SITE ANALYSIS  
**ALCOVY CREEK**  
 PIN NO. 8246-016, 8946-085, 9246-087  
 LAND LOT 246, 5th DISTRICT  
 GWINNETT COUNTY, GEORGIA

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NO.	DATE	DESCRIPTION
1	12-29-20	DATE: 12-29-20
2	12-29-20	SCALE: 1" = 50'
3	1118021	PROJECT No.: 1118021

---

DRAWN BY: JMB  
 CHECKED BY: MSF  
 DATE: 12-29-20  
 SCALE: 1" = 50'  
 PROJECT No.: 1118021

---

SHEET No. 1 OF 1

**REZONING APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED REZONING WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Please see attached

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- (B) WHETHER A PROPOSED REZONING WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

Please see attached

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- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED REZONING HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Please see attached

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- (D) WHETHER THE PROPOSED REZONING WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

Please see attached

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- (E) WHETHER THE PROPOSED REZONING IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Please see attached

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- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED REZONING:

Please see attached

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**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

- A. Approval of the proposed rezoning will permit a use that is suitable in view of the use and development of adjacent and nearby property. The subject Property is adjacent to additional land zoned for residential uses including land that is already zoned OSC. The proposed development would serve as an extension of a previously-approved OSC development on adjacent property.
- B. Approval of the proposed rezoning will not adversely affect the existing use or usability of adjacent or nearby property. Rather the proposed development would complement surrounding residential land uses by providing additional housing options for current and future residents of Gwinnett County.
- C. The Applicant submits that due to its size, location, physical characteristics, and layout, the subject property does not have a reasonable economic use as currently zoned.
- D. Approval of the proposed rezoning will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The property has convenient access to Alcovy Road via the previously approved OSC development.
- E. The proposed rezoning is in conformity with the policy and intent of the 2040 Plan. The subject Property is adjacent to land designated as within the Emerging Suburban Character Area on the 2040 Plan Future Development Map. Encouraged land uses for this character area specifically include conservations subdivisions and single-family residential development.
- F. The planned Sugarloaf Parkway extension and the subject Property's proximity to Freemans's Mill Park provide additional supporting grounds for approval of the Application.



Matthew P. Benson  
Gerald Davidson, Jr.\*  
Rebecca B. Gober  
Brian T. Easley  
Christopher D. Holbrook  
Charlotte L. Luu  
W. Brady Hughes

Samuel C. Kennon  
Shane M. Lanham  
Jeffrey R. Mahaffey  
Steven A. Pickens  
Andrew D. Stancil  
R. Lee Tucker, Jr.

\*Of Counsel

**LETTER OF INTENT FOR REZONING APPLICATION**  
**OF TAYLOR MORRISON OF GEORGIA, LLC**

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and attached Rezoning Application (the “Application”) on behalf of Taylor Morrison of Georgia, LLC (the “Applicant”) for the purpose of requesting the rezoning of approximately 13.61 acres (the “Property”) located between Alcovy Road and Sugarloaf Parkway. The subject Property is a component of tax parcel R5236 001 and was recently de-annexed by the City of Dacula since it is effectively cutoff from the balance of that parent parcel due to creeks, floodplain, and steep topography. The proposed development would serve as an extension of the adjacent OSC development which lies within unincorporated Gwinnett County and was recently approved by the Board of Commissioners in May 2019 (Case Number RZR2019-00014).

Accordingly, the Applicant is requesting a rezoning of the Property to OSC in line with the adjacent OSC community. The proposed development is compatible with surrounding land uses and would serve as a natural extension of a previously approved development. Proposed homes would include two-car garages as well as attractive architectural elements. Building materials for the proposed homes would include brick, stone, and/or cementitious shake, siding, and/or board and batten. The proposed community would also include large areas of common/open space for the use and enjoyment of residents. The proposed development is also compatible with the policy and intent of the Gwinnett County 2040 Unified Plan which designates the Property as adjacent to



land located within the Emerging Suburban Character Area (since the Property was recently de-annexed by the City of Dacula, the Property is not specifically designated as within any character area). Policies for the Emerging Suburban Character Area specifically encourage “Open Space Conservation subdivisions” and “Single-family residential” as “potential development types.”

The Applicant and its representatives welcome the opportunity to meet with staff of the Gwinnett County Planning & Development Department to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Rezoning Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted this 6th day of May, 2021.

MAHAFFEY PICKENS TUCKER, LLP



---

Shane M. Lanham  
*Attorneys for Applicant*

**JUSTIFICATION FOR REZONING APPLICATION**

The portions of the Gwinnett County Unified Development Ordinance (the “UDO”) which classify or may classify the property which is the subject of this Application (the “Property”) into any less intensive zoning classification other than as requested by the Applicant, are or would be unconstitutional in that they would destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

The application of the UDO as applied to the subject Property, which restricts its use to the present zoning classification is unconstitutional, illegal, null and void, constituting a taking of the Applicant's and the Owner's property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States denying the Applicant an economically viable use of its land while not substantially advancing legitimate state interests.

The Property is presently suitable for development under the OSC classification as requested by the Applicant, and is not economically suitable for development under the present zoning classification of Gwinnett County. A denial of this Application would constitute an arbitrary and capricious act by the Gwinnett County Board of Commissioners without any rational basis therefore, constituting an abuse of discretion in violation of Article I, Section I, Paragraph I and Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

A refusal by the Gwinnett County Board of Commissioners to rezone the Property to the OSC classification with such conditions as agreed to by the Applicant, so as to permit the only feasible economic use of the Property, would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Any

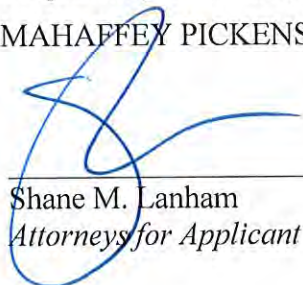
rezoning of the subject Property to the OSC classification, subject to conditions which are different from the conditions by which the Applicant may amend its application, to the extent such different conditions would have the effect of further restricting the Applicant's and the Owner's utilization of the subject Property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions set forth hereinabove.

Opponents to the request set forth in the Application, or in any amendments to the Application, have waived their rights to appeal any decision of the Gwinnett County Board of Commissioners because they lack standing, have failed to exhaust administrative remedies, and/or because they failed to assert any legal or constitutional objections.

Accordingly, the Applicant respectfully requests that the rezoning application submitted by the Applicant relative to the Property be granted and that the Property be rezoned to the zoning classification as shown on the respective application.

This 6th day of May, 2021

Respectfully submitted,  
MAHAFFEY PICKENS TUCKER, LLP

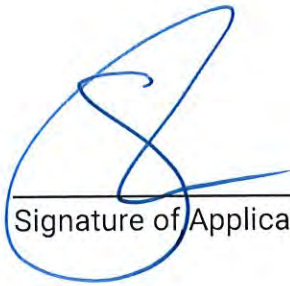


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Shane M. Lanham  
*Attorneys for Applicant*

**REZONING APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



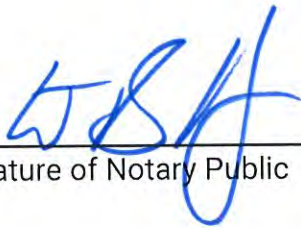
Signature of Applicant

5/5/21

Date

Shane M. Lanham, attorney for the Applicant

Type or Print Name and Title



Signature of Notary Public

5/5/2021

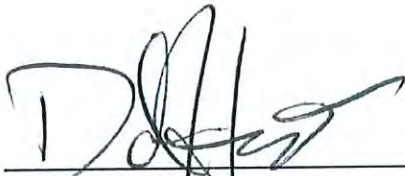
Date



Notary Seal

**REZONING PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.



Signature of Property Owner

5/6/21

Date

Labri Group, LP

Type or Print Name and Title



Signature of Notary Public

5/6/21

Date



**REZONING PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

*Randy K. Powell*

*5/6/2021*

Signature of Property Owner

Date

*RANDY K. POWELL*

Type or Print Name and Title

*[Signature]*

*5/6/21*



Signature of Notary Public

Date



**CONFLICT OF INTEREST CERTIFICATION FOR REZONING**

The undersigned below, making application for a Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

SIGNATURE OF APPLICANT	DATE	TYPE OR PRINT NAME AND TITLE
	5/5/21	Shane M. Lanham, attorney for the Applicant
SIGNATURE OF APPLICANT'S ATTORNEY OR REPRESENTATIVE	DATE	TYPE OR PRINT NAME AND TITLE
	5/5/21	
SIGNATURE OF NOTARY PUBLIC	DATE	NOTARY SEAL



**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES     NO    Mahaffey Pickens Tucker, LLP  
 YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)
NA		

Attach additional sheets if necessary to disclose or describe all contributions.

TM  
Alcovy

**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

**PARCEL I.D. NUMBER:**      5                      - 236                      - 001  
(Map Reference Number)      District                      Land Lot                      Parcel



Signature of Applicant


5/5/21  
Date

Shane M. Lanham, attorney for the Applicant  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

  
NAME

TSA II  
TITLE

5/5/2021  
DATE



inspired by you®

The Atwood | 4 Bedrooms | 2.5 Bathrooms | Flex | 2-Car Garage | 2,696 - 2,732 Sq. Ft.



ELEVATION D



ELEVATION E



ELEVATION F



ELEVATION F



inspired by you®

The Prescott | 4 Bedrooms | 2.5 Bathrooms | Flex | 2-Car Garage | 2,486 - 2,500 Sq. Ft.



ELEVATION D



ELEVATION E



ELEVATION F



ELEVATION F



inspired by you®

The Sheridan 5 Bedrooms | 4 Bathrooms | Loft | 2-Car Garage | 3,236 - 3,265 Sq. Ft.



ELEVATION E



ELEVATION G



ELEVATION H



ELEVATION H



inspired by you®

The Wakehurst | 4 Bedrooms | 2.5 Bathrooms | Flex | 2-Car Garage | 3,057 - 3,173 Sq. Ft.



ELEVATION D



ELEVATION E



ELEVATION F



ELEVATION E



GWINNETT COUNTY

PLANNING AND DEVELOPMENT

RECEIVED

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GWINNETT COUNTY  
PLANNING AND DEVELOPMENT  
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**GWINNETT COUNTY**

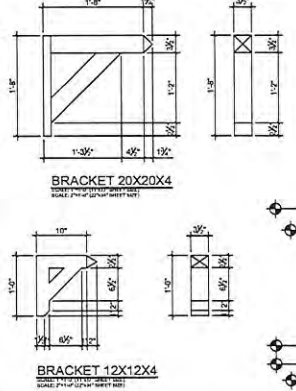
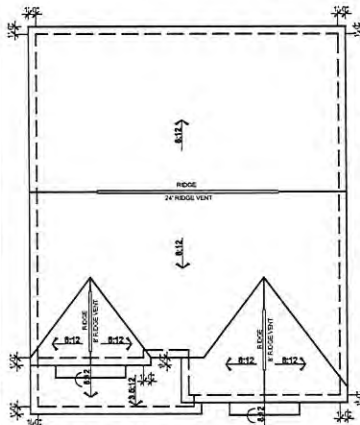
**PLANNING AND DEVELOPMENT**

RECEIVED

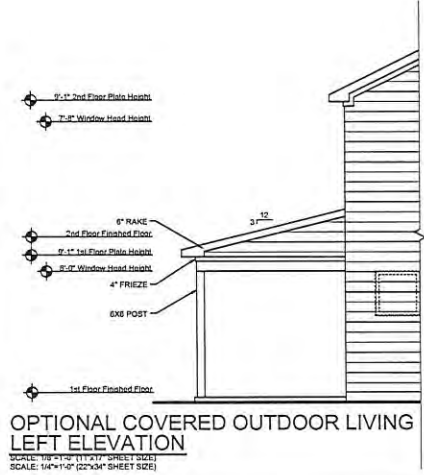
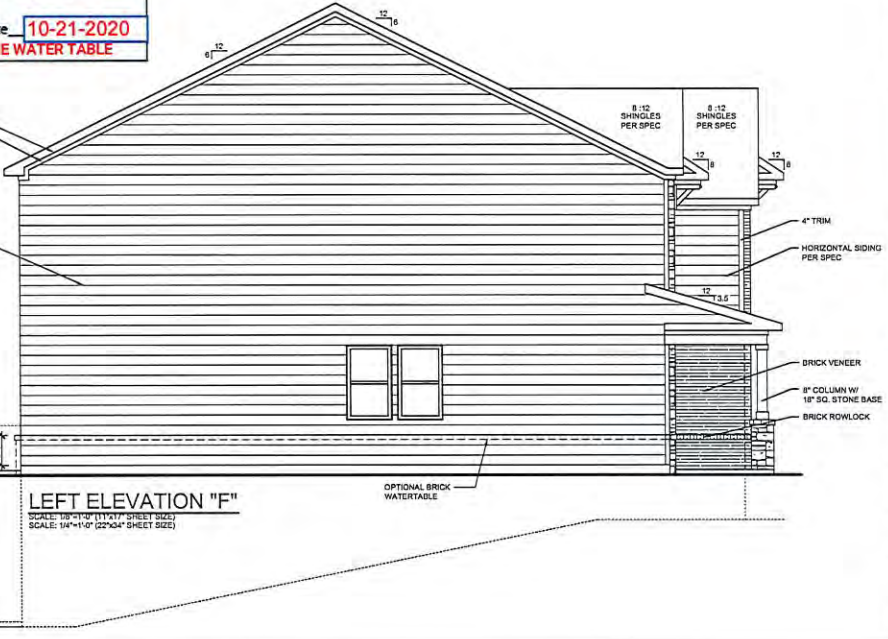
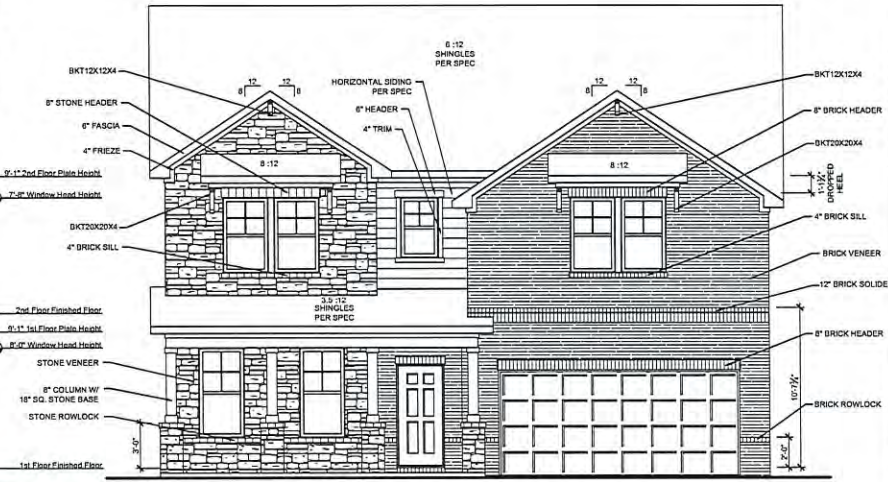
06/03/2021 @ 3:01 PM



ATTIC VENTILATION	
<b>ROOF "F"</b>	
1814 SQ FT UNDER ROOF ATTIC	330 SQ FT / 1.50 FT <sup>2</sup> = 6.25' SQ FT VENTILATION
RIDGE VENTS 18 SQ IN = (125 SQ FT)	SOFFIT VENTS 5 SQ IN = (3025 SQ FT)
BOX VENTS 50 SQ IN = (347 SQ FT)	
6.25' SQ FT x 50% = 3.025 SQ FT OF RIDGE	6.25' SQ FT x 50% = 3.025 SQ FT OF SOFFIT
RIDGE VENT 3.025' SQ FT = 24.2 FEET OF RIDGE VENT	SOFFIT VENT 3.025' SQ FT = 48.4 FEET OF SOFFIT VENT
SOFFIT VENT 3.025' SQ FT = 48.4 FEET OF SOFFIT VENT	SOFFIT VENT 3.025' SQ FT = 48.4 FEET OF SOFFIT VENT
ACTUAL RIDGE VENT PROVIDED 40 FEET	ACTUAL SOFFIT VENT PROVIDED 52 FEET
NUMBER OF BOX VENTS NEEDED 4.5 COUNT (NEGATIVE = 0)	
<b>POORCH ROOF "F"</b>	
137 SQ FT UNDER ROOF	150 SQ FT / 1.50 FT <sup>2</sup> = 0.91' SQ FT VENTILATION
SOFFIT VENTS 9 SQ IN = (3025 SQ FT)	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT 0.913' SQ FT = 14.6 FEET OF SOFFIT VENT	SOFFIT VENT 0.913' SQ FT = 14.6 FEET OF SOFFIT VENT
ACTUAL SOFFIT VENT PROVIDED 23 FEET	
<b>COVID OUTDOOR LIVING ROOF</b>	
150 SQ FT / 1.50 FT <sup>2</sup> = 0.80' SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (3025 SQ FT)	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT 0.800' SQ FT = 12.8 FEET OF SOFFIT VENT	SOFFIT VENT 0.800' SQ FT = 12.8 FEET OF SOFFIT VENT
ACTUAL SOFFIT VENT PROVIDED 14 FEET	



Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Lee (Sign)* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**



**MAIN STREET**  
Design by  
Wakehurst Architects, LLC  
3000 North Point Parkway, Suite 295  
Alpharetta, Georgia 30022  
770.945.3600  
www.wakehurstarch.com

Revised Date: 8/18/2020

Wakehurst  
Elevations / Roof Plan  
Front & Left

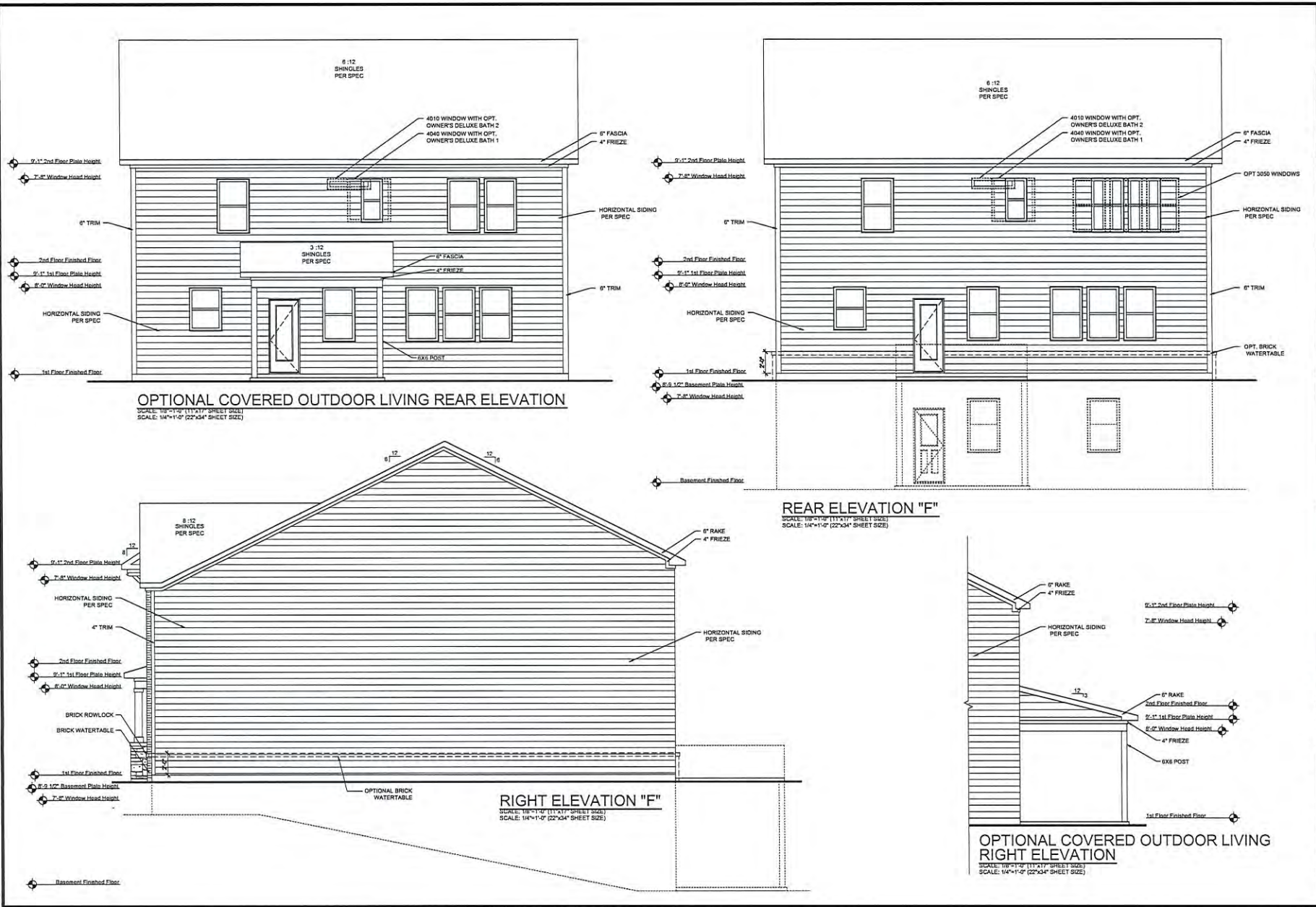
4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor morrison**  
Homes Inspired by You

Plan Name: WAKEHURST  
Division: Atlanta  
Municipality: County

Lot Number:  
Scale: 1/4"=1'-0" (11"x17" SHEET SIZE)  
1/8"=1'-0" (22"x34" SHEET SIZE)  
Unless Otherwise Noted  
Sheet: A-3.0F





Revised Date: 8/18/2020

Model: WAKEHURST	Drawing Title: Elevations	Rear & Right
	Client Description:	

4400 North Point Parkway  
 Suite 295  
 Alpharetta, Georgia 30022  
 (770) 945-3600



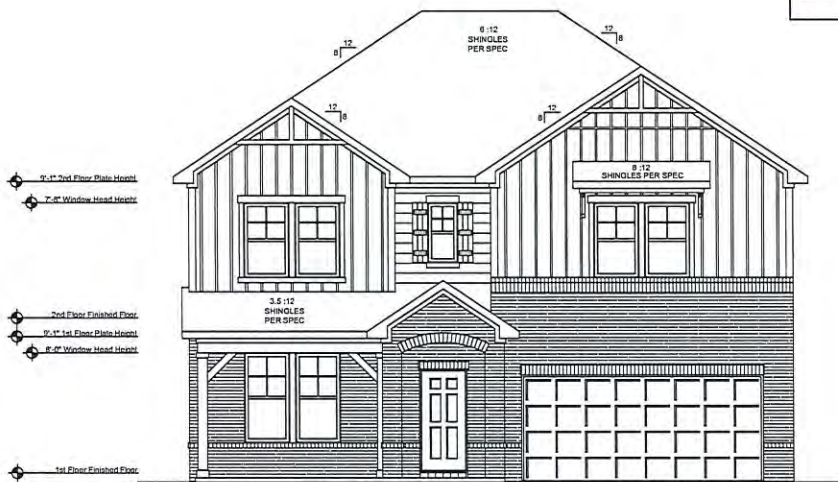
Plan Name: WAKEHURST  
 Division: Atlanta  
 Municipality: County  
 Community:  
 Lot Number:

Scale: 1/8"=1'-0" / 1/4"=1'-0" / 1/2"=1'-0"  
 Sheet: A-3.1F

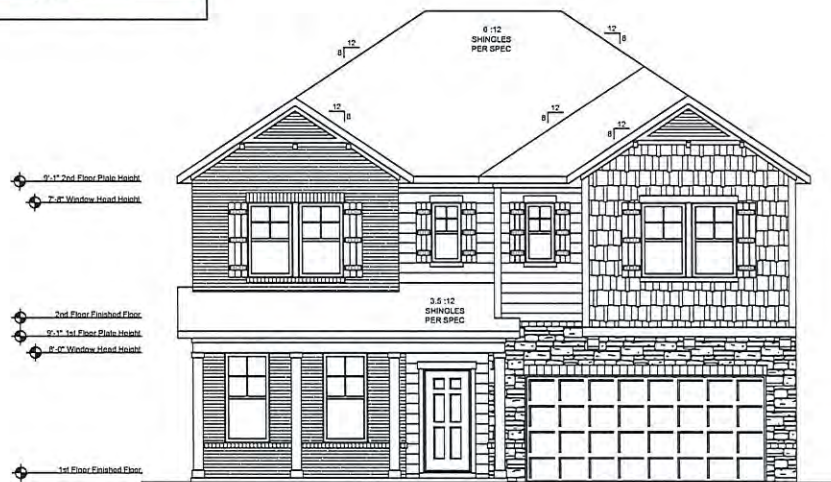
ALCOVY CLUB

Architectural Elevation  
 Approved by Director  
 Gwinnett County Planning and Development

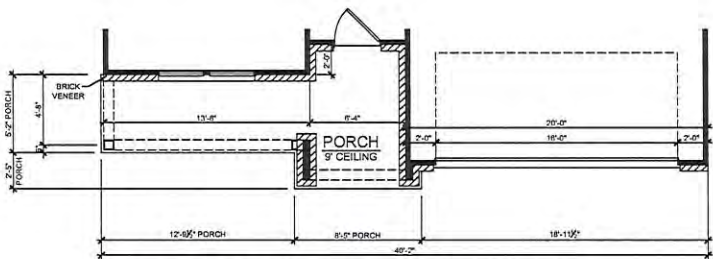
*Sharon Goe (ASPM)* Date **12-04-2020**



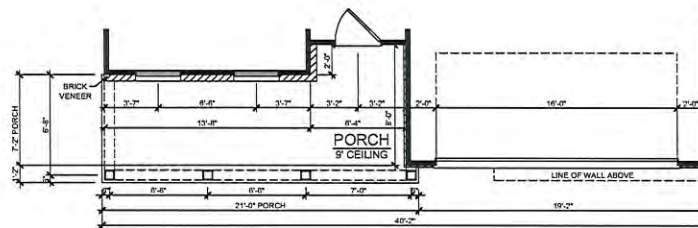
**FRONT ELEVATION "G"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**FRONT ELEVATION "H"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**1st FLOOR PARTIAL PLAN - ELEVATION "G"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**1st FLOOR PARTIAL PLAN - ELEVATION "H"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

Main Street Designs of Georgia, LLC is a professional residential design firm. Because the design conditions may vary, Main Street Designs of Georgia, LLC cannot warrant the suitability of these plans for use on your specific site. Construction of these plans should not be undertaken without the assistance of a construction professional.

40' - SHERIDAN PLAN Add. Elevations

3050 Royal Blvd., South Suite 135  
 Alpharetta, GA 30022  
 Ph: (404) 480-3881



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 www.MainStreetDesignsLLC.com

TAYLOR MORRISON

December 2, 2020

**ATTIC VENTILATION**

**MAIN ROOF "E"**  
 1541 SQ FT UNDER ROOF ATTS  
 300 SQ FT / 1 SQ FT = 0.14 SQ FT VENTILATION  
 RIDGE VENTS 18 SQ IN = (1.125 SQ FT)  
 SOFFIT VENTS 9 SQ IN = (.9225 SQ FT)  
 BOX VENTS 50 SQ IN = (.347 SQ FT)  
 5.14 SQ FT x 50% = 2.568 SQ FT OF RIDGE  
 5.14 SQ FT x 50% = 2.568 SQ FT OF SOFFIT  
 RIDGE VENT = 2.568 SQ FT = 20.5 FEET OF RIDGE VENT  
 0.125 SQ FT  
 SOFFIT VENT = 2.568 SQ FT = 41.1 FEET OF SOFFIT VENT  
 0.0625 SQ FT  
 ACTUAL RIDGE VENT PROVIDED 22 FEET  
 ACTUAL SOFFIT VENT PROVIDED 41 FEET  
 NUMBER OF BOX VENTS NEEDED -0.5 COUNT (NEGATIVE = 0)

**GARAGE ROOF "E"**

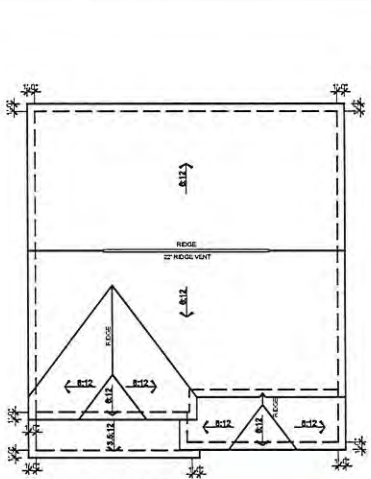
139 SQ FT UNDER ROOF  
 150 SQ FT / 1 SQ FT = 0.93 SQ FT VENTILATION  
 SOFFIT VENTS 9 SQ IN = (.9225 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT  
 SOFFIT VENT = 0.9225 SQ FT = 14.3 FEET OF SOFFIT VENT  
 0.0625 SQ FT  
 ACTUAL SOFFIT VENT PROVIDED 18 FEET

**PORCH ROOF "E"**

93 SQ FT UNDER ROOF  
 150 SQ FT / 1 SQ FT = 0.62 SQ FT VENTILATION  
 SOFFIT VENTS 9 SQ IN = (.9225 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT  
 SOFFIT VENT = 0.620 SQ FT = 9.9 FEET OF SOFFIT VENT  
 0.0625 SQ FT  
 ACTUAL SOFFIT VENT PROVIDED 20 FEET

**COVD OUTDOOR LIVING ROOF**

170 SQ FT UNDER ROOF  
 150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION  
 SOFFIT VENTS 9 SQ IN = (.9225 SQ FT)  
 ASSUME 100% VENTING @ SOFFIT  
 SOFFIT VENT = 0.800 SQ FT = 12.8 FEET OF SOFFIT VENT  
 0.0625 SQ FT  
 ACTUAL SOFFIT VENT PROVIDED 14 FEET



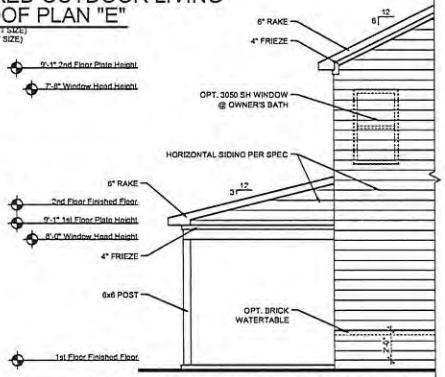
**ROOF PLAN "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)

**ALCOVY CREEK**  
 Architectural Elevation  
 Approved by Director  
 Gwinnett County Planning and Development  
*Sharon Cole (owner)* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON**

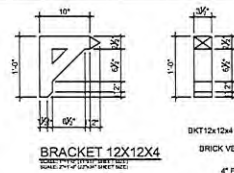
**REAR AND SIDES.**



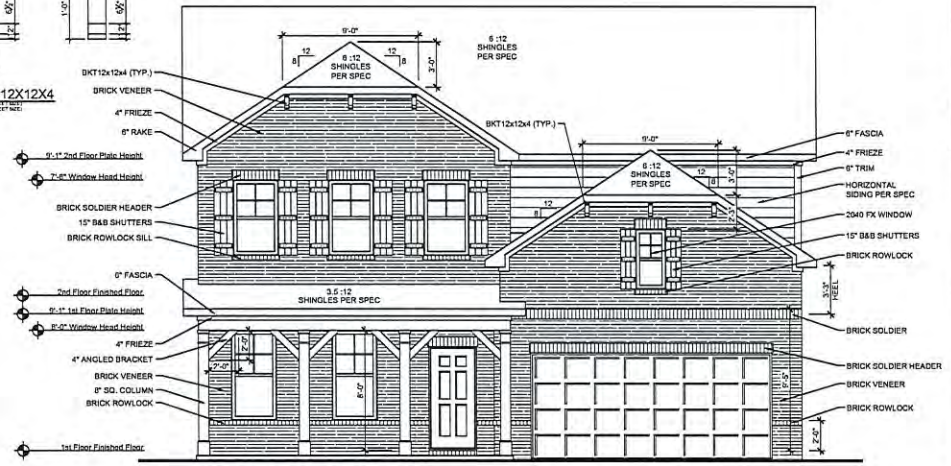
**OPT. COVERED OUTDOOR LIVING PARTIAL ROOF PLAN "E"**  
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 SCALE: 1/8"=1'-0" (22"x34" SHEET SIZE)



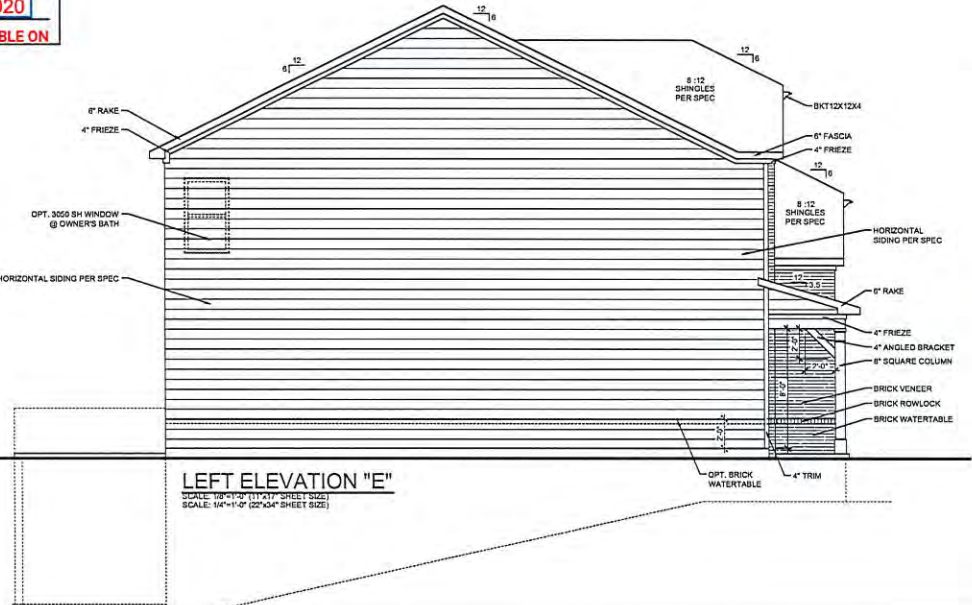
**OPT. COVERED OUTDOOR LIVING PARTIAL LEFT ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**BRACKET 12X12X4**  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**FRONT ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**LEFT ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

**MAIN STREET**  
 Main Street Design Group, LLC  
 3200 Royal Forest Court, Suite 133  
 Atlanta, GA 30341  
 404.940.5881

Revised Date:  
**8/18/2020**

Model: **Atwood**  
 Drawing Title: **Elevations / Roof Plan Front & Left**  
 Drawing File: **Elevations / Roof Plan Front & Left**  
 Clean Description:

4400 North Point Parkway  
 Suite 255  
 Alpharetta, Georgia 30022  
 (770) 945-3600

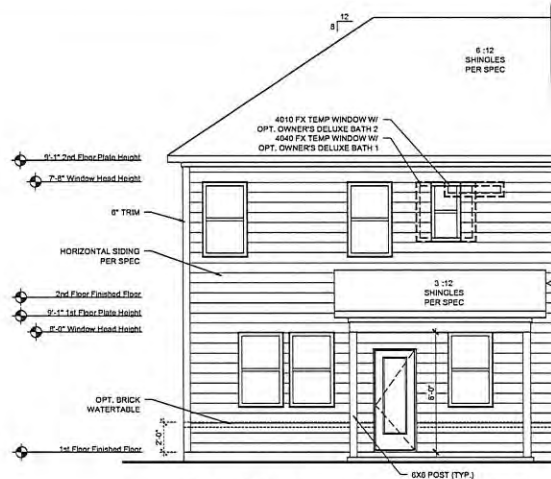
**taylor morrison**  
 Homes Inspired by You

Plan Name: **ATWOOD**  
 Division:  
**Atlanta**  
 Municipality:  
**County**  
 Community:

Lot Number:

Scale:  
 1/16"=1'-0"  
 1/8"=1'-0"  
 1/4"=1'-0"  
 Unless Otherwise Noted

Sheet:  
**A-3.0E**

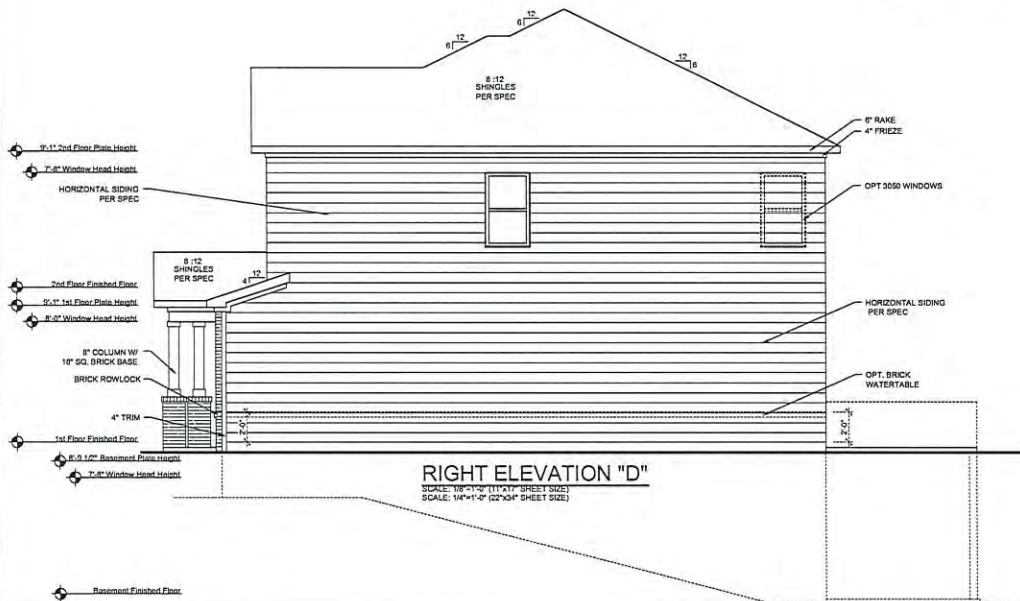


OPT. COVERED OUTDOOR LIVING REAR ELEVATION "D"



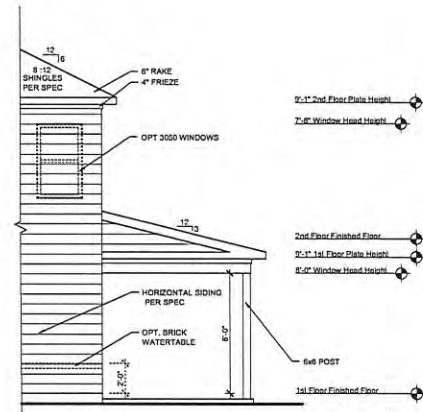
REAR ELEVATION "D"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



RIGHT ELEVATION "D"

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



OPT. COVERED OUTDOOR LIVING RIGHT ELEVATION "D"



Revised Date: 8/18/2020

Model: Prescott	Drawing Title: Elevations
Client Description: Rear & Right	

4400 North Point Parkway  
Suite 205  
Alpharetta, Georgia 30022  
(770) 945-3600



Plan Name: Prescott  
Division: Atlanta  
Municipality: County  
Community:

Lot Number:

Scale: 1/8"=1'-0" (11"x17" SHEET SIZE)  
22x34 - 1/4"=1'-0" Unless Otherwise Noted

Sheet: A-3.1D

**ATTIC VENTILATION**  
**ROOF "E"**

1430 SQ FT UNDER ROOF ATTIC  
200 SQ FT / 1 SQ FT = 4.77 SQ FT VENTILATION  
RIDGE VENTS 18 SQ IN = 1.125 SQ FT  
SOFFIT VENTS 9 SQ IN = (.625 SQ FT)  
ROCK VENTS 9 SQ IN = (.625 SQ FT)  
4.77 SQ FT x 50% = 2.385 SQ FT OF RIDGE  
4.77 SQ FT x 50% = 2.385 SQ FT OF SOFFIT  
RIDGE VENT  
2.385 SQ FT = 19.1 FEET OF RIDGE VENT  
SOFFIT VENT  
2.385 SQ FT = 38.1 FEET OF SOFFIT VENT  
0.625 SQ FT

ACTUAL RIDGE PROVIDED 32 FEET  
ACTUAL SOFFIT PROVIDED 50 FEET  
NUMBER OF ROOF VENTS NEEDED -4.5 COUNT (NEGATIVE = 0)

**PORCH ROOF "E"**

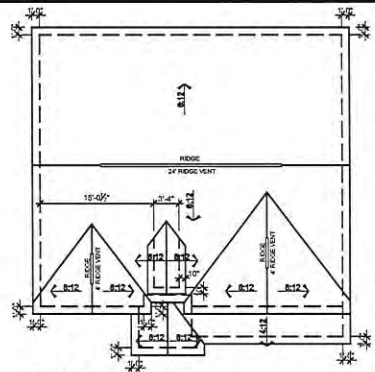
48 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 0.32 SQ FT VENTILATION  
SOFFIT VENTS 9 SQ IN = (.625 SQ FT)  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT  
0.320 SQ FT = 5.1 FEET OF SOFFIT VENT  
0.625 SQ FT

ACTUAL SOFFIT VENT PROVIDED 29 FEET

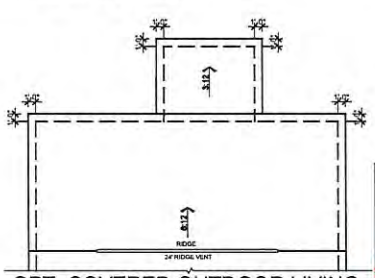
**COV'D OUTDOOR LIVING ROOF**

120 SQ FT UNDER ROOF  
150 SQ FT / 1 SQ FT = 0.80 SQ FT VENTILATION  
SOFFIT VENTS 9 SQ IN = (.625 SQ FT)  
ASSUME 100% VENTING @ SOFFIT  
SOFFIT VENT  
0.800 SQ FT = 12.8 FEET OF SOFFIT VENT  
1.000 SQ FT

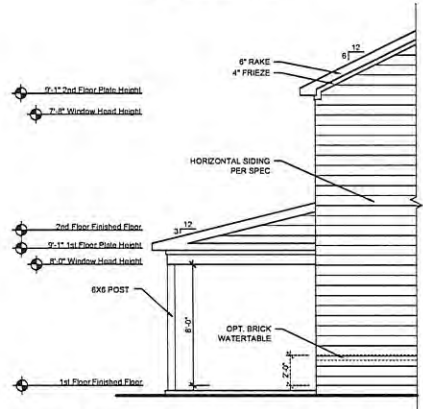
ACTUAL SOFFIT VENT PROVIDED 14 FEET



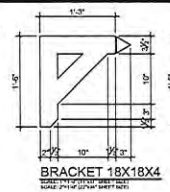
**ROOF PLAN "E"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



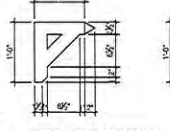
**OPT. COVERED OUTDOOR LIVING ROOF PLAN "E"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING LEFT ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (22x34" SHEET SIZE)



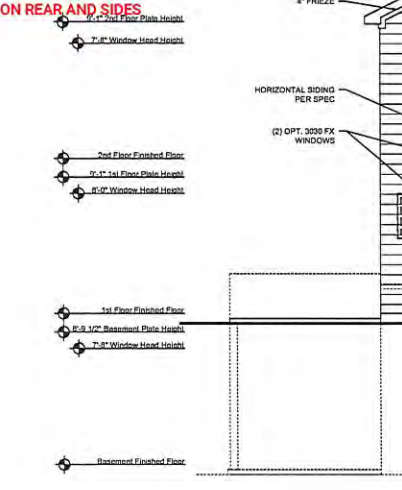
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**BRACKET 12X12X4**  
SCALE: 1/4"=1'-0" (11x17" SHEET SIZE)

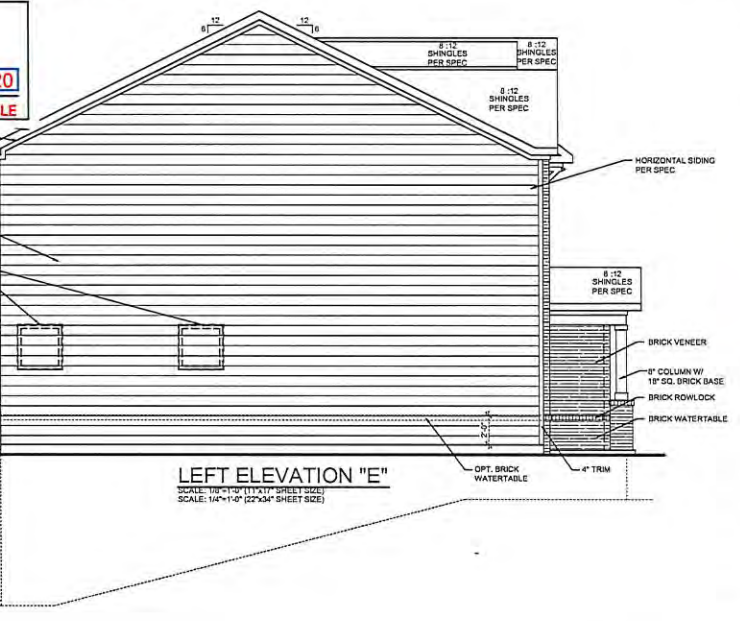
**ALCOVY CREEK**

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development  
*Sharon Cox (signature)* Date **10-21-2020**  
**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE**



**FRONT ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

**ON REAR AND SIDES**



**LEFT ELEVATION "E"**  
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

**MAIN STREET**  
Design by  
Main Street Design, LLC  
Katie Brown, Designer  
3000 Royal Blvd., Suite 100  
Atlanta, GA 30329  
404.525.1000

Revised Date:  
**8/18/2020**

Model: **Prescott**  
Drawing Title: **Elevations / Roof Plan**  
Option Description: **Front & Left**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

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Plan Name:  
**Prescott**

Division:  
**Atlanta**

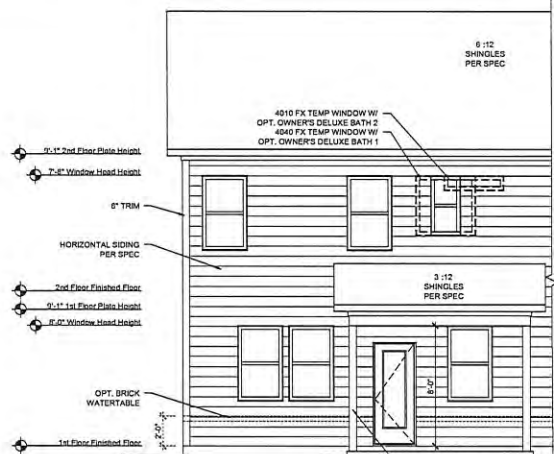
Municipality:  
**County**

Community:

Lot Number:

Scale:  
1 1/2" = 1'-0"  
3/8" = 1'-0"  
Unless Otherwise Noted

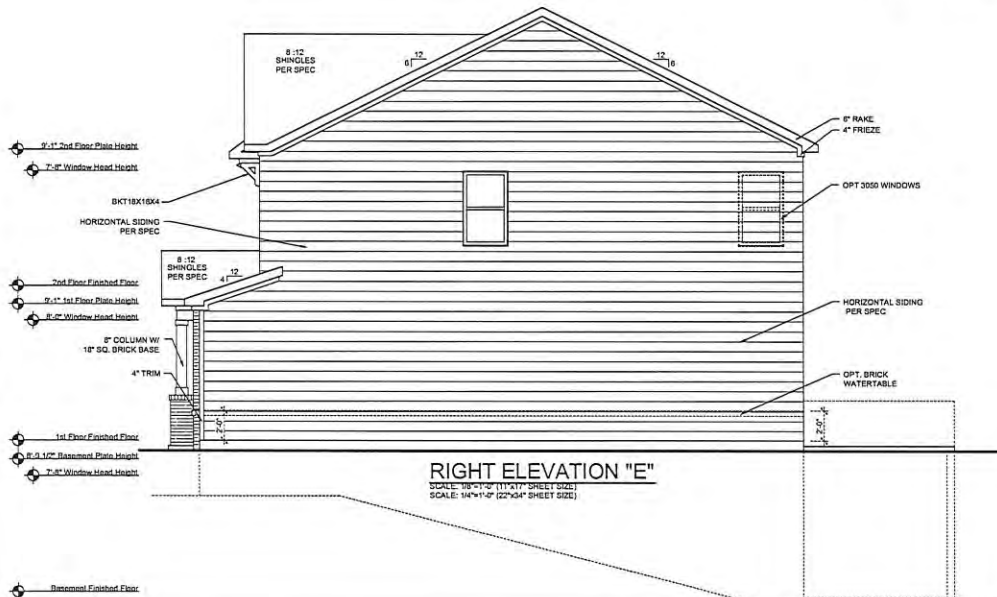
Sheet:  
**A-3.0E**



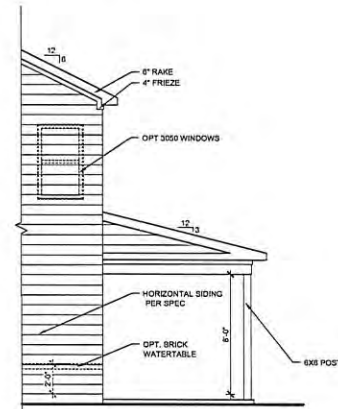
**OPT. COVERED OUTDOOR LIVING REAR ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**REAR ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**RIGHT ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING RIGHT ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)

MAIN STREET  
 Design by  
 Main Street Design, LLC  
 3000 Alpharetta Road, Suite 100  
 Alpharetta, GA 30009  
 770.440.0000

Revised Date:  
 8/18/2020

Model: Prescott  
 Drawing Title: Elevations  
 Option Description: Rear & Right

4400 North Point Parkway  
 Suite 295  
 Alpharetta, Georgia 30022  
 (770) 945-3600

taylor morrison  
 Homes Inspired by You

Plan Name: Prescott  
 Division:  
 Atlanta  
 Municipality: County  
 Community:

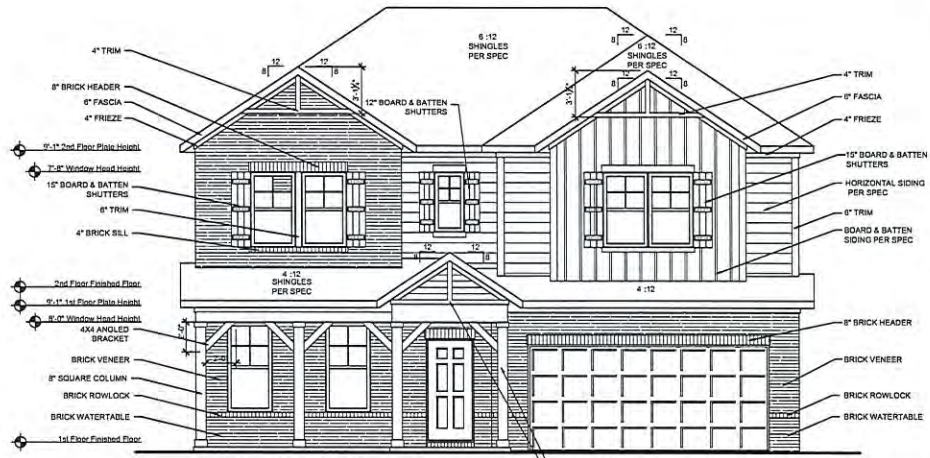
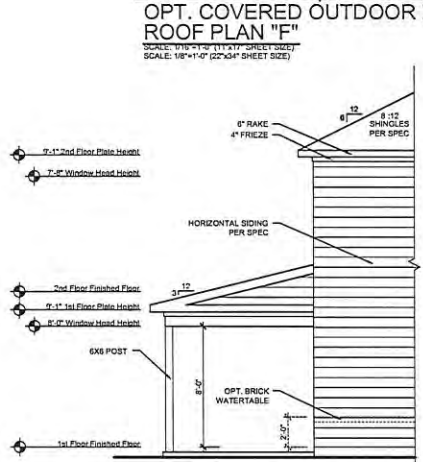
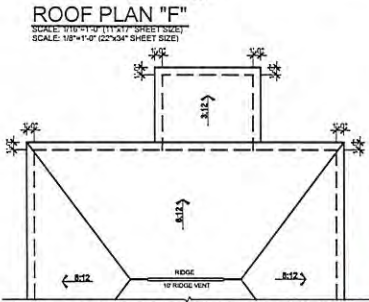
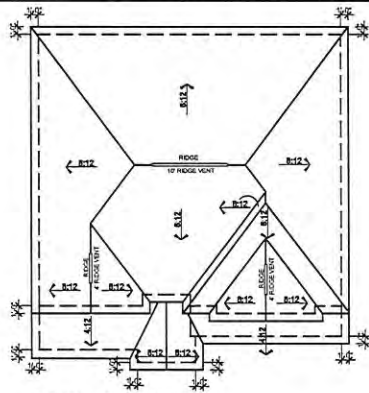
Lot Number:

Scale:  
 1/8"=1'-0"  
 1/4"=1'-0"  
 Unless Otherwise Noted

Sheet:  
 A-3.1E

ATTIC VENTILATION	
ROOF "F"	
1444 SQ FT UNDER ROOF ATTIC	4.81 SQ FT VENTILATION
200 SQ FT (11 SQ FT)	
RIDGE VENTS 18 SQ IN = (125 SQ FT)	
SOFFIT VENTS 9 SQ IN = (1025 SQ FT)	
BOX VENTS 50 SQ IN = (447 SQ FT)	
4.81 SQ FT x 50% = 2.407 SQ FT OF RIDGE	
4.81 SQ FT x 50% = 2.407 SQ FT OF SOFFIT	
RIDGE VENT	2.407 SQ FT = 19.3 FEET OF RIDGE VENT
SOFFIT VENT	0.125 SQ FT = 38.5 FEET OF SOFFIT VENT
ACTUAL RIDGE VENT PROVIDED	18 FEET
ACTUAL SOFFIT VENT PROVIDED	115 FEET
NUMBER OF BOX VENTS NEEDED	0.4 COUNT
(REQ - ACTUAL x .547)	(NEGATIVE = 0)

PORCH ROOF "E"	
170 SQ FT UNDER ROOF	
150 SQ FT (11 SQ FT)	0.89 SQ FT VENTILATION
SOFFIT VENTS 9 SQ IN = (1025 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	0.890 SQ FT = 12.8 FEET OF SOFFIT VENT
ACTUAL SOFFIT VENT PROVIDED	14 FEET

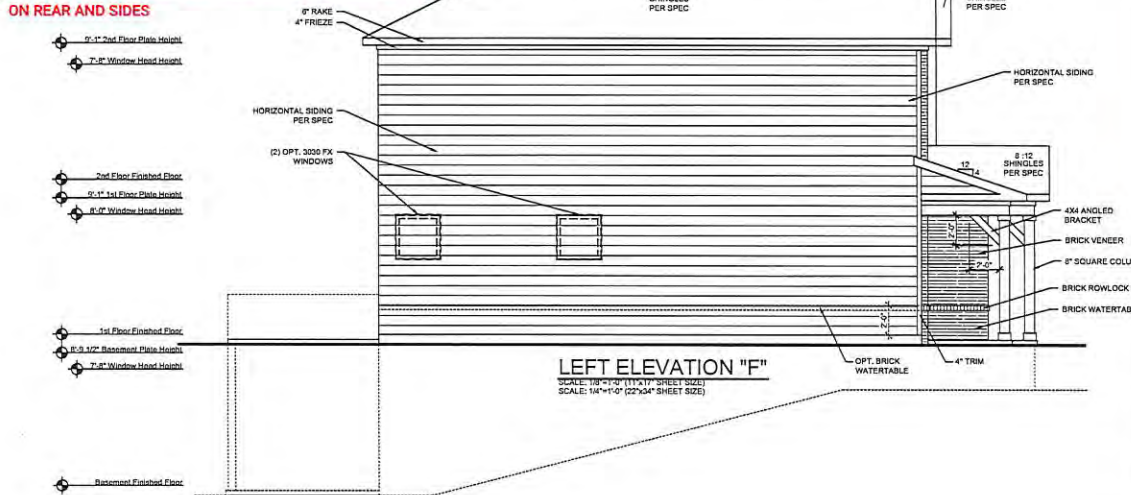


ALCOVY CREEK

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

*Sharon Cole* (signature)  
date 10-21-2020

2 FT MINIMUM BRICK OR STACKED STONE ON WATER TABLE



MAIN STREET  
Design by  
Main Street Design, LLC  
1000 Airport Blvd., Suite 100  
Atlanta, GA 30328  
Tel: (404) 500-9881

Revised Date:  
8/18/2020

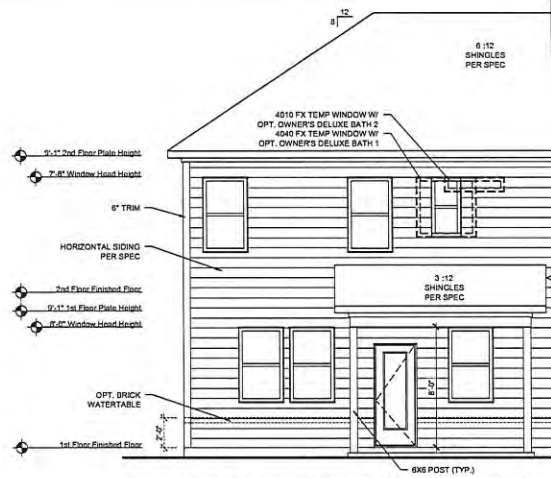
Model: Prescott  
Drawing Title: Elevations / Roof Plan  
Front & Left  
Open Description

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

taylor morrison  
Homes Inspired by You

Plan Name: Prescott  
Division: Atlanta  
Municipality: County  
Community:

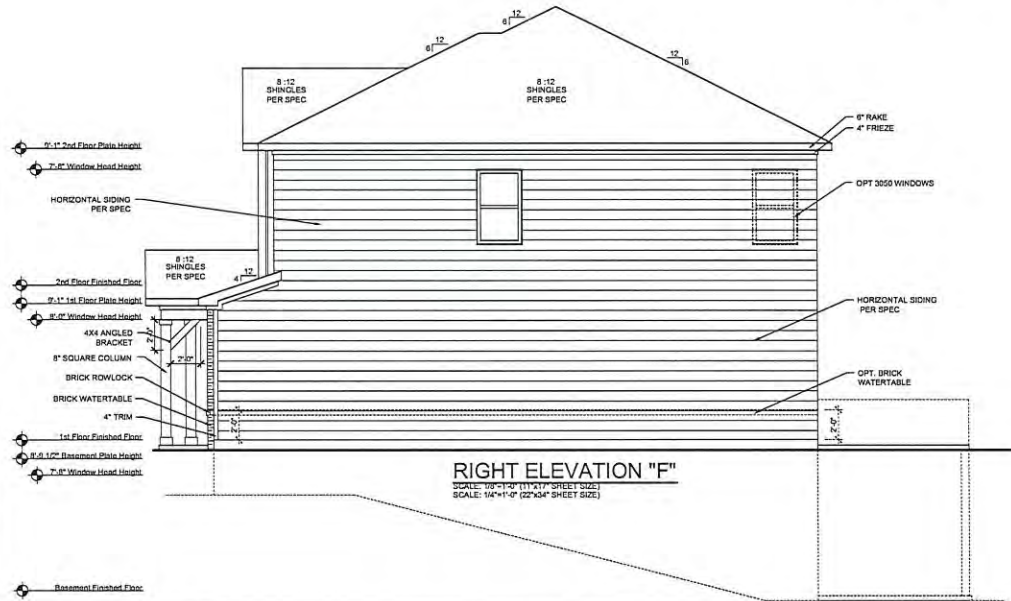
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22x34 - 1/4"=1'-0"  
Unless Otherwise Noted  
Sheet: A-3.0F



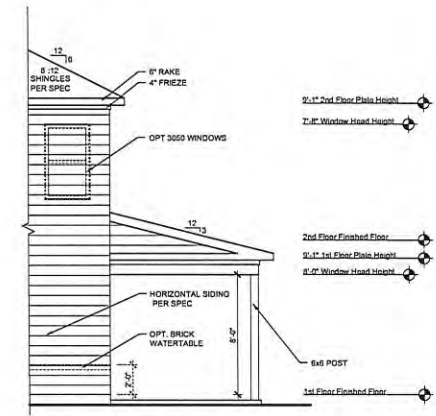
**OPT. COVERED OUTDOOR LIVING REAR ELEVATION "F"**  
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**REAR ELEVATION "F"**  
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**RIGHT ELEVATION "F"**  
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)



**OPT. COVERED OUTDOOR LIVING RIGHT ELEVATION "F"**  
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22x34" SHEET SIZE)

**MAIN STREET**  
 Drafted by: Gwinnett, LLC  
 Main Street Design & Construction, LLC  
 3005 North Point Parkway, Suite 205  
 Alpharetta, GA 30022  
 (770) 945-3600  
 www.mainstreetdesign.com

Revised Date:  
 8/18/2020

Model:	Prescott
Drawing Title:	Elevations
Client Description:	Rear & Right

4400 North Point Parkway  
 Suite 205  
 Alpharetta, Georgia 30022  
 (770) 945-3600



Plan Name:  
 Prescott

Division:  
 Atlanta

Municipality:  
 County

Community:

Lot Number:

Scale:  
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 1/8"=1'-0" (22x34" SHEET SIZE)  
 Unless Otherwise Noted

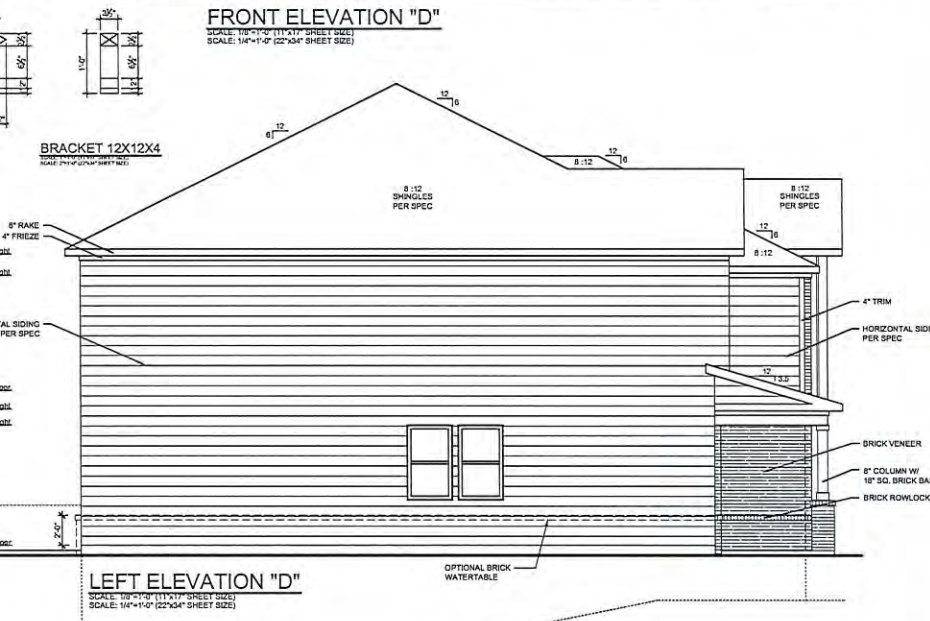
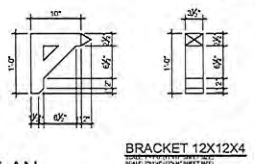
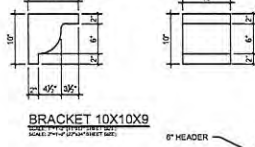
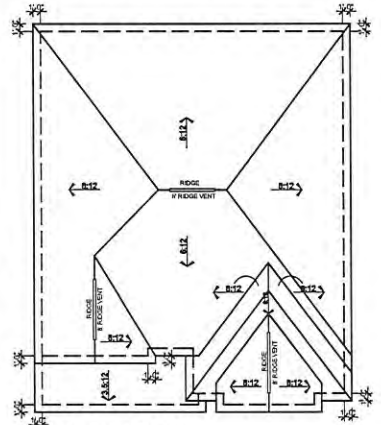
Sheet:  
 A-3.1F



ATTIC VENTILATION ROOF "D"	
1832 SQ FT UNDER ROOF ATTIC	
300 SQ FT (71 SQ FT) SOFFIT VENT = 0.11 SQ FT VENTILATION	
RIDGE VENTS 18 SQ IN = (128 SQ FT)	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
BOX VENTS 50 SQ IN = (347 SQ FT)	
6.11 SQ FT * 50% = 3.053 SQ FT OF RIDGE	
6.11 SQ FT * 50% = 3.053 SQ FT OF SOFFIT	
3.053 SQ FT = 24.4 FEET OF RIDGE VENT	
0.125 SQ FT = 1.0 FEET OF SOFFIT VENT	
3.053 SQ FT = 48.9 FEET OF SOFFIT VENT	
0.0625 SQ FT = 0.5 FEET OF SOFFIT VENT	
ACTUAL RIDGE VENT PROVIDED	22 FEET
ACTUAL SOFFIT VENT PROVIDED	159 FEET
NUMBER OF BOX VENTS NEEDED	0.8 COUNT
(REQ - ACTUAL * .347)	(NEGATIVE = 0)

PORCH ROOF "D"	
137 SQ FT UNDER ROOF	
150 SQ FT (11 SQ FT) SOFFIT VENT = 0.31 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	0.613 SQ FT = 14.8 FEET OF SOFFIT VENT
0.0625 SQ FT = 0.5 FEET OF SOFFIT VENT	
ACTUAL SOFFIT VENT PROVIDED	23 FEET

COVER'D OUTDOOR LIVING ROOF	
170 SQ FT UNDER ROOF	
150 SQ FT (11 SQ FT) SOFFIT VENT = 0.31 SQ FT VENTILATION	
SOFFIT VENTS 9 SQ IN = (0.625 SQ FT)	
ASSUME 100% VENTING @ SOFFIT	
SOFFIT VENT	0.609 SQ FT = 12.6 FEET OF SOFFIT VENT
0.0625 SQ FT = 0.5 FEET OF SOFFIT VENT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET

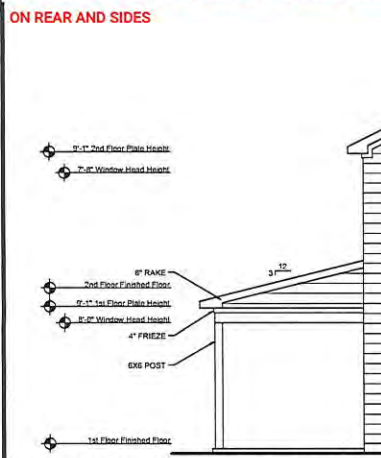


**ALCOVY CREEK**

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

*Sharon Cole (owner)* Date: **10-21-2020**

**2 FT MINIMUM BRICK OR STACKED STON WATER TABLE**



**MAIN STREET**  
Design by Gwinnett, LLC  
Main Street Design & Construction, LLC  
3000 North Peachtree Street, Suite 133  
Atlanta, Georgia 30305  
Tel: (404) 450-1000

Revised Date:  
**8/18/2020**

Model: **WAKEHURST**

Drawing Title: **Elevations / Roof Plan**

Section Description: **Front & Left**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor morrison**  
Homes Inspired by You

Plan Name: **WAKEHURST**

Division: **Atlanta**

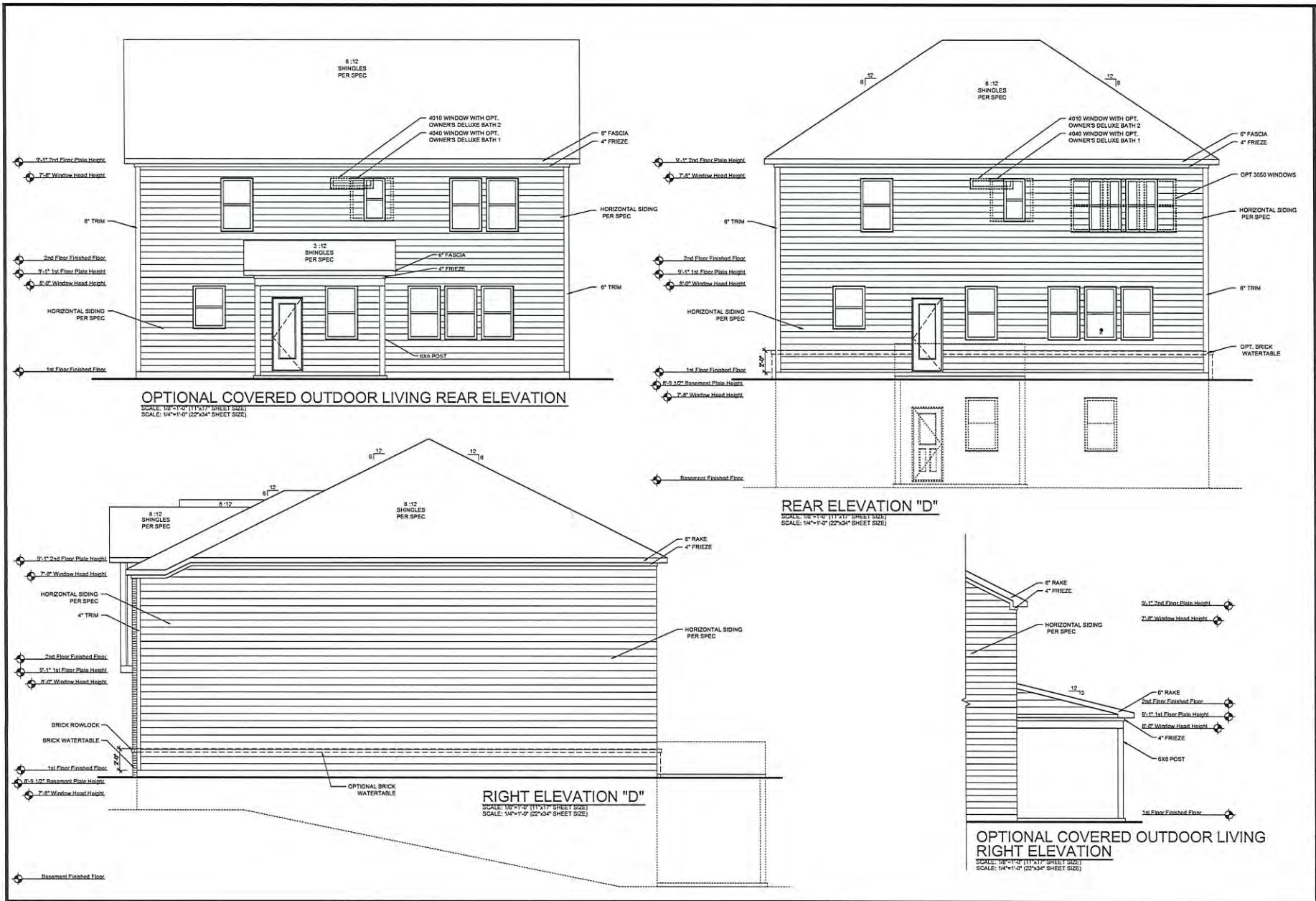
Municipality: **County**

Community:

Lot Number:

Scale:  
11x17 - 1/8"=1'-0"  
22x34 - 1/4"=1'-0"  
Unless Otherwise Noted

Sheet:  
**A-3.0D**



MAIN STREET  
 Design by  
 Main Street Design, LLC  
 3000 Royal Blvd., Suite 103  
 Atlanta, GA 30329  
 404.945.3600

Revised Date:  
 8/18/2020

Model:	WAKEHURST
Drawing Title:	Elevations
Option Description:	Rear & Right

4400 North Point Parkway  
 Suite 295  
 Alpharetta, Georgia 30022  
 (770) 945-3600



Plan Name:  
 WAKEHURST

Division:  
 Atlanta

Municipality:  
 County

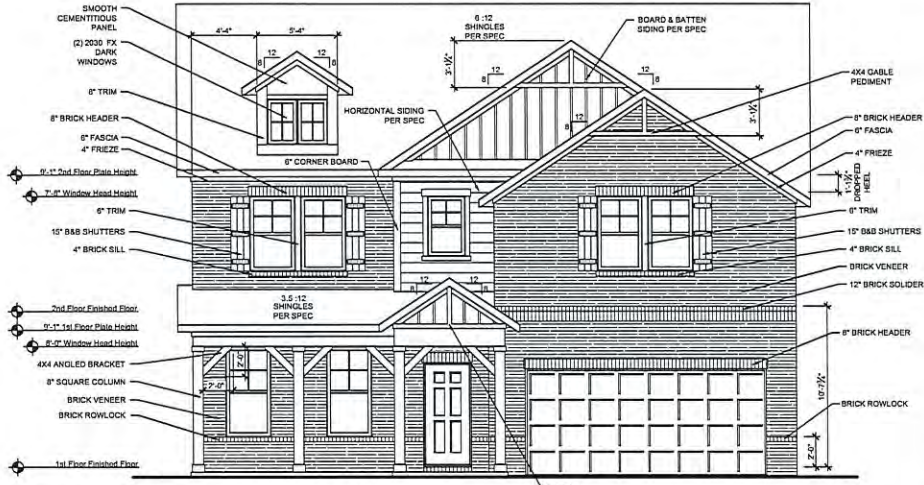
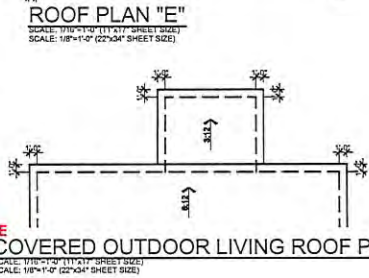
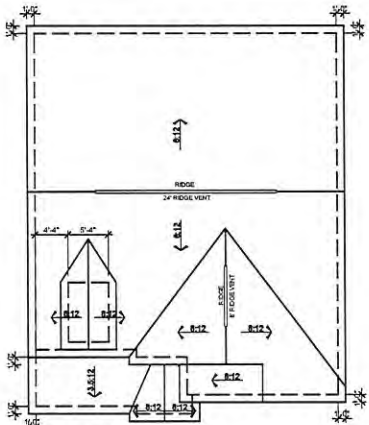
Community:

Lot Number:

Scale:  
 11x17 - 1/8"=1'-0"  
 22x34 - 1/4"=1'-0"  
 Unless Otherwise Noted

Sheet:  
 A-3.1D

ATTIC VENTILATION	
<b>ROOF "E"</b>	
1867 SQ FT UNDER ROOF ATTIC	300 SQ FT 1" SOFFIT = 0.80 SQ FT VENTILATION
RIDGE VENTS 18 SQ IN = 1.125 SQ FT	SOFFIT VENTS 9 SQ IN = 0.625 SQ FT
ROCK VENTS 50 SQ IN = 3.125 SQ FT	
6.02 SQ FT x 50% = 3.012 SQ FT OF RIDGE	6.02 SQ FT x 50% = 3.012 SQ FT OF SOFFIT
RIDGE VENT	3.012 SQ FT = 24.1 FEET OF RIDGE VENT
SOFFIT VENT	3.012 SQ FT = 48.2 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL RIDGE VENT PROVIDED	32 FEET
ACTUAL SOFFIT VENT PROVIDED	69 FEET
NUMBER OF BOX VENTS NEEDED	-2.7 COUNT (NEGATIVE = 0)
(REQ - ACTUAL x 347)	
<b>PORCH ROOF "E"</b>	
152 SQ FT UNDER ROOF	150 SQ FT 1" SOFFIT = 0.80 SQ FT VENTILATION
SOFFIT VENTS 9 SQ IN = 0.625 SQ FT	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT	1.613 SQ FT = 16.2 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	8 FEET
<b>COVD'D OUTDOOR LIVING ROOF</b>	
170 SQ FT UNDER ROOF	150 SQ FT 1" SOFFIT = 0.80 SQ FT VENTILATION
SOFFIT VENTS 9 SQ IN = 0.625 SQ FT	ASSUME 100% VENTING @ SOFFIT
SOFFIT VENT	1.613 SQ FT = 12.8 FEET OF SOFFIT VENT
0.0625 SQ FT	
ACTUAL SOFFIT VENT PROVIDED	14 FEET

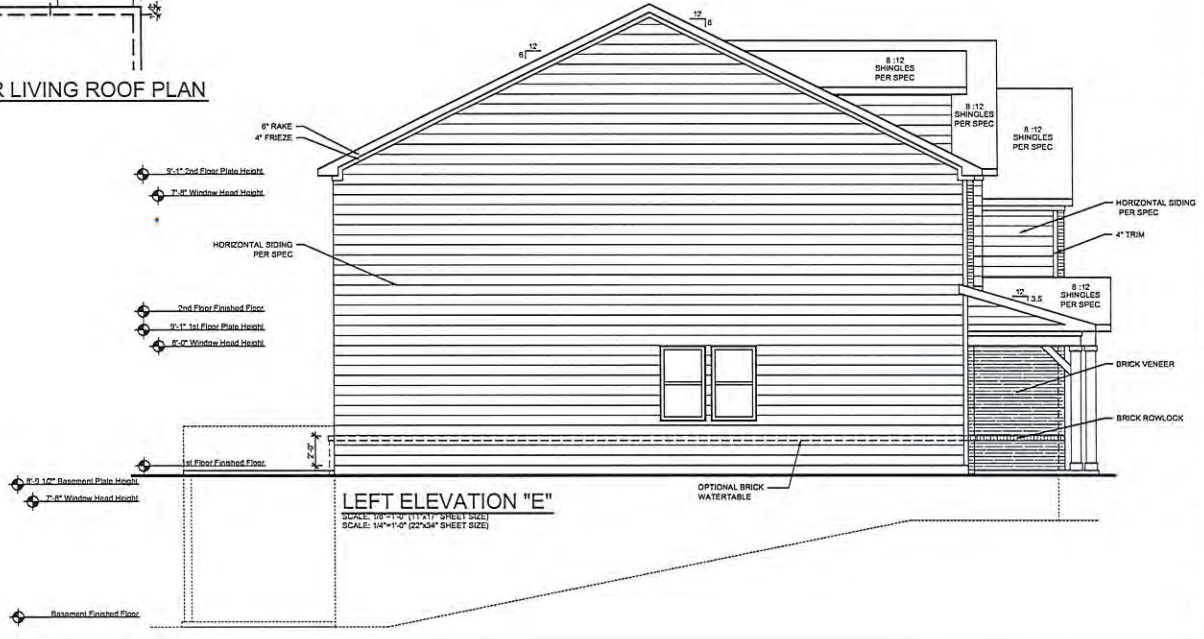
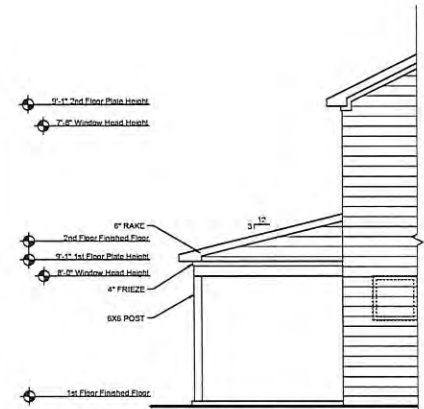


**ALCOVY CREEK**

Architectural Elevation  
Approved by Director  
Gwinnett County Planning and Development

*Sharon Gier (owner)* Date: **10-21-2020**

**2 FT MINIMUM BRICK OR STACKED STONE WATER TABLE ON REAR AND SIDES**



**MAIN STREET**  
Design by Gwinnett, LLC  
www.GwinnettDesign.com  
3000 Airport Blvd., Suite 100  
Atlanta, GA 30328  
(404) 480-0881

Revised Date: **8/18/2020**

Project: **WAKEHURST**

Drawing Title: **Elevations / Roof Plan**

Sheet: **Front & Left**

4400 North Point Parkway  
Suite 295  
Alpharetta, Georgia 30022  
(770) 945-3600

**taylor morrison**  
Homes Inspired by You

Plan Name: **WAKEHURST**

Division: **Atlanta**

Municipality: **County**

Community:

Lot Number:

Scale: 1/4"=1'-0" (11"x17" SHEET SIZE)  
22"x34" - 1/4"=1'-0"  
Unless Otherwise Noted

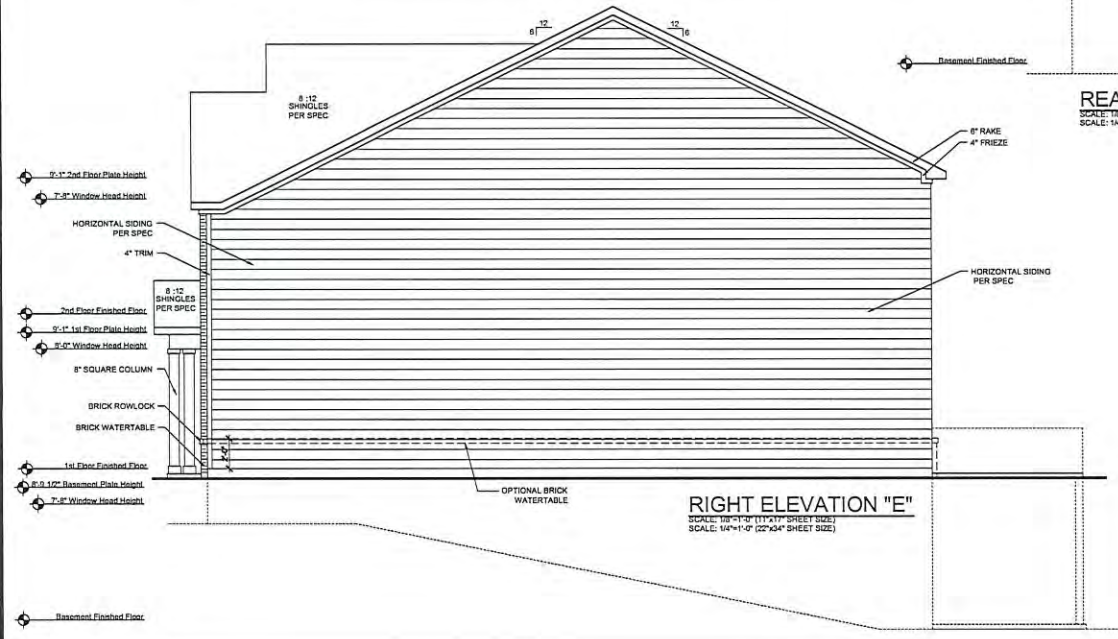
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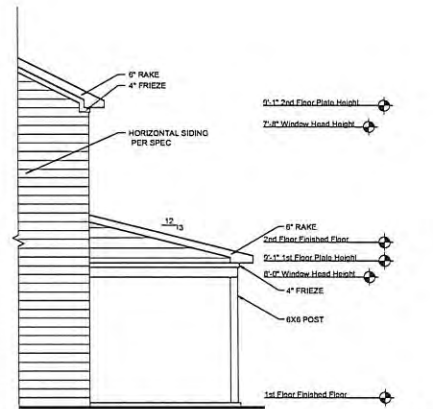
**OPTIONAL COVERED OUTDOOR LIVING REAR ELEVATION**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**REAR ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**RIGHT ELEVATION "E"**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



**OPTIONAL COVERED OUTDOOR LIVING RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (22"x34" SHEET SIZE)



Revised Date:  
 8/18/2020

Model:	WAKEHURST
Drawing Title:	Elevations
Open Description:	Rear & Right

4400 North Point Parkway  
 Suite 255  
 Alpharetta, Georgia 30022  
 (770) 915-3600



Plan Name:	WAKEHURST
Division:	Atlanta
Municipality:	County
Community:	
Lot Number:	

Scale:  
 1/8"=1'-0"  
 22x34 - 1/4"=1'-0"  
 Unless Otherwise Noted  
 Sheet:  
 A-3.1E

**GWINNETT COUNTY**  
PLANNING AND DEVELOPMENT  
RECEIVED  
06/03/2021 @ 3:01 PM

# ROBERT JACKSON WILSON, PC

ATTORNEY AT LAW

10 LUMPKIN STREET ■ LAWRENCEVILLE, GEORGIA 30046  
770-962-9780

ROBERT JACKSON WILSON

[jwilson@rjwpcclaw.com](mailto:jwilson@rjwpcclaw.com)

April 16, 2021

Department of Community Affairs  
60 Executive Park South, NE  
Atlanta, GA 30329

RE: City of Dacula, Georgia  
Deannexation Report  
A Portion of Tax Parcel R5236-001 (13.61 Acres)

Dear Sir or Madam:

This law firm represents the City of Dacula, Georgia. The purpose of this letter is to provide the written deannexation report for the City pursuant to O.C.G.A. § 36-36-38 and 36-36-3.

The City of Dacula has deannexed the property described herein and shown on the maps enclosed with this letter. The City annexed the property by vote of the Mayor and Council on April 1, 2021, after the public hearing. The City provided written notice to Gwinnett County as required by law. The County did not object to the deannexation.

The City intends to remove the deannexed area from maps provided by the U. S. Bureau of the Census during their next regularly scheduled boundary and annexation survey of the City, and the survey and map will be completed as instructed and returned to the U. S. Bureau of Census in accordance with the terms of the statute. Should you have any questions or need any additional information, please do not hesitate to contact me.

With best regards, I am

Sincerely yours,



Robert Jackson Wilson

RJW/bka

Enc.

cc: City of Dacula, Georgia  
Gwinnett County Tax Assessors Office  
Shane Lanham, Mahaffey Pickens Tucker, LLP

Case Number: 2021-CD-DEAX-01

**AN ORDINANCE**

AN ORDINANCE TO DEANNEX PROPERTY FROM THE CITY OF DACULA, GEORGIA, PURSUANT TO CHAPTER 36 OF TITLE 36 OF THE OFFICIAL CODE OF GEORGIA ANNOTATED; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

BE IT ORDAINED by the governing authority of the City of Dacula:

SECTION 1.

The following area contiguous to the City of Dacula as described in Appendix A, which is attached to and incorporated as part of this Ordinance, said tract also designated as a portion of Tax Parcel R5236-001 is hereby deannexed from the City of Dacula and is made part of unincorporated Gwinnett County.

SECTION 2.

This ordinance shall become effective on the 1<sup>st</sup> day of April, 2021 for Ad Valorem tax purposes and for all other purposes shall be effective on the first day of the month following the date of this Ordinance.

SECTION 3.

The City Administrator of the City of Dacula is instructed to send certified copies of this ordinance, together with a map and complete survey by a competent surveyor of the area annexed to the Secretary of State of Georgia, to the Director of the Elections Division of the Secretary of State of Georgia, and to the governing authority of Gwinnett County within thirty (30) days after the effective date of the annexation as set forth above in Section 2.

SECTION 4.

This Ordinance will be effective immediately upon its passage and approval.

SECTION 5.

All ordinances and parts of ordinances in conflict within this ordinance are repealed.

AND BE IT SO ORDAINED by the governing authority of the City of Dacula, this 1<sup>st</sup> day of April, 2021.

**GWINNETT COUNTY**

PLANNING AND DEVELOPMENT

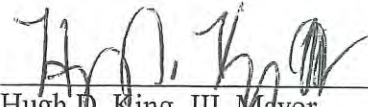
RECEIVED

06/03/2021 @ 3:01 PM

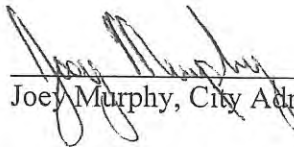
AYES: 3

NAYES: 0

APPROVED  X  or VETO \_\_\_\_\_

  
\_\_\_\_\_  
Hugh D. King, III, Mayor

ATTEST:

  
\_\_\_\_\_  
Joey Murphy, City Administrator





**SURVEY LEGAL DESCRIPTION****ALCOVY**

*All that tract or parcel of land lying and being in Land Lot 236, of the 5th District, in the City of Dacula, Gwinnett County, Georgia, and being more particularly described as follows:*

***BEGINNING*** at a point located at the intersection of the northwesterly right-of-way of Sugarloaf Pkwy (R/W varies) and the common land lot of land lots 236 and 24, said point being the **TRUE POINT OF BEGINNING**; thence running along said northwesterly right of way along a curve to the left an arc distance of 162.22 feet (said arc being subtended by a chord of  $S47^{\circ}40'06''W - 162.22$  feet and having a radius of 4,600.00 feet) to a point; thence continuing along said right of way and running  $S59^{\circ}54'13''W$  for a distance of 51.77 feet to a point; thence continuing along said right of way and running  $S81^{\circ}49'48''W$  a distance of 494.54' to an iron pin set (#4 rebar); thence leaving said right of way and running  $N12^{\circ}14'29''W$  a distance of 1117.69 feet to an iron pin set (#4 rebar); thence running  $N75^{\circ}37'39''E$  for a distance of 339.52 feet to an iron pin found (#4 rebar) located on the common land lot line of land lot 236 and 245 and the boundary line between City of Dacula and unincorporated Gwinnett County; thence running along said land lot line  $S30^{\circ}02'07''E$  for a distance of 1,072.31 feet to a point; thence running  $S30^{\circ}54'29''E$  for a distance of 49.82 feet to a point, which is the **TRUE POINT OF BEGINNING**. Said tract contains 592,742 s.f. (13.61 acres).