

**SPECIAL USE PERMIT APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Four Guys Seafood &amp; Bar</u>	NAME: <u>Pleasant Hill Road Plaza LLC</u>
ADDRESS: <u>1630 Pleasant Hill Rd #160</u>	ADDRESS: <u>PO BOX 358627</u>
CITY: <u>Duluth</u>	CITY: <u>Gainesville</u>
STATE: <u>GA</u> ZIP: <u>30096</u>	STATE: <u>FL</u> ZIP: <u>32635</u>
PHONE: <u>678-580-3439</u>	PHONE: <u>352-215-7780</u>
CONTACT PERSON: <u>Tommy Nguyen</u> PHONE: <u>404-781-7912</u>	
CONTACT'S E-MAIL: <u>4guysseafood@gmail.com</u>	

\*Include any person having a property interest and any person having a financial interest in any business entity having property interest (use additional sheets if necessary).

APPLICANT IS THE:	
<input checked="" type="checkbox"/> OWNER'S AGENT	<input type="checkbox"/> PROPERTY OWNER
<input checked="" type="checkbox"/> CONTRACT PURCHASER	
EXISTING/PROPOSED ZONING: <u>AA012</u>	BUILDING/LEASED SQUARE FEET: <u>4000</u>
PARCEL NUMBER(S): <u>R6204030</u>	ACREAGE: <u>8.70</u>
ADDRESS OF PROPERTY: <u>1630 Pleasant Hill Rd #160 Duluth GA 30096</u>	
SPECIAL USE REQUESTED: <u>Allow to using modified shipping container / supply storage in the back of building</u>	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

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03 2020



## TRACT DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 204 OF THE 6TH DISTRICT OF GWINNETT COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE TRUE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD (HAVING A VARIABLE RIGHT-OF-WAY WIDTH) WITH THE SOUTHERN RIGHT-OF-WAY LINE OF KOGER BOULEVARD (BEING A VARIABLE RIGHT-OF-WAY WIDTH AT THIS POINT) IF THE RIGHT-OF-WAYS WERE EXTENDED TO FORM A POINT OF INTERSECTION INSTEAD OF A MITER; THENCE RUNNING SOUTH 30 DEGREES IN 30 MINUTES 12 SECONDS EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD; THENCE RUNNING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD THE FOLLOWING CALLS SOUTH 30 DEGREES 30 MINUTES 12 SECONDS EAST A DISTANCE OF 30.00 FEET TO A POINT; NORTH 59 DEGREES 56 MINUTES 00 SECONDS EAST A DISTANCE OF 6.00 FEET TO A POINT; AND SOUTH 29 DEGREES 37 MINUTES 05 SECONDS EAST A DISTANCE OF 221.18 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID RIGHT-OF-WAY LINE AND RUNNING ALONG THE PROPERTY LINE OF F.A. SIMS PROPERTIES, INC., THE FOLLOWING CALLS NORTH 60 DEGREES 22 MINUTES 55 SECONDS EAST A DISTANCE OF 211.00 FEET TO AN IRON PIN FOUND; THENCE SOUTH 31 DEGREES 32 MINUTES 35 SECONDS EAST A DISTANCE OF 194.98 FEET TO AN IRON PIN FOUND, SAID POINT BEING THE TRUE POINT OF BEGINNING; FROM SAID TRUE POINT OF BEGINNING AS THUS ESTABLISHED RUNNING ALONG THE PROPERTY LINE OF WAL-MART PROPERTIES, INC., THE FOLLOWING CALLS SOUTH 31 DEGREES 32 MINUTES 35 SECONDS EAST A DISTANCE OF 127.52 FEET TO AN IRON PIN SET; THENCE NORTH 59 DEGREES 42 MINUTES 00 SECONDS EAST, A DISTANCE OF 699.65 FEET TO A P.K. NAIL FOUND AT THE BASE OF THE WALL OF THE WAL-MART BUILDING; THENCE SOUTH 30 DEGREES 18 MINUTES 00 SECONDS EAST A DISTANCE OF 66.00 FEET TO A P.K. NAIL FOUND; THENCE NORTH 59 DEGREES 42 MINUTES 00 SECONDS EAST A DISTANCE OF 103.48 FEET TO A P.K. NAIL FOUND; THENCE SOUTH 05 DEGREES 58 MINUTES 01 SECONDS EAST A DISTANCE OF 334.18 FEET TO AN IRON PIN SET; THENCE NORTH 84 DEGREES 01 MINUTES 59 SECONDS EAST A DISTANCE OF 120.84 FEET TO AN IRON PIN FOUND; THENCE RUNNING ALONG THE PROPERTY LINE OF THE PROPERTY NOW OR FORMERLY BELONGING TO ROYAL CHASE INVESTMENTS COMPANY SOUTH 61 DEGREES 04 MINUTES 59 SECONDS WEST A DISTANCE OF 996.81 FEET TO AN IRON PIN FOUND LOCATED ON THE EASTERN RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD; RUN THENCE IN A NORTHERLY DIRECTION ALONG SAID RIGHT-OF-WAY LINE NORTH 30 DEGREES 06 MINUTES 04 SECONDS WEST A DISTANCE OF 359.12 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID RIGHT-OF-WAY LINE RUNNING ALONG THE PROPERTY LINE OF THE PROPERTY NOW OR FORMERLY-BELONGING TO OCHARLEYS INC., THE FOLLOWING CALLS NORTH 59 DEGREES 38 MINUTES 33 SECONDS A DISTANCE OF 220.52 FEET TO A P.K. NAIL FOUND; NORTH 31 DEGREES 32 MINUTES 35 SECONDS WEST A DISTANCE OF 35.89 FEET TO A P.K. NAIL FOUND; THENCE SOUTH 58 DEGREES 27 MINUTES 25 SECONDS WEST A DISTANCE OF 1.00 FEET TO AN IRON PIN FOUND; THENCE NORTH 31 DEGREES 32 MINUTES 35 SECONDS WEST A DISTANCE OF 125.24 FEET TO AN IRON PIN FOUND; THENCE SOUTH 46 DEGREES 09 MINUTES 51 SECONDS WEST A DISTANCE OF 19.04 FEET TO AN IRON PIN FOUND; THENCE SOUTH 59 DEGREES 38 MINUTES 33 SECONDS WEST A DISTANCE OF 160.97 FEET TO AN IRON PIN FOUND; THENCE SOUTH 30 DEGREES 06 MINUTES 04 SECONDS EAST A DISTANCE OF 6.81 FEET TO AN IRON PIN FOUND; THENCE SOUTH 59 DEGREES 38 MINUTES 33 SECONDS WEST A DISTANCE OF 36.00 FEET TO AN IRON PIN FOUND LOCATED ON THE EASTERN RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD; RUN THENCE IN A NORTHERLY DIRECTION ALONG SAID EASTERN RIGHT-OF-WAY LINE NORTH 30 DEGREES 06 MINUTES 04 SECONDS WEST A DISTANCE OF 10.18 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID RIGHT-OF-WAY LINE RUNNING ALONG THE PROPERTY LINE OF F.A. SIMS PROPERTIES, INC., NORTH 59 DEGREES 53 MINUTES 58 SECONDS EAST A DISTANCE OF 194.45 FEET TO AN IRON PIN FOUND; THENCE CONTINUING ALONG THE SIMS PROPERTY NORTH 46 DEGREES 09 MINUTES 51 SECONDS EAST A DISTANCE OF 22.57 FEET TO AN IRON PIN FOUND, SAID POINT BEING THE TRUE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 8.7032 ACRES, BEING 379,111 SQUARE FEET INCLUDING THE BUILDING AND ALL EASEMENTS; BEING MORE PARTICULARLY DEFINED AS LOT 3 AS PER THE FINAL PLAT OF "PLEASANT HILL PLAZA", AND AS MORE PARTICULARLY DESCRIBED ON THAT CERTAIN AS-BUILT SURVEY OF PLEASANT HILL PLAZA, DATED FEBRUARY 16, 1994, PREPARED BY HAYES, JAMES & ASSOCIATES UNDER ISSUE NO. 94-27-C; FOR DEVELOPERS DIVERSIFIED REALTY CORPORATION, DEVELOPERS DIVERSIFIED FINANCE CORPORATION, CHICAGO TITLE INSURANCE COMPANY, NOMURA ASSET CAPITAL CORPORATION AND BANKERS TRUST COMPANY OF CALIFORNIA, N.A.

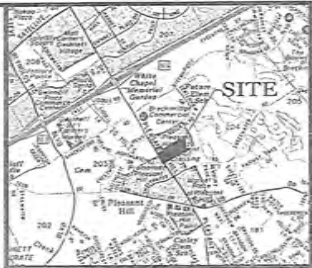
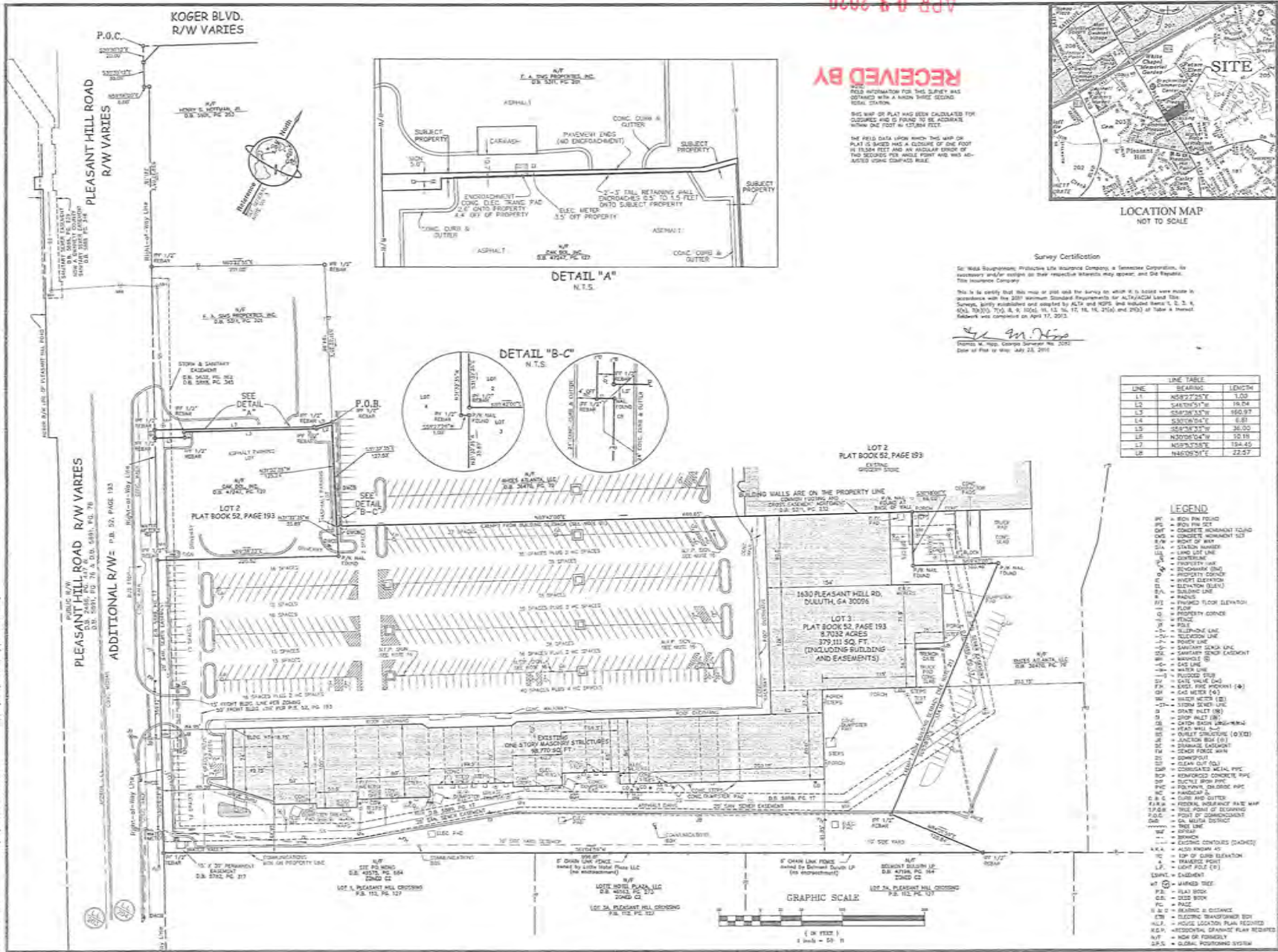
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APR 03 2020

Planning & Development

SUP '20 032

APR 08 2020



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THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLAUSE OF THE FOOT TO BE A FEET AND AN INCH PER SIDE OF THE SURVEY PER INCH FOOT AND HAS BEEN ADJUSTED TO BE CORRECT.

Survey Certification

For Work Requirements: Protective Life Insurance Company, a Tennessee Corporation, its successor and/or assigns as their respective interests may appear, and Old Republic Title Insurance Company.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Requirements for ALTA/NSPS Land Title Surveys, jointly established and created by ALTA and NSPS, and adopted under S. S. 2, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20(a), 20(b) and 20(c) of the Uniform Land Use Regulation Enforcement Act of 2003.

*[Signature]*  
Thomas M. Hill, Georgia Surveyor No. 2052  
Date of this map: April 23, 2016

LINE	BEARING	LENGTH
L1	N08°27'25" E	1.00
L2	S45°03'15" W	19.94
L3	S89°51'30" W	165.81
L4	S89°51'30" W	0.81
L5	S45°03'15" W	36.00
L6	N08°27'25" E	0.81
L7	N08°27'25" E	154.40
L8	N45°03'15" E	22.57



ENGINEERS, PLANNERS & SURVEYORS  
 4145 SHACKLEFORD ROAD  
 SUITE 300  
 NORCROSS, GEORGIA 30093  
 TEL: (770) 923-1500  
 FAX: (770) 923-4202

ALTA / NSPS Land Title Survey  
 for  
 Nidal Boughnam;  
 Protective Life Insurance Company, a Tennessee Corporation, its successors and / or assigns as their respective interest may appear,  
 and Old Republic Title Insurance Company

PROJECT LOCATION  
 Land Lot: 204  
 District: 010  
 County: 010  
 State: Georgia



Project No. 16-035-C  
 Drawn By: CHR  
 Checked By: THS  
 Scale: 1" = 50'  
 Date: July 28, 2016

DATE	BY	REVISIONS

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 Sheet Number  
 1 of 2



120 032  
SUP 20032  
7/20/2016 9:18:19 AM  
c:\temp\p\pl\p1616\map\1616256.dwg  
Thomas M. Pyle

SUP 20032

### GENERAL NOTES

1. REFERENCES FOR THIS SURVEY SHOULD BE MADE TO THE GUTENBERG DEED FROM DON DOWNUM LLC AND DE PLACANT HILL LLC DATED JUNE 28, 2013. PLAT FILED FOR RECORD JULY 23, 2013, RECORDED IN DEED BOOK 4582B, PAGE 274, CONNETT COUNTY, GEORGIA RECORDS, THIS BEING THE CURRENT SUBJECT PROPERTY DEED.
2. A REFERENCE FOR THIS SURVEY SHOULD ALSO BE MADE TO THE FINAL PLAT OF DEACANT HILL PLAZA, DATED JANUARY 20, 1988, LAST REVISED JANUARY 16, 1988, RECORDED IN PLAT BOOK 53, PAGE 122, CONNETT COUNTY RECORDS, THIS BEING THE SUBJECT PROPERTY SUBJECT LOT 3.
3. THE BEARING STRUCURE FOR THIS SURVEY IS BASED ON MONUMENTS FOUND IN THE FIELD. THE BEARING AND DISTANCE WAS OBTAINED BY AN UNRECORDED SURVEY OF DON LAND DEVELOPMENT COMPANY BY MISSISSIPPI, MISSISSIPPI, CONNETT COUNTY GEORGIA, EFFECTIVE DATE FEBRUARY 20, 2008. THIS PROPERTY IS IN ZONE S, UNLESS AREA AHEAD DESCRIBED BY THE 87.6 ANNUAL DRAINAGE FLOODPLAIN.
4. NO PORTION OF THE PROPERTY LIES WITHIN A RECORDED FLOOD HAZARD AREA AS PER FEMA CONVEYANCE MAP, NO. 1220200401A, DATED FEBRUARY 23, 1998, LAST REVISED OCTOBER 11, 1988, BEING 42.9647 ACRES.
5. THE FIRM OF HAYES JAMES AND ASSOCIATES, INC. DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY SOURCE OR NOT SHOWN HEREON. CONTACT THE UTILITIES PROVIDER CONCERNING ANY UTILITIES THAT ARE NOT SHOWN HEREON.
6. THE PUBLIC UTILITIES WHICH WERE RECORDED WERE RECORDED NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND NOT NEARNESS TO THE SAME DOES NOT AND NOT INTENDS TO CONSTITUTE A TITLE SEARCH OF TITLE OPINION AND SURVEY REFLECTS ONLY THOSE MATTERS OF TITLE OF RECORD FURNISHED TO THE SURVEYOR AT THIS TIME.
7. IT IS UNDERSTOOD THAT THESE ARE SPECIAL ZONING CONDITIONS ASSOCIATED WITH THIS PROPERTY.
8. THIS PLAT WAS PREPARED AND CHECKED FOR THE INDIVIDUAL INDUAGERS HEREON BY THE SURVEYOR AND HIS OR HER ASSISTANT. THE SURVEYOR AND HIS OR HER ASSISTANT DO NOT REPRESENT TO OR WARRANT FOR OR GUARANTEE THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY SOURCE OR NOT SHOWN HEREON.
9. THERE IS A 2 FOOT TALL CONCRETE RETAINING WALL AND AN ELECTRIC SERVICE POLE WHICH IS LOCATED ON THE SUBJECT PROPERTY AS SHOWN IN DETAIL "A" OF SHEET NO. 1.
10. THE PROPERTY HAS DIRECT ACCESS TO PLEASANT HILL ROAD.
11. THERE HAS BEEN NO OBSERVED EVIDENCE OF CONCRETE EXISTING BUILDING FOUNDING CONSTRUCTION OR BUILDING ADDITIONS.
12. THERE HAS BEEN NO OBSERVED EVIDENCE OF RECENT STREET OR DRIVEWAY CONSTRUCTION OR REPAIRS AND NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES TO BE OBSERVED.
13. THERE HAS BEEN NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SWAMP OR SANITARY LANDFILL.
14. THE LAND DESCRIBED ON THIS SURVEY IS THE SAME AS DESCRIBED IN THE FLOOD HAZARD ZONING MAP AND THE LEGISLATION SHOWING THE NATURE OF THE ZONING.
15. THERE ARE FOUR STOPS IN THE PARKING AREA LABELED HEREON AS "A", "B", "C" AND "D" WHICH ARE IDENTIFIED AS "BUILT UP FRONT EDGE", "FRONT EDGE", "FRONT EDGE", "FRONT EDGE" (TOTAL OF 10) "BUILT UP FRONT EDGE", "FRONT EDGE", "FRONT EDGE" (TOTAL OF 10) "BUILT UP FRONT EDGE" AND "FRONT EDGE" (TOTAL OF 10) "BUILT UP FRONT EDGE".
16. NO NOTIFICATION WAS RECEIVED ON FIELD OBSERVATION OF METALLIC SUBSTANCES OR OIL SPILLS.
17. NO NOTIFICATION WAS RECEIVED ON FIELD OBSERVATION OF WETLANDS OR WETLANDS BY QUALIFIED PROFESSIONALS.
18. THE SURVEYOR CANNOT MAKE A DETERMINATION ON THE BASIS OF AN INTERVIEW WITH THE OWNER OF ANY OTHER PROPERTY, DETERMINATION OF ANY PROPERTY LINE, LOCATION OF BOUNDING METERS (SCALE, FEET, ETC.) AND DETERMINATION OF SUCH SHOWN ON THIS SURVEY UNDER ANY NOT CONSIDERED ABSOLUTE.
19. NO NOTIFICATION WAS RECEIVED ON FIELD OBSERVATION OF WETLANDS OR WETLANDS BY QUALIFIED PROFESSIONALS.
20. ZONING DESIGNATION WAS NOT PROVIDED BUT IS SHOWN AS TAKEN FROM THE CONNETT COUNTY MAPS.
21. CONNETT COUNTY ZONES BETWEEN LOT 1 AND LOT 2 ARE IDENTIFIED TO CORRELATE BUILDING SETBACKS AS PER FINAL PLAT OF PLEASANT HILL PLAZA, N/S, L/S, PAGE 93, CONNETT COUNTY MAPS.
22. THE FOLLOWING SURVEY WERE FOUND PRODUCED ON THIS SITE:  
A. WATER, SEWER AND SANITARY DRAIN, CONNETT COUNTY HAS RECORDED.  
B. STORMWATER UTILTY, CONNETT COUNTY STORMWATER MANAGEMENT.  
C. ELECTRICAL, JACOBY DAVIS.  
D. CASE: CONCAST  
E. THE OTHER CONSTITUTS OF ONE (1) ACRE PARCEL BEING NO. 8234 633.

### TRACT DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 304 OF THE 4TH DISTRICT OF CONNETT COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
TO FIND THE TRUE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD BEING A VARIABLE RIGHT-OF-WAY WITH THE SOUTHERN RIGHT-OF-WAY LINE OF ROAD 1244248 (BEING A VARIABLE RIGHT-OF-WAY WITH THE EASTERN RIGHT-OF-WAY LINE OF ROAD 1244248) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
1. COMMENCE AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD BEING A VARIABLE RIGHT-OF-WAY WITH THE SOUTHERN RIGHT-OF-WAY LINE OF ROAD 1244248 (BEING A VARIABLE RIGHT-OF-WAY WITH THE EASTERN RIGHT-OF-WAY LINE OF ROAD 1244248) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
2. A DISTANCE OF 20.00 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF PLEASANT HILL ROAD, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
3. THE BEARING STRUCURE FOR THIS SURVEY IS BASED ON MONUMENTS FOUND IN THE FIELD. THE BEARING AND DISTANCE WAS OBTAINED BY AN UNRECORDED SURVEY OF DON LAND DEVELOPMENT COMPANY BY MISSISSIPPI, MISSISSIPPI, CONNETT COUNTY GEORGIA, EFFECTIVE DATE FEBRUARY 20, 2008. THIS PROPERTY IS IN ZONE S, UNLESS AREA AHEAD DESCRIBED BY THE 87.6 ANNUAL DRAINAGE FLOODPLAIN.  
4. NO PORTION OF THE PROPERTY LIES WITHIN A RECORDED FLOOD HAZARD AREA AS PER FEMA CONVEYANCE MAP, NO. 1220200401A, DATED FEBRUARY 23, 1998, LAST REVISED OCTOBER 11, 1988, BEING 42.9647 ACRES.  
5. THE FIRM OF HAYES JAMES AND ASSOCIATES, INC. DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY SOURCE OR NOT SHOWN HEREON. CONTACT THE UTILITIES PROVIDER CONCERNING ANY UTILITIES THAT ARE NOT SHOWN HEREON.  
6. THE PUBLIC UTILITIES WHICH WERE RECORDED WERE RECORDED NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND NOT NEARNESS TO THE SAME DOES NOT AND NOT INTENDS TO CONSTITUTE A TITLE SEARCH OF TITLE OPINION AND SURVEY REFLECTS ONLY THOSE MATTERS OF TITLE OF RECORD FURNISHED TO THE SURVEYOR AT THIS TIME.  
7. IT IS UNDERSTOOD THAT THESE ARE SPECIAL ZONING CONDITIONS ASSOCIATED WITH THIS PROPERTY.  
8. THIS PLAT WAS PREPARED AND CHECKED FOR THE INDIVIDUAL INDUAGERS HEREON BY THE SURVEYOR AND HIS OR HER ASSISTANT. THE SURVEYOR AND HIS OR HER ASSISTANT DO NOT REPRESENT TO OR WARRANT FOR OR GUARANTEE THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY SOURCE OR NOT SHOWN HEREON.  
9. THERE IS A 2 FOOT TALL CONCRETE RETAINING WALL AND AN ELECTRIC SERVICE POLE WHICH IS LOCATED ON THE SUBJECT PROPERTY AS SHOWN IN DETAIL "A" OF SHEET NO. 1.  
10. THE PROPERTY HAS DIRECT ACCESS TO PLEASANT HILL ROAD.  
11. THERE HAS BEEN NO OBSERVED EVIDENCE OF CONCRETE EXISTING BUILDING FOUNDING CONSTRUCTION OR BUILDING ADDITIONS.  
12. THERE HAS BEEN NO OBSERVED EVIDENCE OF RECENT STREET OR DRIVEWAY CONSTRUCTION OR REPAIRS AND NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES TO BE OBSERVED.  
13. THERE HAS BEEN NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SWAMP OR SANITARY LANDFILL.  
14. THE LAND DESCRIBED ON THIS SURVEY IS THE SAME AS DESCRIBED IN THE FLOOD HAZARD ZONING MAP AND THE LEGISLATION SHOWING THE NATURE OF THE ZONING.  
15. THERE ARE FOUR STOPS IN THE PARKING AREA LABELED HEREON AS "A", "B", "C" AND "D" WHICH ARE IDENTIFIED AS "BUILT UP FRONT EDGE", "FRONT EDGE", "FRONT EDGE", "FRONT EDGE" (TOTAL OF 10) "BUILT UP FRONT EDGE", "FRONT EDGE", "FRONT EDGE" (TOTAL OF 10) "BUILT UP FRONT EDGE" AND "FRONT EDGE" (TOTAL OF 10) "BUILT UP FRONT EDGE".

### UNRECORDED CONNETT COUNTY ZONING REQUIREMENTS

- CONNETT COUNTY ZONING REQUIREMENTS  
C-9 ZONING (GENERAL BUSINESS DISTRICT)
- 1) ALL ZONING PERMITS BUSINESS SHALL MEET THE PERFORMANCE STANDARDS SET FORTH IN THE CONNETT COUNTY ZONING REGULATION
  - 2) MAXIMUM G.C. SET HEIGHT REQUIREMENT: NONE
  - 3) MAXIMUM HEIGHTS: 45 FEET
  - 4) MINIMUM LOT AREA: NONE
  - 5) MINIMUM FRONT SETBACK: 15 FEET FROM RIGHT-OF-WAY
  - 6) MINIMUM REAR YARD SETBACK: 20 FEET
  - 7) MINIMUM SIDE YARD SETBACK: 10 FEET

### PARKING SPACES REQUIRED

FOR THIS USE THE MINIMUM REQUIRED PARKING SPACES IS ONE SPACE PER 500 SQ. FT. OF FLOOR SPACE  
THE MINIMUM NUMBER OF PARKING SPACES IS ONE SPACE PER 100 SQ. FT. OF FLOOR SPACE  
THIS SITE CONTAINS 6470 SQ. FT. OF RETAIL USE, OR SHOWING CENTER SPACE.  
THEY BY 100= 64.70 MINIMUM SPACES REQUIRED  
FOR AMERICANS WITH DISABILITIES ACT (ADA)  
FOR AMERICANS WITH DISABILITIES ACT (ADA)  
A MINIMUM SPACES TO BE PROVIDED FOR A SITE CONTAIN THE AMOUNT OF PARKING SPACES

### PARKING SPACES PROVIDED

THIS SITE CONTAINS 429 PARKING SPACES WITH 14 HANDICAPPED SPACES.  
THEY ARE COMPLIANT WITH THE ABOVE PARKING SPACE REQUIREMENTS

Planning & Development

APR 03 2020

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Hayes | James  
ENGINEERS PLANNERS & SURVEYORS  
4145 SHACKLEFORD ROAD  
SUITE 300  
NORCROSS, GEORGIA 30093  
TEL: (770) 923-1600  
FAX: (770) 923-4202

ALTA / NPS Land Title Survey  
for  
Nidal Boughnam; Protective Life Insurance Company, a Tennessee Corporation, its successors and / or assigns as their respective interest may appear; and Old Republic Title Insurance Company

### OLD REPUBLIC TITLE INSURANCE COMPANY CONVEYANCE SCHEDULE

- Item 10: The Exemptions provided in April of May Deed from Alan T. London and Elly H. London to Connett County, Georgia, dated December 28, 1982, last revised January 2, 1983, and recorded in Deed Book 3485, Page 877, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 11: The Deed from Foy and Olga Eschenauer, by and between Atlantic Road #1 Limited Partnership, a Texas limited partnership, having as its sole general partner Atlantic Road Development, Inc., a Texas corporation and Old Republic Title Insurance Company, dated January 23, 1993, last revised January 23, 1993, and recorded in Deed Book 4235, Page 228, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 12: This site is affected by the Exemptions with Comments and Restrictions Affecting Land (T-02) from Old Republic Title Insurance Company, Inc., a Georgia corporation, and C. Louise Sims, Praxair, Inc. (a Georgia corporation), a Georgia limited partnership, dated December 27, 1993, last revised October 31, 1994, and recorded in Deed Book 3648, Page 235, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 13: The unrecorded agreement, by and between F.A. Sims Properties, Inc., a Georgia corporation, and C. Louise Sims, Praxair, Inc. (a Georgia corporation), a Georgia limited partnership and old Republic Title Insurance Company, dated August 13, 1993, last revised August 24, 1993, and recorded in Deed Book 3648, Page 152, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 14: The unrecorded agreement, by and between F.A. Sims Properties, Inc., a Georgia corporation, and C. Louise Sims, Praxair, Inc. (a Georgia corporation), a Georgia limited partnership, dated August 13, 1993, last revised August 24, 1993, and recorded in Deed Book 3648, Page 152, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 15: The unrecorded agreement, by and between F.A. Sims Properties, Inc., a Georgia corporation, and C. Louise Sims, Praxair, Inc. (a Georgia corporation), a Georgia limited partnership, dated August 13, 1993, last revised August 24, 1993, and recorded in Deed Book 3648, Page 152, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 16: The Exemptions by and between Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership, and Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership, dated October 27, 1993, last revised October 31, 1994, and recorded in Deed Book 3648, Page 235, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 17: Any implied agreement for steps, etc. between individuals and utilities as contained in their certain files at the Deed from Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership to Connett County, Georgia, dated January 20, 1995, last revised February 15, 1995, and recorded in Deed Book 3648, Page 70, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 18: Any implied agreement for steps, etc. between individuals and utilities as contained in their certain files at the Deed from Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership to Connett County, Georgia, dated January 20, 1995, last revised February 15, 1995, and recorded in Deed Book 3648, Page 70, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 19: This site is/was affected by the Assignment and Assumption of Conveyance between Nidal Boughnam; Protective Life Insurance Company, a Tennessee Corporation, and Old Republic Title Insurance Company, dated February 24, 1994, and recorded in Deed Book 3648, Page 4, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 20: The unrecorded agreement, by and between Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership, and Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership, dated October 27, 1993, last revised October 31, 1994, and recorded in Deed Book 3648, Page 235, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.
- Item 21: Letters as shown on their certain files at the Deed from Pleasant Hill Plaza Limited Partnership, a Georgia limited partnership to Connett County, Georgia, dated January 20, 1995, last revised February 15, 1995, and recorded in Deed Book 3648, Page 70, Connett County, Georgia records, does affect the subject property and is shown herein as being a portion of the right of way of Pleasant Hill Road.

PROJECT LOCATION  
Land Lot 304  
District 4th  
Section 9th  
County Connett  
State Georgia



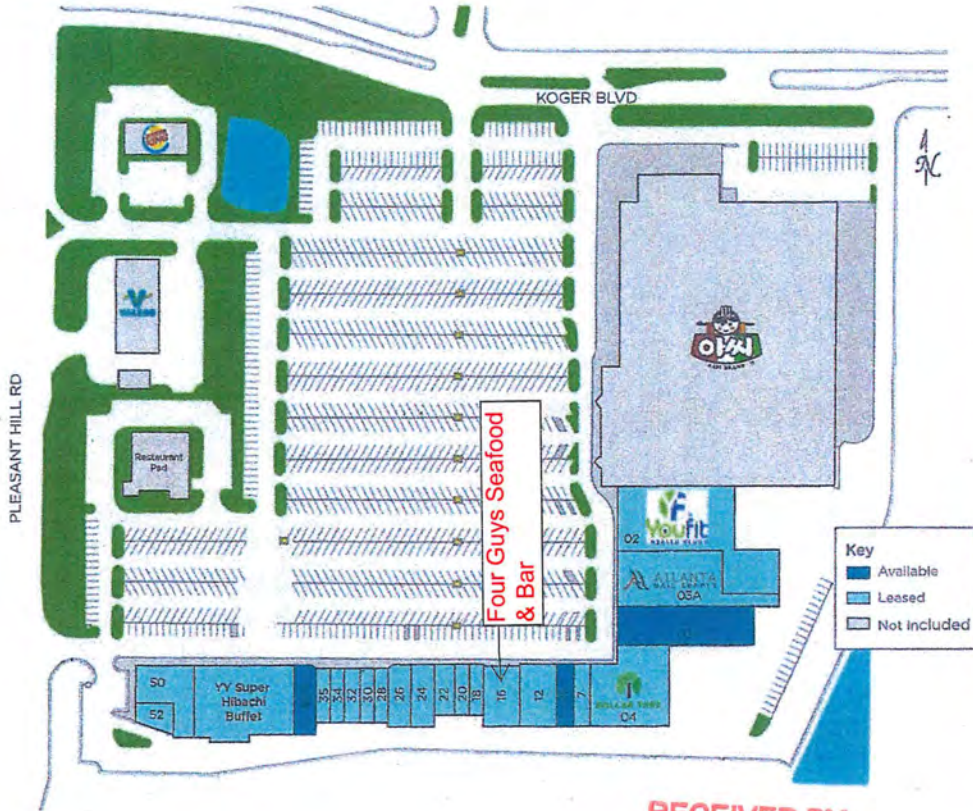
Project No: 161625-C  
Drawn By: CHR.  
Checked By: TMM  
Scale: 1"=50'  
Date: July 20, 2016

REVISIONS

NO.	DATE	BY	APP.	DESCRIPTION

PLEASANT-HILL PLAZA | DULUTH, GA (ATLANTA MSA)

SITE PLAN



**Key**

- Available
- Leased
- Not included

Property Information

Suite #	SF	Tenant
02	18,250	YouFit
03A	10,750	ATL Nail Supply
03	10,000	Vacant
04	10,220	Dollar Tree
07	1,800	Cafe 89
08	1,800	Vacant
12	4,000	Beauty Depot
16	4,000	LOI- <i>Four Guys</i>
18	1,300	Liberty Tax Service
20	1,300	LOI-Verox
22	1,950	Lee's Bakery
24	2,400	Coast Dental
26	2,375	Choe's Hap Ki Do
28	1,400	Pleasant Garden BBQ
30	1,400	Juni Health Clinic
32	1,400	La Delicias De La Abuela
34	1,400	Time Square Barber
35	1,400	TC Nails
40A	2,690	Vacant
44	12,740	YY Super Hibachi
50	4,950	North Georgia Urgent Care
52	1,500	Smoothie King

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**SPECIAL USE PERMIT APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

Using as supply storage as needed to operation the restaurant which it not affect the two way traffic in the back road.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

The storage it not affect the two way traffic in the back road.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

The storage is not affect the other businesses in this plaza, Fours guys seafood & Bar has great relationship with most businesses there is no conflict of interest.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

The storage it not affect the two way traffic in the back road.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Within Gwinnett County Zoning compliance.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

We will abide by Gwinnett County Zoning compliance.

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# Letter of Intent

To whom it may concern,

Four Guys Seafood & Bar is the existing restaurant business located at 1630 Pleasant Hill Rd Ste 16 Duluth Ga 30096. I am requesting a special use permit for my existing shipping container modified to using as storage in the back of my restaurant back door location.

This shipping container was modified to supply storage with door connect to my back building with the same delivery level with back door (see pictures in attached).

The dimensions of shipping container is 9 feet height x 8 feet wide x 20 feet long, used fasteners secured in 4 pads of 1 feet height level concrete.

This storage only extend 8 feet wide from back of building not affect the two way traffic.

Our storage has no conflict of interest to other businesses at this plaza. We have great relationship with other.

Please accept this special use permit as our needed to operate my restaurant.

Thanks & Best regards,

Tommy Nguyen

Owner / manager

Four Guys Seafood & Bar

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**SPECIAL USE PERMIT APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

*Tommy Nguyen*

Signature of Applicant

*3/12/2020*

Date

*Tommy Nguyen*

Type or Print Name and Title

*owner/tenant*

*[Signature]*

Signature of Notary Public

*3-12-2020*

Date



Notary Seal

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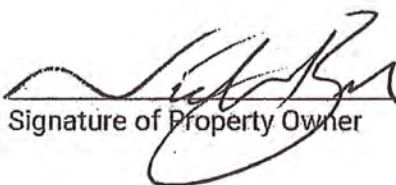
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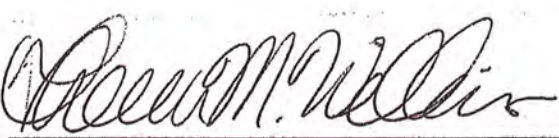


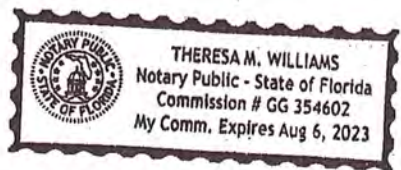
**SPECIAL USE PERMIT PROPERTY OWNER'S CERTIFICATION**

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

  
Signature of Property Owner \_\_\_\_\_ 3/17/2020  
Date

NIDAL BOUGHANNAM \_\_\_\_\_ President  
Type or Print Name and Title

  
Signature of Notary Public \_\_\_\_\_ 3-17-20  
Date



Notary Seal

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**CONFLICT OF INTEREST CERTIFICATION FOR SPECIAL USE PERMIT**

The undersigned below, making application for a Special Use Permit, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Tommy Nguyen      3/12/2020      Tommy Nguyen / owner/tenant  
 SIGNATURE OF APPLICANT      DATE      TYPE OR PRINT NAME AND TITLE

\_\_\_\_\_  
 SIGNATURE OF APPLICANT'S      DATE      TYPE OR PRINT NAME AND TITLE  
 ATTORNEY OR REPRESENTATIVE

[Signature]      3-12-2020  
 SIGNATURE OF NOTARY PUBLIC      DATE



**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES     NO    Tommy Nguyen  
 YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

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**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.**

PARCEL I.D. NUMBER:     R     -   6204   -   030    
(Map Reference Number)      District      Land Lot      Parcel

Tommy Nguyen      3/12/2020  
Signature of Applicant      Date

Tommy Nguyen      Owner / Tenant  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

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**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME      TITLE

\_\_\_\_\_  
DATE

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In-person services suspended indefinitely. Utilize e-services, kiosks and drop boxes.

Customer service is available 8 a.m. to 5 p.m. weekdays.

[Click here for the vehicle registration extension bulletin for your vehicle\(s\).](#)

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## ACCOUNT DETAIL

[View/Pay Your Taxes / Account Detail](#)

### Tax Account

**Mailing Address:**

PLEASANT HILL ROAD PLAZA LLC  
PO BOX 358627  
GAINESVILLE, FL 32635-8627

[Change Mailing Address](#)

**SITUS:**

1630 PLEASANT HILL RD

**Tax District:**

GP CID Taxable

Parcel ID	Property Type	Last Update
R6204 030	Real Property	4/2/2020 1:53:42 PM

**Legal Description**

L3 PLEASANT HILL PLAZA

### Tax Bills

Note: Four years of tax information is available online. Email [tax@gwinnettcountry.com](mailto:tax@gwinnettcountry.com) to request other years.

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Due Date	Amount Due
2019	\$164,158.50	\$164,158.50	\$0.00	\$0.00	10/15/2019	\$0.00
2018	\$164,756.04	\$164,756.04	\$0.00	\$0.00	11/1/2018	\$0.00
2017	\$143,161.36	\$143,161.36	\$0.00	\$0.00	10/15/2017	\$0.00
2016	\$141,443.68	\$141,443.68	\$0.00	\$0.00	10/15/2016	\$0.00
Total	<b>RECEIVED BY</b>					\$0.00

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Print Tax Bill

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Click to view and print your Aug 2019 tax bill.



**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.**

PARCEL I.D. NUMBER:   B   -  201931  -  222   
(Map Reference Number)      District      Land Lot      Parcel

Tommy Nguyen      3/12/2020  
Signature of Applicant      Date

Tommy Nguyen      owner / Tenant  
Type or Print Name and Title

**\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\***

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**TAX COMMISSIONERS USE ONLY**

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME      TITLE

\_\_\_\_\_  
**RECEIVED BY**  
DATE

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In-person services suspended indefinitely. Utilize e-services, kiosks and drop boxes.

Customer service is available 8 a.m. to 5 p.m. weekdays.

[Click here for the vehicle registration extension bulletin for your vehicle\(s\).](#)

Chat



## ACCOUNT DETAIL

[View/Pay Your Taxes / Account Detail](#)

### Tax Account

**Mailing Address:**

PHO EVER SEAFOOD LLC  
1630 PLEASANT HILL RD STE 160  
DULUTH, GA 30096-2315

**SITUS:**

1630 PLEASANT HILL RD STE 160

**Tax District:**

COUNTY Unincorporated

[Change Mailing Address](#)

Parcel ID	Property Type	Last Update
B201931222	Personal Property	4/2/2020 1:56:26 PM

**Legal Description**

BUSINESS INVENTORY/EQUIPMENT

### Tax Bills

Note: Four years of tax information is available online. Email [tax@gwinnettcountry.com](mailto:tax@gwinnettcountry.com) to request other years.

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Due Date	Amount Due
2019	\$2,851.14	\$2,851.14	\$0.00	\$0.00	4/1/2020	\$0.00
Total						\$0.00

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Print Tax Bill

APR 03 2020

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Click to view and print your Aug 2019 tax bill.

\* This bill is good through Oct 15, 2019 only.

Pay Now





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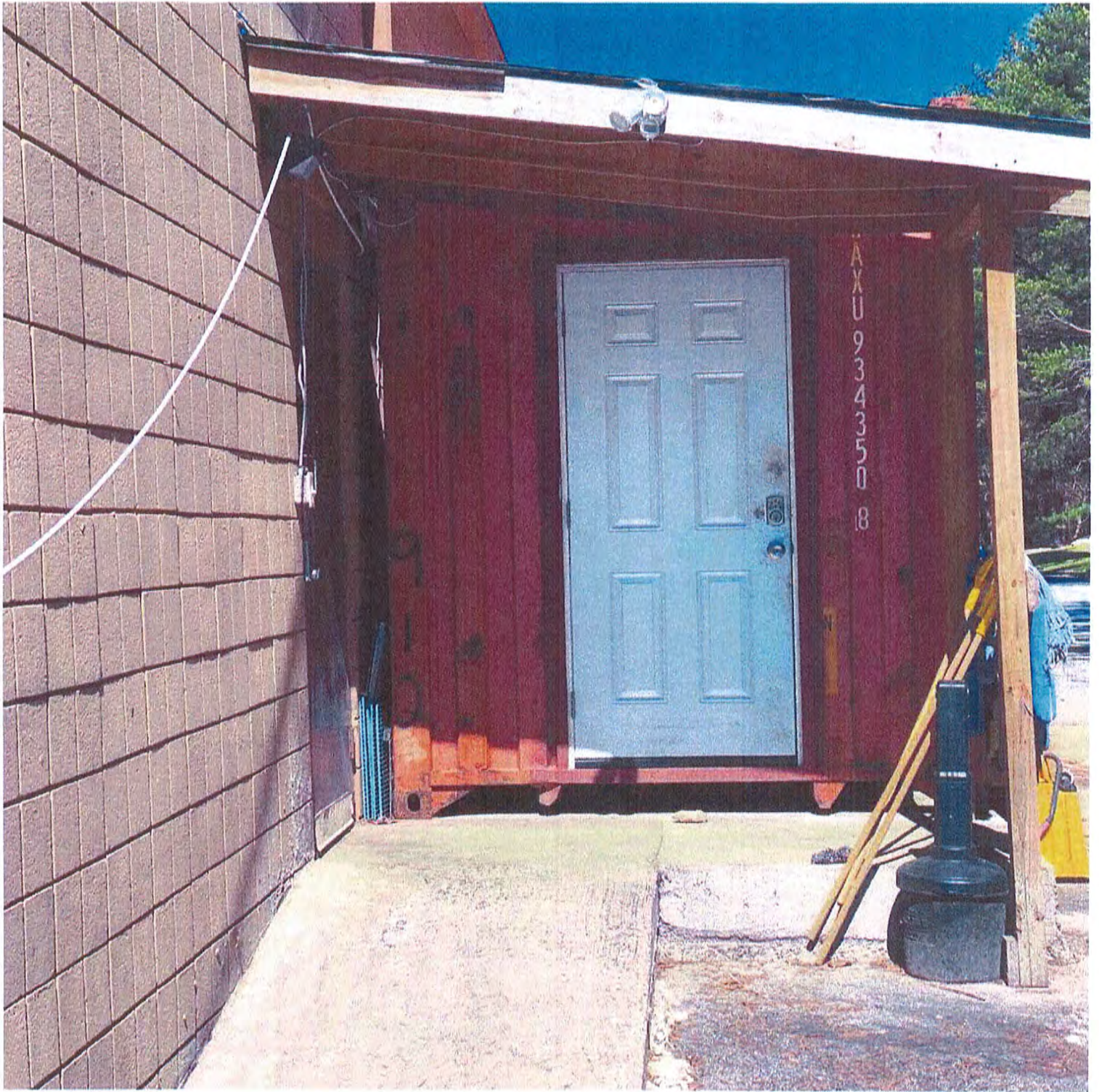
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